

An abstract geometric composition featuring a 3x3 grid of squares. The grid is defined by thick purple lines. The squares are filled with different colors: the top-left square is light blue; the top-right square is split diagonally from the top-left to the bottom-right, with a yellow triangle on the left and a black triangle on the right; the middle-left square is light blue; the middle-right square is yellow; the bottom-left square is split diagonally from the top-left to the bottom-right, with a black triangle on the left and a purple triangle on the right; the bottom-middle square is black; and the bottom-right square is split diagonally from the top-left to the bottom-right, with a yellow triangle on the left and a black triangle on the right. The text 'JOSHUA YATES' is written in a purple, sans-serif font across the middle row of squares.

JOSHUA YATES





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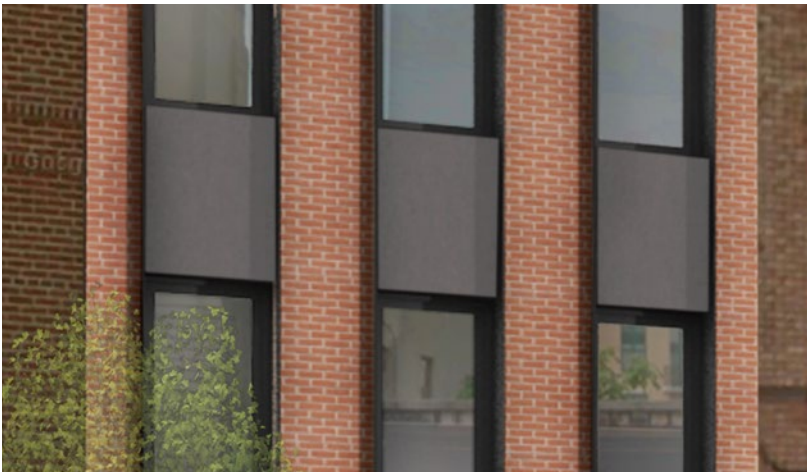
new construction



the brooklyn zinc  
313 st. marks avenue  
brooklyn, n.y.

s3architecture  
2/2012 - 2/2018  
85,000 square feet  
75 units

phases;  
sd,dd,cd,ca



prospect heights 3 family  
730 bergen street  
brooklyn, n.y.

s3architecture  
2/2012 - 11/2018  
5,100 square feet  
3 units

phases;  
sd,dd,id,cd,ca



the clinton hall  
269 washington avenue  
& 238 hall street  
brooklyn, n.y.

s3architecture  
11/2011 - 12/2017  
9,858 square feet  
20 units

phases;  
sd,dd,id,cd,ca  
landmarks



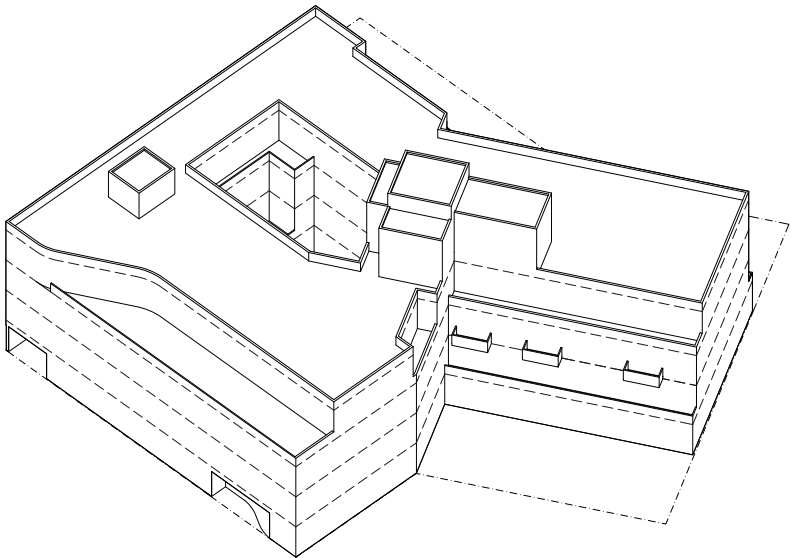
| corrugated zinc facade punctuated by joy yellow "eye-lid" solar shades

# the brooklyn zinc

313 st. marks avenue, bklyn

PROJECT	BREAKDOWN
TYPE	New Construction
CLASS	Residential
LOCATION	Brooklyn N.Y.
LOT AREA	22,012 SF
PROJECT AREA	85,000 SF
PROJECT HEIGHT	50' (4 Stories)
UNIT COUNT	75
PARKING SPACES	38
YEARS ACTIVE	2/2012 - 2/2018

Located directly across the street from The Billiard Factory, this ground-up project was for the same development firm and had some similar characteristics.



The site was a long time neighborhood parking lot on grade, the 31,000 square foot through block lot has frontages on both St. Marks Avenue and Bergen Street. This was a result of the reworked street grid in Prospect Heights that has affected many building in the neighborhood, including The Billiard Factory. This site was an odd shape and could best be described as a deflated 11 point ( 12 sided? ) star. The frontage along St. Marks Avenue was a substantial 121.8 linear feet, accounting for just over 25% of the entire block's frontage, this building



was going to have an major impact on a block that was already seeing quite a bit of change. Conversely, the frontage along Bergen Street was a meager 16.25 foot, the blunt end of a wedge.

The implications of the required rear yard equivalent for a through-lot automatically lead us to deduce that we would be dividing the lot into two separate lots. One lot would be for a large apartment building on St. Marks and the second lot for a smaller apartment building on Bergen Street, more in the scale of the neighboring multi-family townhomes.

For this project we were dealing with R6B zoning, 2.0 FAR, 60% lot coverage, 40' maximum base height and a 50' maximum building height. The additional parameters we would contend with on this project were sub-grade parking, which was required due to the potential number of units and the inclusion of affordable housing units.

The aforementioned deflated star shape of the original site meant that we would not be able to divide the depth of the site evenly. Instead it would have to be a very deep building in order to maximize our allowable square foot, we would therefore have a winding double loaded corridor that wrapped around the courtyard. But since we had dealt with this on the Billiard Factory project we were well versed in the repercussions of this situation. The site's configuration winds behind neighboring lots' rear



| tax map of site showing proposed zoning lot division



the site had been an on grade parking lot for decades prior to construction



preliminary foundation work and excavation

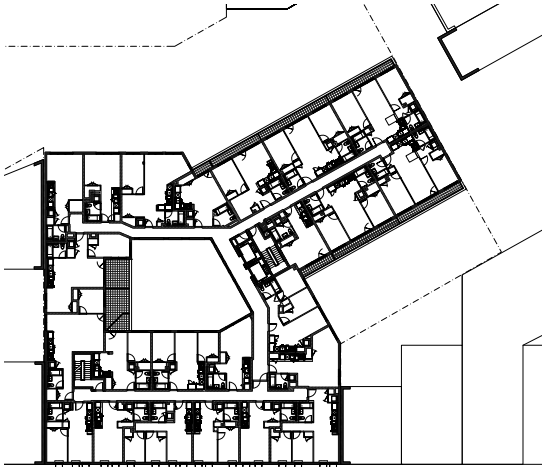


completed decking at ground floor

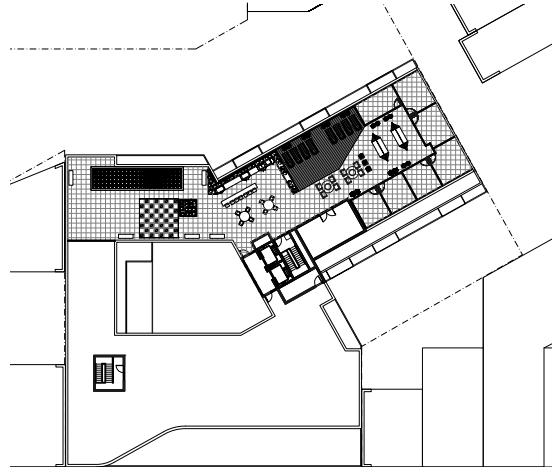
yards, demanding that we also provide a side-rear yard to comply with rearyard set backs as per zoning code. With the addition of the eastern wing holding a double loaded corridor the shape of our building went from a doughnut to a coffee cup.

The building contains 75 units, ranging from studios to three bedroom units, with 15 of them allocated to affordable housing. 75% of the units feature private outdoor space consisting of either private ground floor yards, terraces, and/or balconies. For the units not provided with private outdoor space there is ample public outdoor space provided at the rearyard, the inner courtyard as well as the roof, and if a tenant was so inclined, there are also private “cabana” spaces on the roof that can be included in one’s lease.

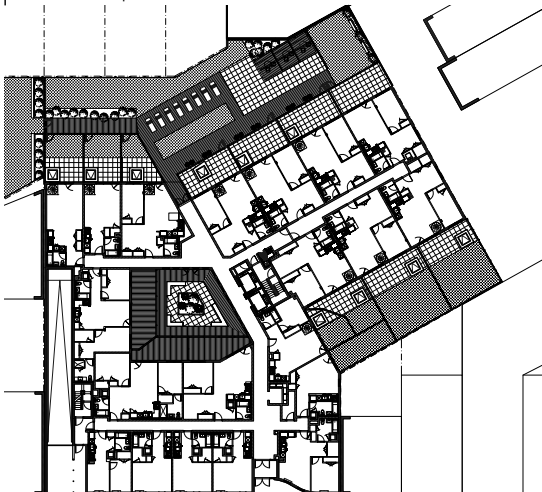
For this project we also chose to situate the public amenities on the top floor allowing for open airy views within the public spaces accessible to the whole community of residences but also allowing us to keep the number of units on the top floor at 11. This in turn allowed us to take advantage of the corridor density regulation that permits builders to write off 50% of corridor square footage. Along with the other 50% of corridor on this floor and every other floor (which we could write off for providing natural light at vertical core) we gained another 1000 rentable square feet—2 rentable units. This is a prime



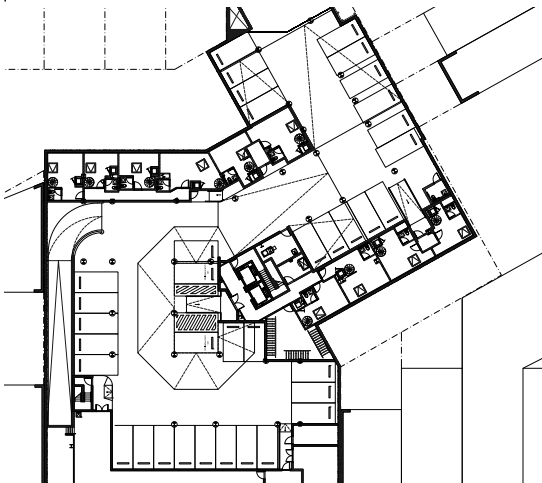
second floor plan



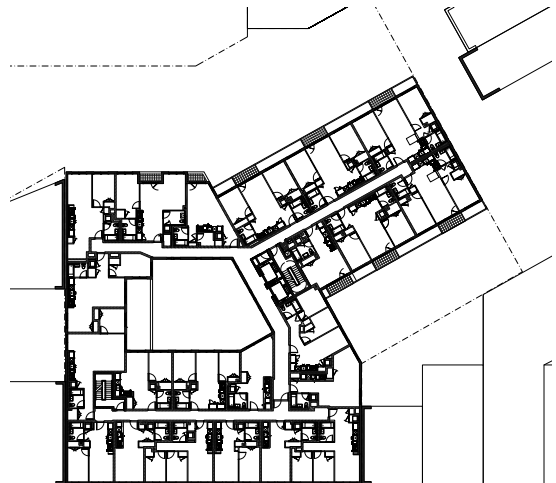
roof plan



ground floor plan

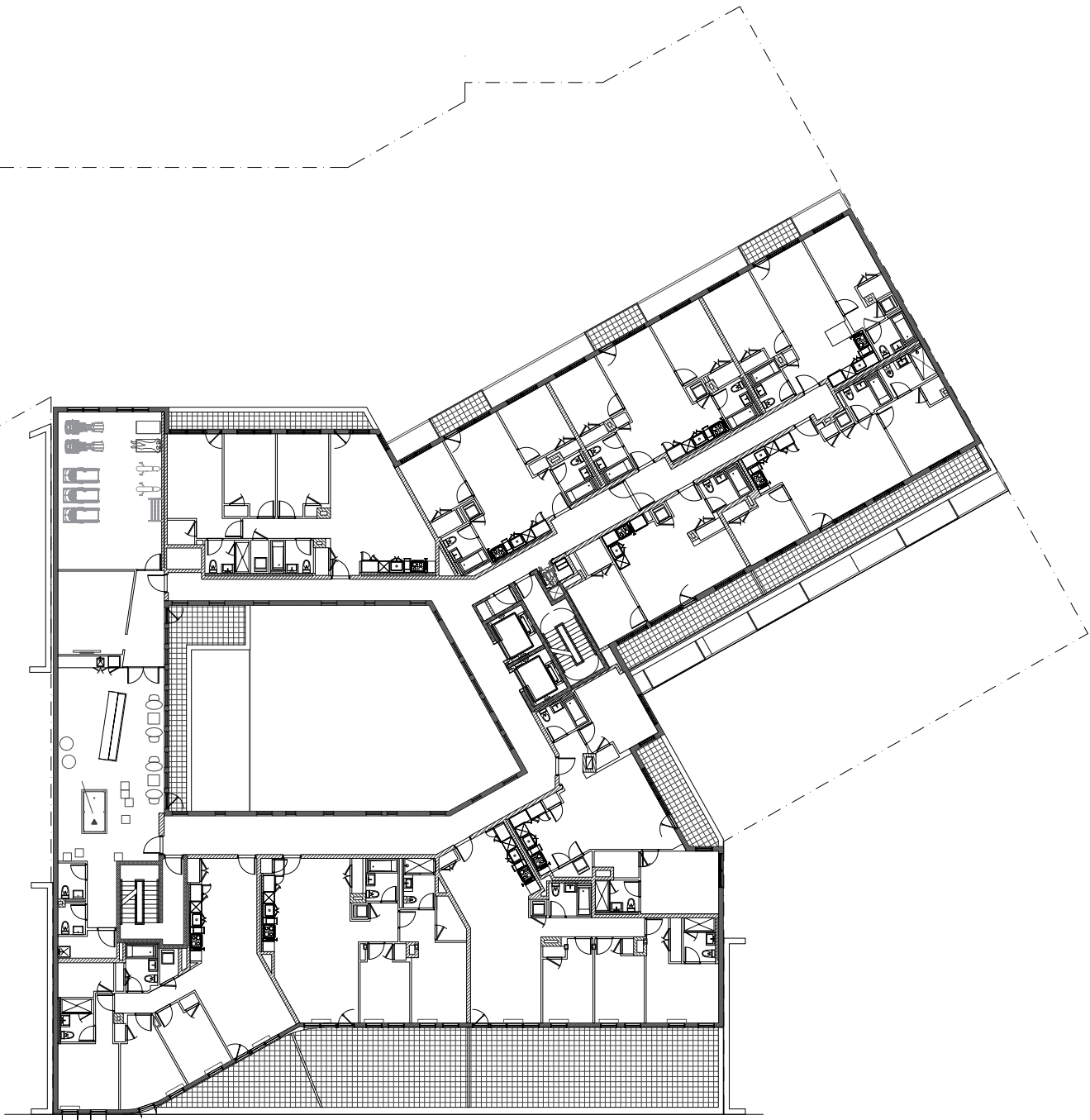


cellar plan



third floor plan







| rendering of proposed st marks avenue facade design





example of how an architect can use the building code to benefit both the builder and the renter rather than the code being detrimental to both. The front facade of the building is another study, this one in the allocation of resources and the benefits one can reap from it. The Brooklyn Zinc is a rental building and that usually implies a certain construction budget, but the one place an architect can get a developer to really spend money is on the front facade of a building. As the 'face' of the building it is seen as advertising and helps the developer create a sense of place; differentiating the look of the facade helps to rent apartments in a crowded and sometimes nondescript market. Knowing this, we choose to accentuate the building face, to play up the idea of a facade as just a scrim, a thin curtain draped upon the building's front. This concept took us to rainscreens with which we knew we could achieve the perceptible thinness we hoped to convey. Along with the thin attributes of the facade we also wanted to emphasize the sweeping length of the building's frontage. This idea led us to corrugated zinc paneling, a clean contemporary take on an industrial material. Zinc is self healing and can be easily bent and curved to achieve a smooth undulating form to match the building's massing. In addition, the horizontally run corrugation exaggerated the sweep and length of the building and the lap joints of the panels allowed for a visual understanding of the material's thinness. The corrugated



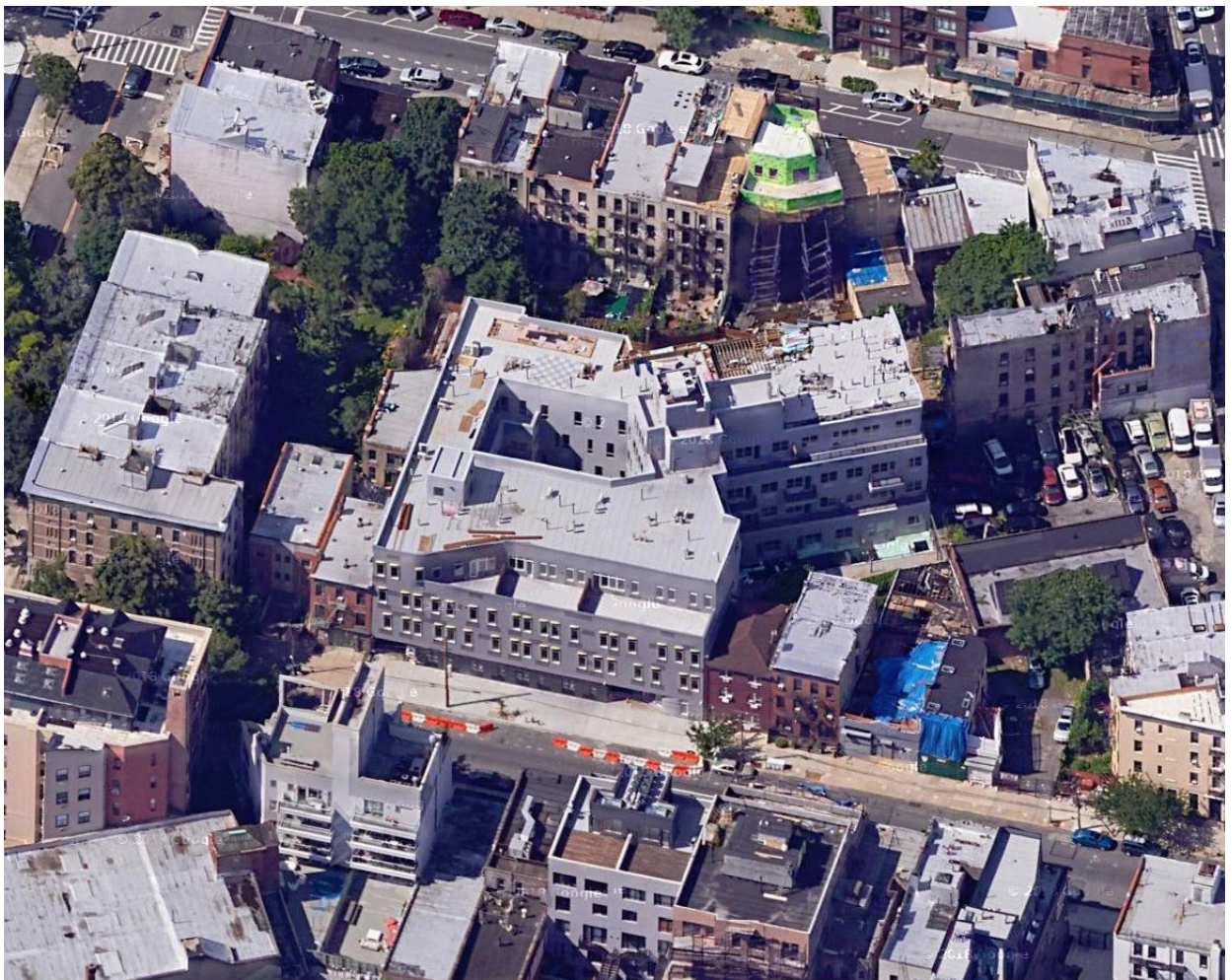
| completed st marks avenue facade





zinc rainscreen also allowed us to push the facade back at the fourth floor to accommodate the building set back. We achieved this effect by simply “tearing” the scrim like a sheet of paper. We employed a complementary peel at the ground floor to create the building entrance, thereby using the lines of corrugation to draw you into the building. To create further balance from the top of building to the bottom, we wrapped the center portion of the ground floor in a dark, honed, concrete panel. This material is a bit more resilient to the everyday wear and tear at the street level and it helped to mirror the massing of the fourth floor with its “dormer” and set back.

Having landed on a facade concept that was pretty monolithic both in terms of material and coloring we wanted to balance it by injecting a more playful aspect. We started by staggering the windows horizontally from floor to floor, again emphasizing the length of the facade. Next we conceived of a solar shade or “eyelid” to wrap the windows. This added another layer of shadow play that was begun by the corrugated zinc and finished by creating pockets of depth in our intentionally thin facade. Designed to bounce early morning light into the units, the asymmetrical eyelids permit low winter sunlight in while providing shade from high summer sun. Painted white on the interior face, the shades reflect light within the building. The exterior face of the shades were painted in a “Joy” yellow to add a hint of whimsy to the cool grey palette of



| aerial view of building mid construction



| building section looking west, cutting through main portion of building at the central courtyard



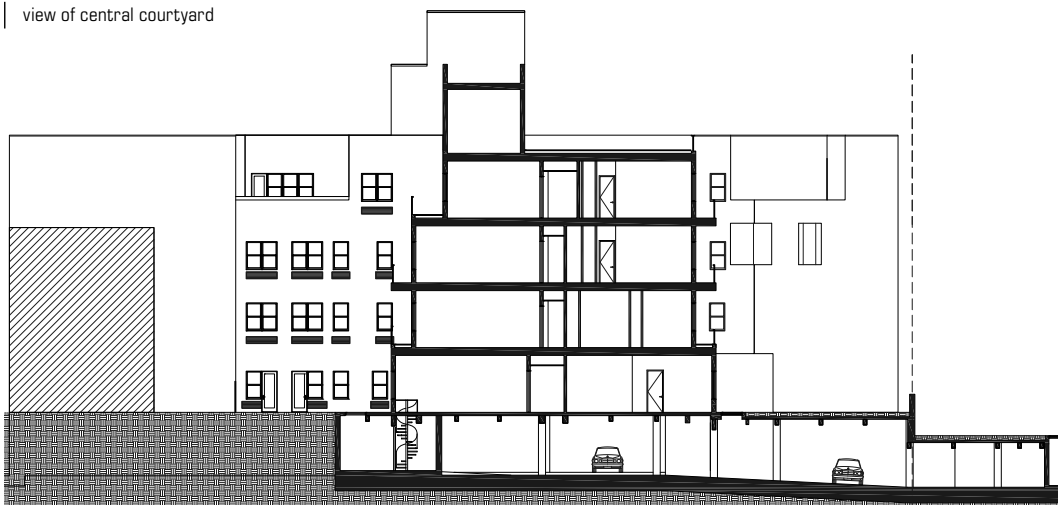


the zinc. By juxtaposing the shades and the corrugation we allowed the eye a clearer reading of the zinc's profile and depth, so that the curves became visible as more than just horizontal lines. The facade design became such an essential part of the building that it seemed only natural that the building take the name of it's material, hence, The Brooklyn Zinc.

The cellar provides ample parking for more than the required 38 spots. It also features a laundry room with industrial sized washers and dryers to supplement the ones in each apartment, as well as a "pet spa", an amenity that has become quite popular in newer buildings throughout the borough.

The ground floor of the building contains the buildings entry and lobby with a desk for a doorman, a mail room, package storage and 20 units, half of which are duplexes with rooms in the cellar as well as

| view of central courtyard

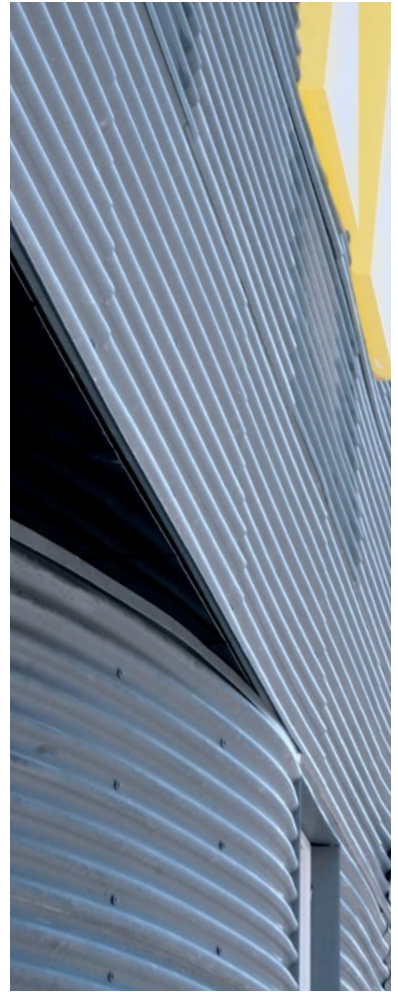


| building section looking west, cutting through eastern wing of building at rearyards

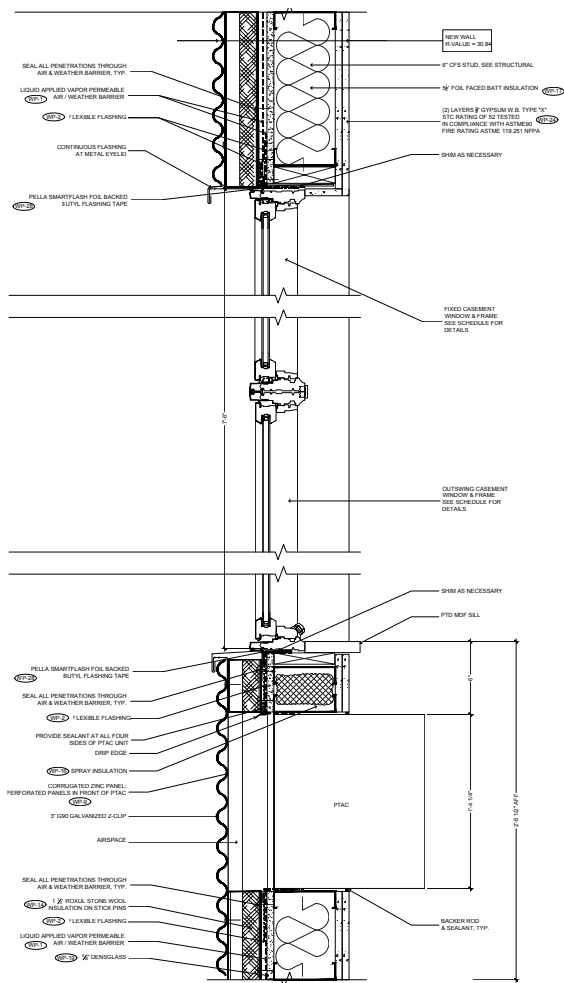
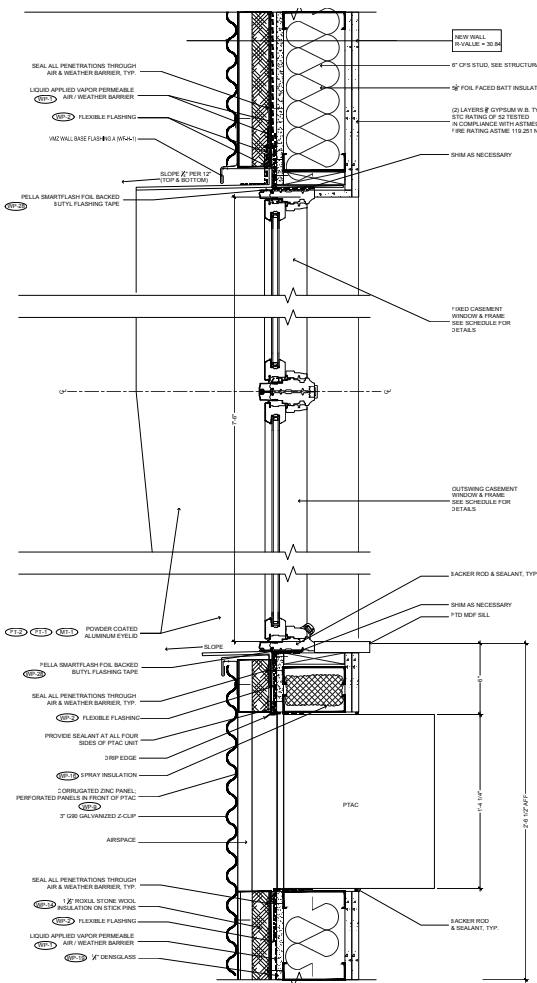
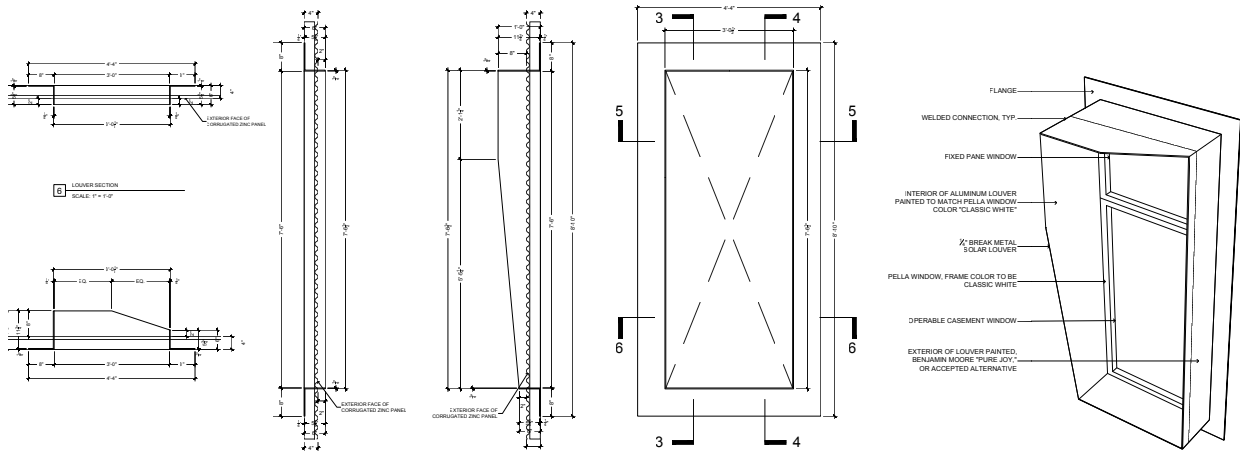
The roof is comprised of over 5800 square feet of open terrace along the northern edge (rear facade) of the building with sweeping views of the Brooklyn and Manhattan skylines. Complete with barbecues, a life size chess board, a verandah and 2 bocce courts, the roof is a true extension of the rear yard and an example of complete living.

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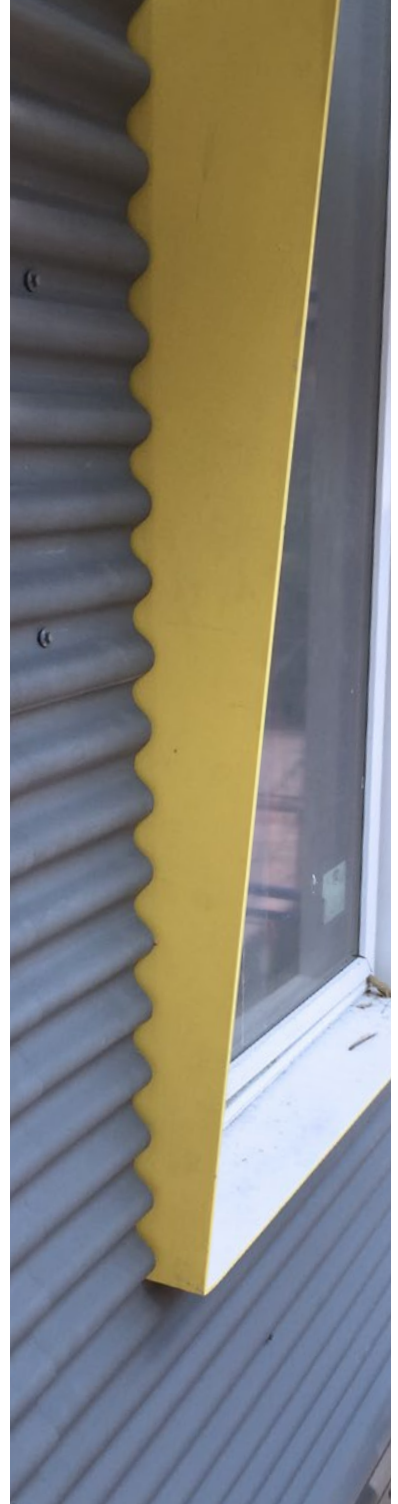
| detail photos of zinc rain screen



detail and sections of zinc rain screen and "eye lid" solar shades



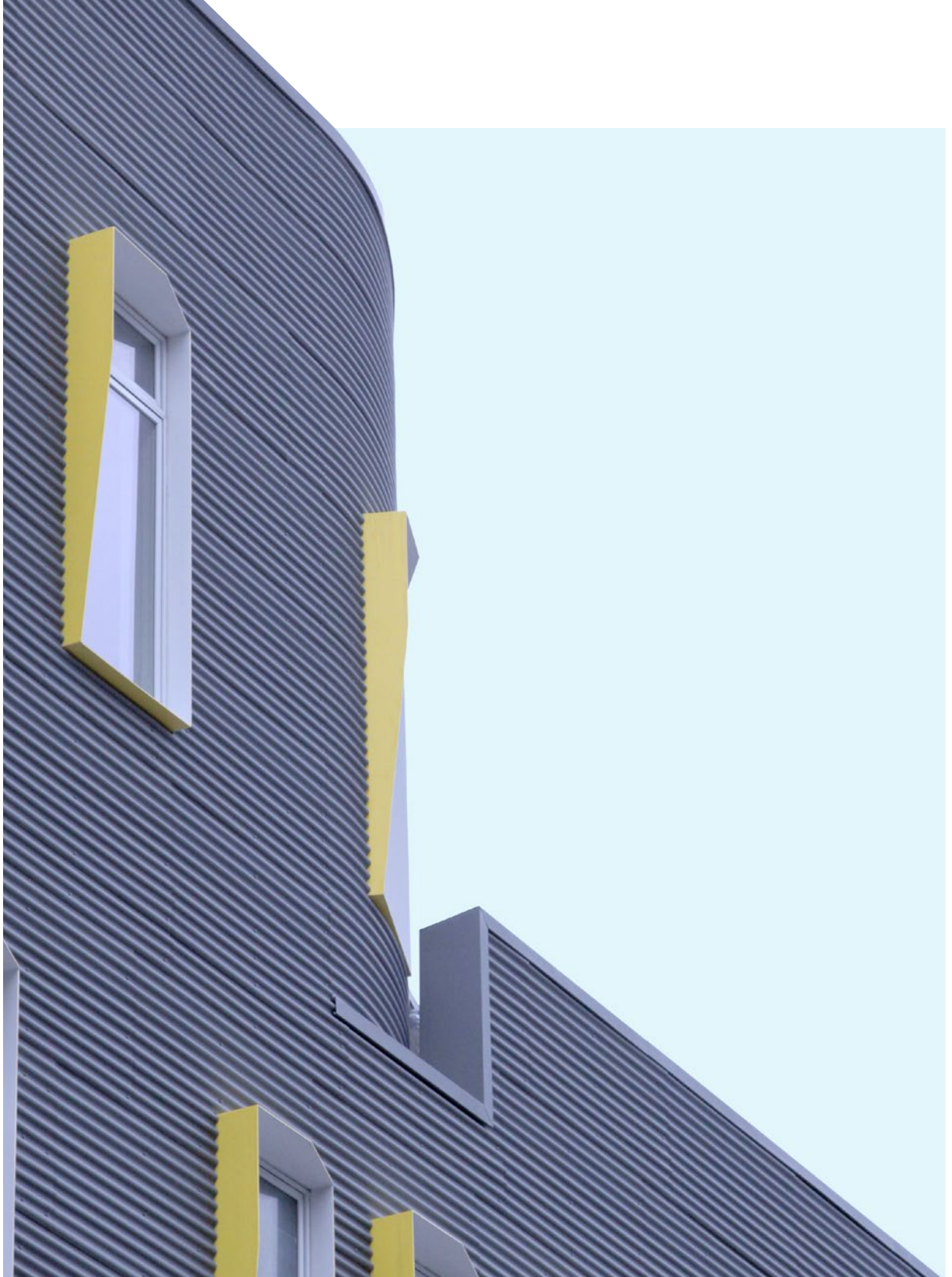
| detail photos of "eye-lid" solar shades







| rearyard and facade



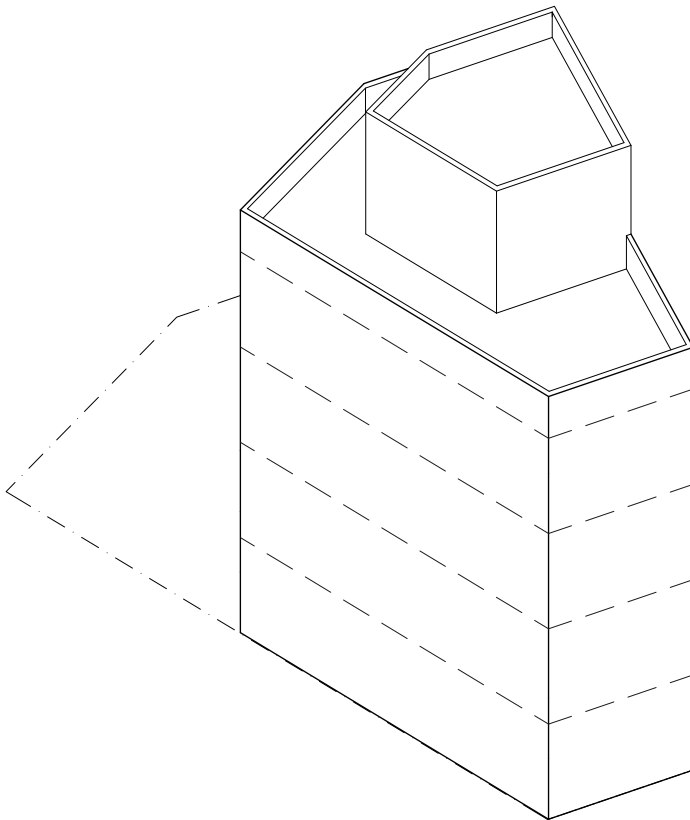




| rendering of proposed bergen street facade design

# prospect heights 3 family

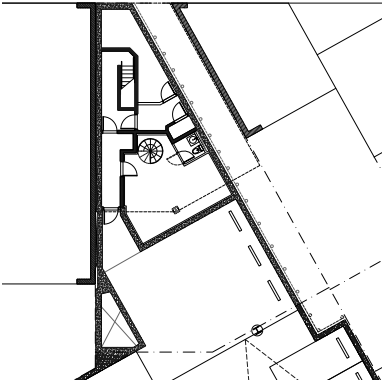
730 bergen street, bklyn



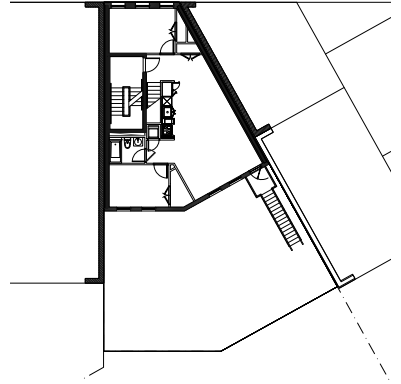
PROJECT	BREAKDOWN
TYPE	New Construction
CLASS	Residential
LOCATION	Brooklyn N.Y.
LOT AREA	2,500 SF
PROJECT AREA	5,100 SF
PROJECT HEIGHT	50' (5 Stories)
UNIT COUNT	3
PARKING SPACES	3
YEARS ACTIVE	2/2012 - 11/2018

This blunt-tipped, wedge shaped parcel began as part of the same parking lot on which The Brooklyn Zinc was built. Once the two lots were separated, the as-of-right zoning allowed for a 7 unit building with a max height of 50'.

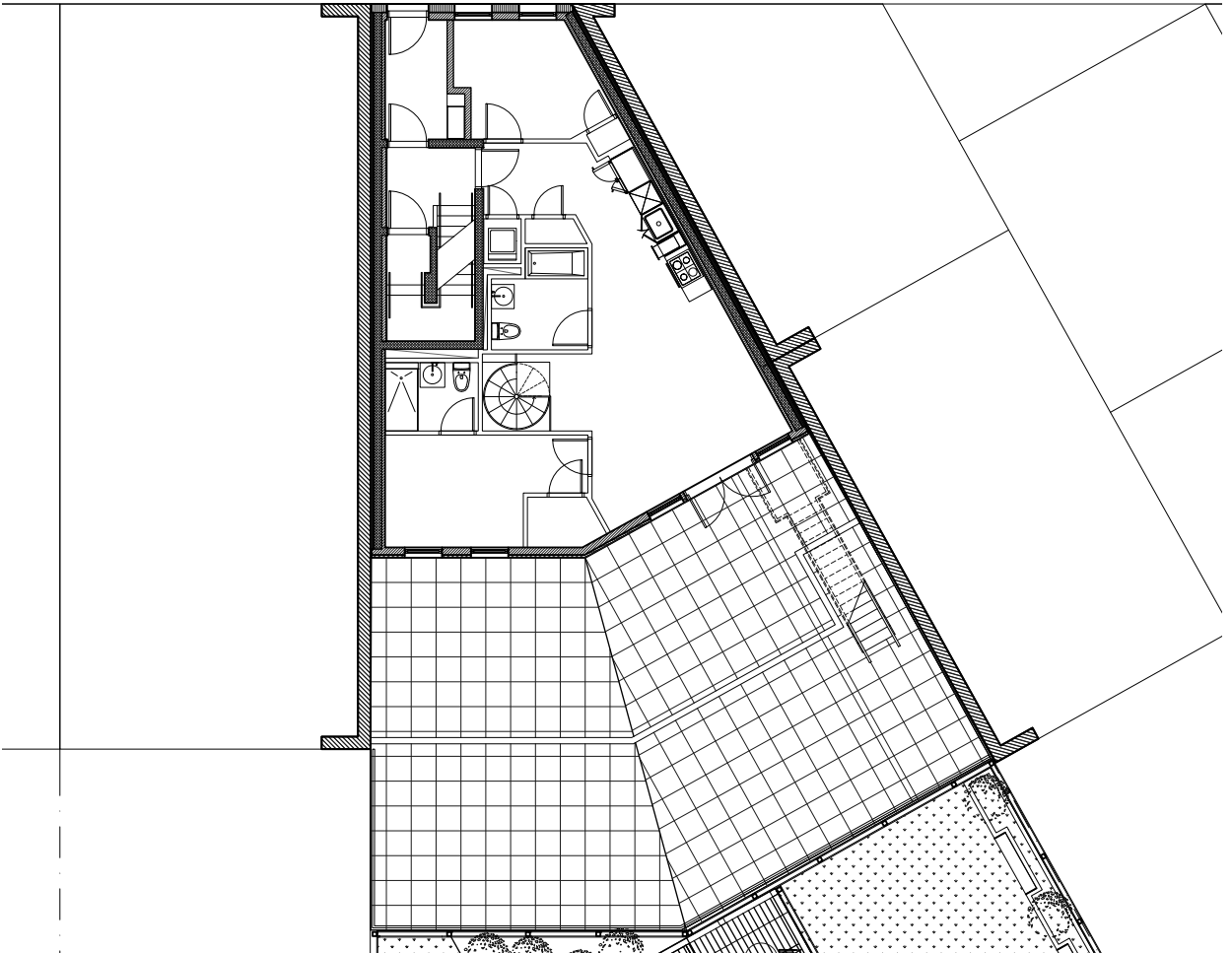
This multi-family townhouse may share a cellar and sub-grade parking with it's big sister the Zinc, but the client, recognized that two building looked out on to two very different blocks so we would need to develop a different visual language for this project. There would be no zinc or eyelids, instead this narrow-faced building, measuring in at just over 16 feet wide would need to become more contextual, draped in brick.



cellar floor plan

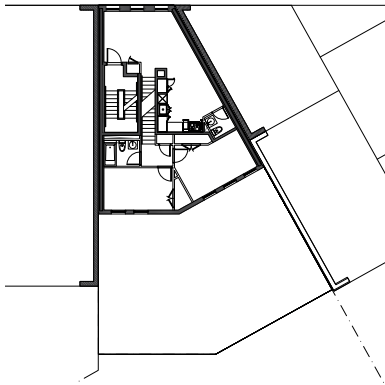


second floor plan

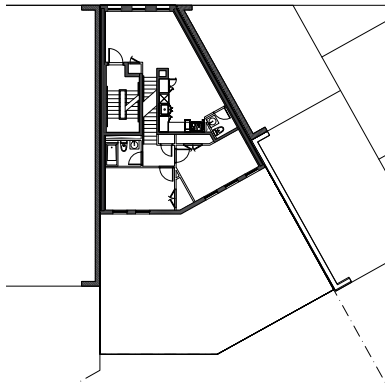


ground floor plan

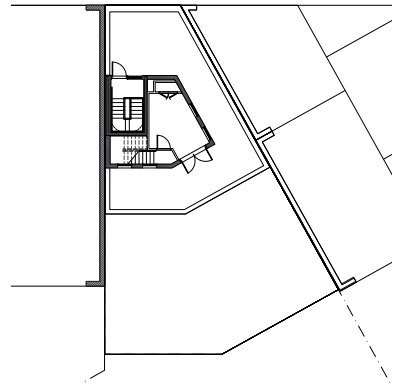




third floor plan



fourth floor plan



penthouse floor plan



building section looking west, highlighting the unit arrangement



1940's tax photo showing loading dock at far right

The cone-shaped plan creates compressed spaces at the street facade putting the main focus programmatically towards the rear of the building which flares out like a fan.

To avoid an elevator requirement the building was designed as a 3 family building, with the units spanning a basement, 4 stories and a penthouse. Divided into two duplex and one triplex apartment, these units were originally envisioned as rental apartments with a similar level of finish as the Zinc but as the economy changed over the course of design and construction, the client decided to transition these three units to condos, upgrading finishes and redesigning floor plans to include master suites.

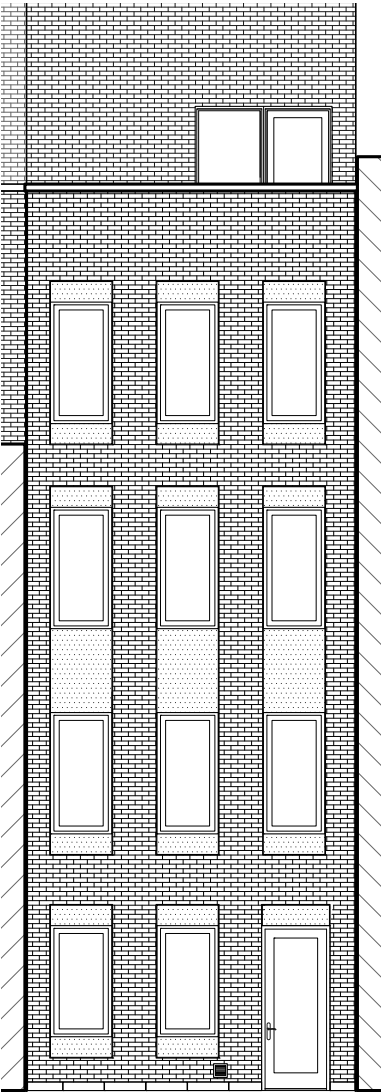


the site had been an on grade parking lot for decades prior to construction

Unit 1 on the ground floor is a duplex to the cellar, featuring an accessory space with skylights and a half bathroom. It has access to the front half of the rear yard through a glazed french door off the living room.

Unit 2 stretches across all of the second floor, as well as the rear half of the 3rd floor. It is a 3 bedroom unit with a home office and access to the back half of the rear yard via a landing and exterior staircase off the rear facade.

Unit 3, the triplex, begins on the front half of the 3rd floor with living room, dining room, kitchen and a half bath. On the fourth floor there is a master suite, 2 bedrooms and a bathroom. The connected penthouse could be a den as easily as it could be an additional bedroom with a wrap around terrace.



| proposed elevation of bergen street facade



| rendering of proposed bergen street facade



| completed bergen street facade





| kitchen and dining area in unit 2



| dining area and living room in unit 2



In addition to the appeal and perks of living in private townhouse style building, the residents would enjoy direct access to the parking in the cellar of The Brooklyn Zinc as well as the gym and amenities space. Providing the best of all worlds, small building exclusivity with big building benefits.

This building, unlike the Billiard factory and the Brooklyn Zinc, each of which had a large impact both visually and in terms of density and population, 730 Bergen is a modest brick face townhouse that almost sneaks its way into the neighborhood. The slim facade, the treated brick and its overall scale, seem to fight to not be notices. If not for the new windows and hardware, one would think this was merely the product of a renovation and not a completely new ground up development. The contextual approach, a departure from the more contemporary work I am more used to, allowed for more attention and detailing within the private condo residences.



| master bed room

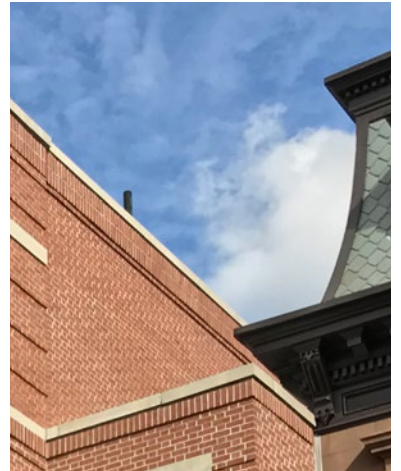


| master bathroom



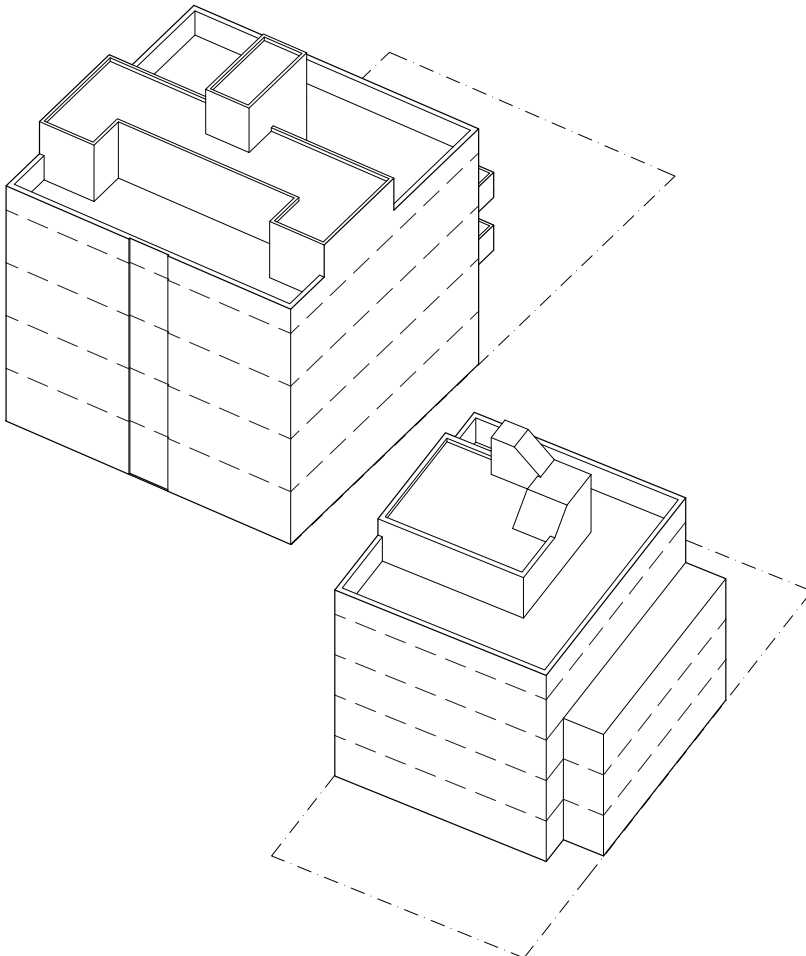
| living room





# the clinton hall

269 washington avenue  
238 hall street, bklyn



PROJECT BREAKDOWN	
TYPE	New Construction / Landmark
CLASS	Residential
LOCATION	Brooklyn N.Y.
LOT AREA	9,958 SF (5,000 SF + 4,958 SF)
PROJECT AREA	23,880 SF (10,350 SF + 10,530 SF)
PROJECT HEIGHT	50' (5 Stories)
UNIT COUNT	20 (10 units per building)
PARKING SPACES	0
YEARS ACTIVE	11/2011 - 12/2017

This project in Clinton Hill began as a vacant through-lot stretching from historic Washington Ave. To the west through to Hall St. on the east. Looking out onto the lush grounds of the Pratt Institute campus and directly across from the school's library with its interiors designed by the Tiffany Glass & Decorating Company, this project of sister buildings sought to cater to two distinct demographics of the neighborhood; an older family-centric population and students of the institute.

The lot sits in the heart of the Clinton Hill historic district and required both community board approval as well as Landmarks approval. It was an involved process to get permission to create these two new

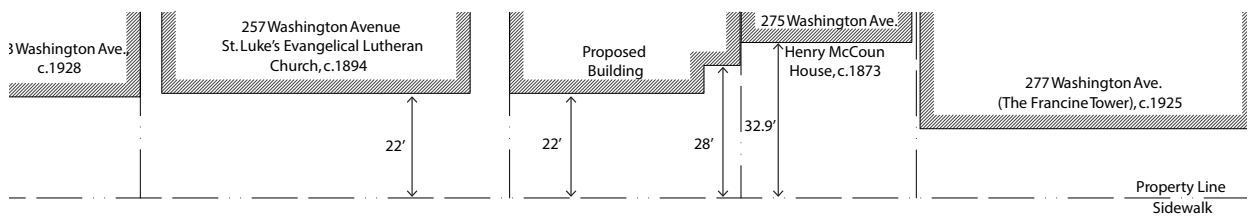




| photo montage of washington avenue historical context, from landmarks preservation presentation



| photo montage of washington avenue site prior to construction

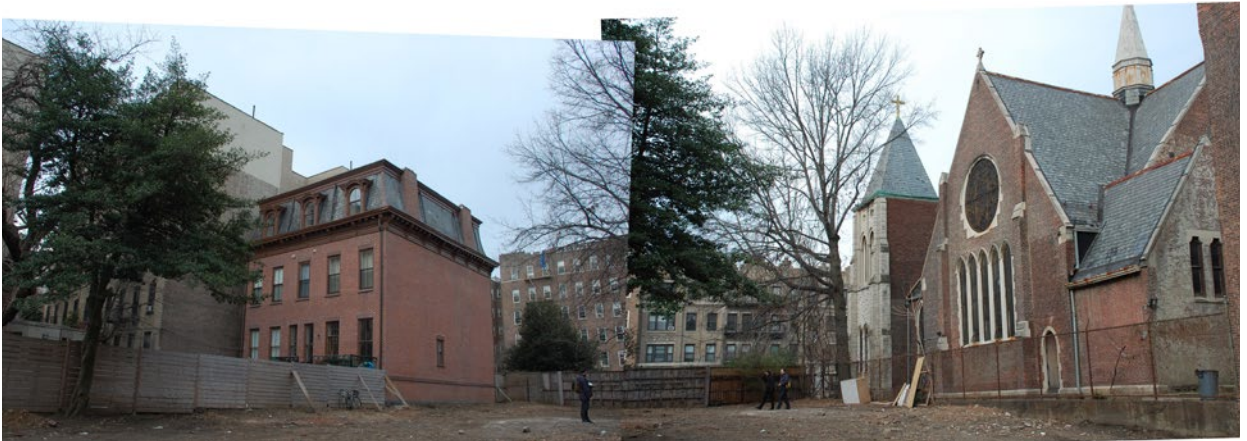


| elevations and set back diagram along washington avenue, showing existing context and proposed new building

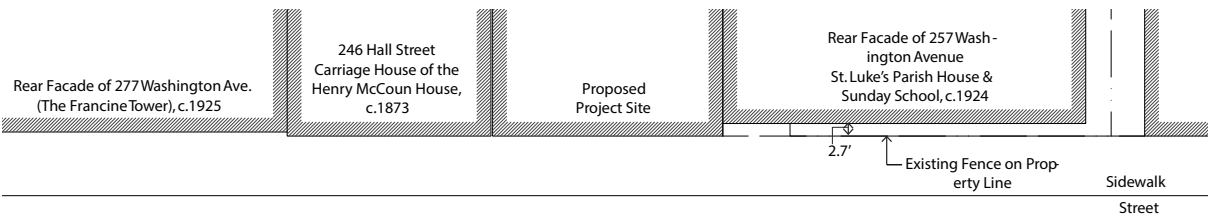




| photo montage of hall street historical context, from landmarks preservation presentation



| photo montage of hall street site prior to construction



| elevations and set back diagram along hall street, showing existing context and proposed new building



| rendering of proposed washington avenue facade

“landmark” buildings on what was once the site of the Samuel Beard House but for the last 40 years had been an ad hoc public garden.

The site fell with in general Landmark district designation; in addition to which, to the north lay the specifically landmarked neo-gothic St. Luke’s Evangelical Lutheran Church which was built in 1894 and designed by J.W. Walter. The church grounds continue alongside our lot through the block to Hall St. and features a Sunday school and parish house. The parish house was built in 1924, its brick structure combining Gothic and Romanesque to create a retardataire design with a tall crenelated corner tower and corbelled cornice.

To the south, is the specifically landmarked Henry McCoun Mansion, one of the few freestanding early residences remaining on Washington Ave. An Italianate design with Neo-Grec and Second Empire elements, it was built in 1873. On Hall St. is



| completed elevation, 269 washington avenue



a two story vernacular brick building that was originally a carriage house and coachman's residence.

The greatest challenge of turning this vacant lot into a two building project would be navigating the grey area between the zoning code and the landmark preservation commission. These two bodies have regulations and requirements that often seem at odds of not contradictory, especially when designing a new building.

Originally these two buildings were envisioned as a matching set, however, as the process unfolded this turned out not to be feasible. On our first visit to the site, (with site survey in hand from our client's recent purchase of the lot) we discovered that the cornice of the landmarked McCoun Mansion extended almost 24" over the lot line at a height that would align it with the middle of our 4th floor. Obviously, there was no way to remove or change the neighbor's cornice even though it crossed over

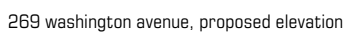


| rendering of proposed hall street facade



| completed elevation, 238 hall street

For the second concept we re-ran the square footage with the 8' wide side yard, but we found we could not maximize the allowed bulk due to the very deep required set-back off the street. The plan examiner was willing to give us some wiggle room





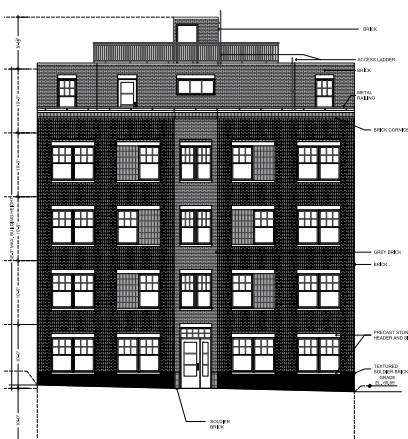


on the set back but the community board and the LPC were not.

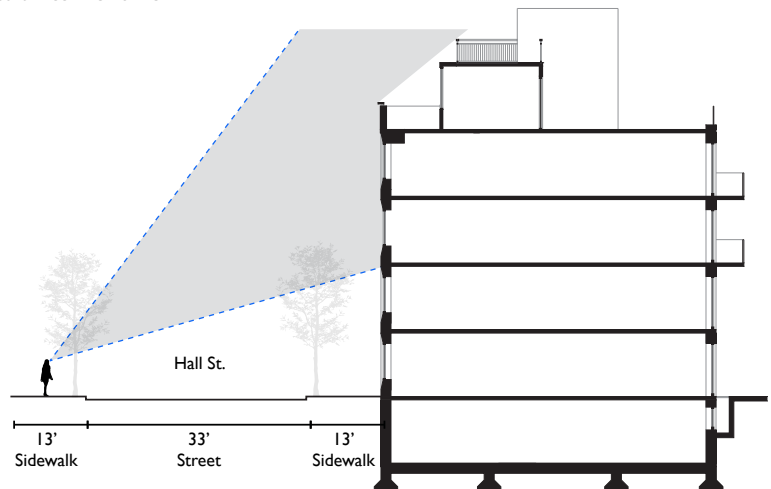
We tried several iterations of redividing the site by transferring a 26" sliver of the site to either the sister building facing Hall St. or to the neighboring mansion but the DOB and DOF do not allow for the creation of a lot narrower than 16' wide and they maintain that during the process of a land transfer a new lot is created (albeit on paper), therefore this was not allowed either.

Finally we landed on a solution that satisfied everyone: the DOB, the client and the landmarks commission. The first three floors would be built out to the lot line adjacent to the neighbor while the fourth floor would have a side yard set-back of 8' for the entire length of the building. The 3 story section of the building were set-back back from the street to align more closely with the neighboring mansion while the larger bulk of the main structure aligned with the church to the north.

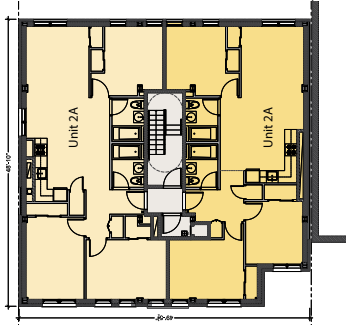
238 hall street, with obscured views of the set back fourth floor mezzanine



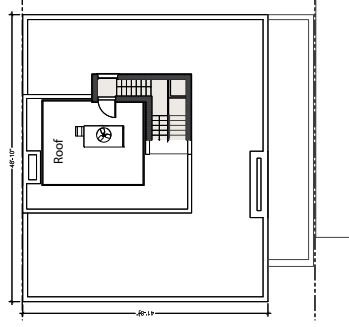
238 hall street, proposed elevation



238 hall street, sightline visibility study from across hall street



second floor plan



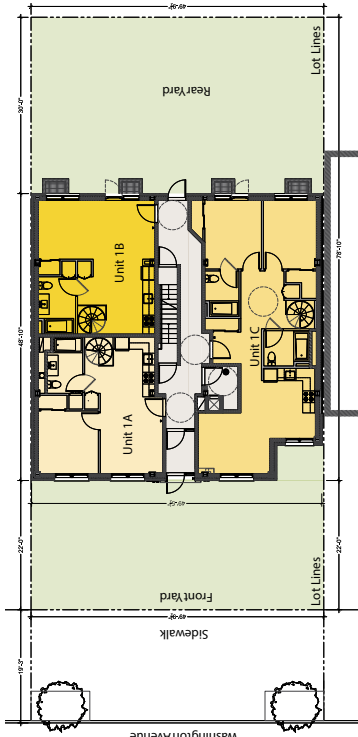
roof plan

This was a move appreciated by all parties, both the community board and LPC liked that it was contextual and respectful to the neighbors while the client liked that it allowed us to make use of all the as-of-right square footage and we, the designers, liked that it created a break in the facade, a shadow line and a bit of variation.

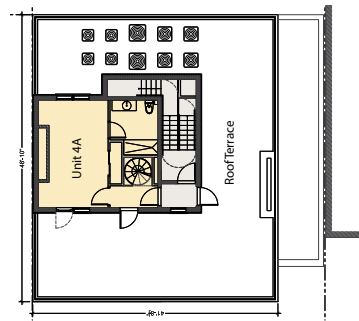
The building facing Hall St. was a different and simpler story. Nested between two back building/ service structures—a carriage house and a rectory—there was no required set back. We opted for a darker, more contemporary palate while still employing the vernacular brick of the adjacent back buildings. This building was straightforward with simple floor plans that could be repeated from floor to floor.

The complexity of the Washington Ave. building coupled with it's more desirable address on a wide and historic avenue meant that this building catered to a more mature and family-oriented customer. With a few duplexes, two and three bedroom units with higher end finishes it is perfect for a long-term renter with children while the Hall St. building, facing the Pratt campus, was designed as "post-dorm" style housing for students. This building featured two 4 bedroom units on each floor, smaller kitchens and heartier finishes that could withstand the abuse of a more transient population.

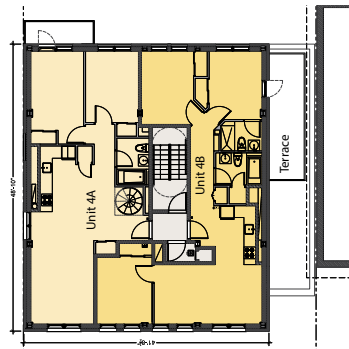
One thing the two sister do share is the sweeping communal rear-yard. Extending between the two buildings,



ground floor plan



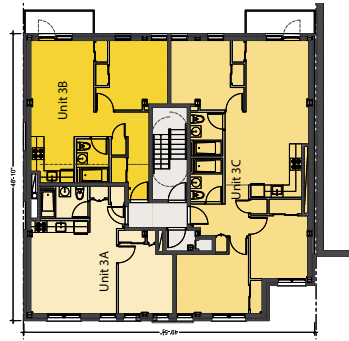
fourth floor mezzanine plan



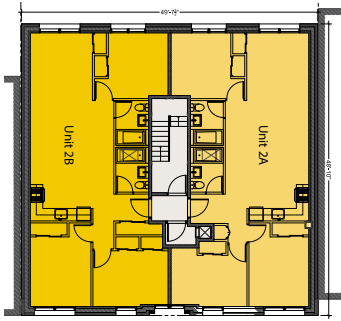
fourth floor plan



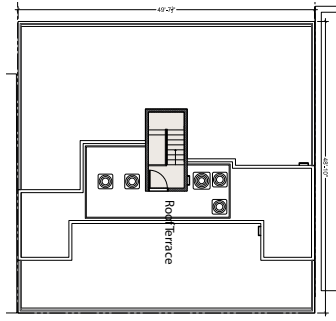
cellar plan



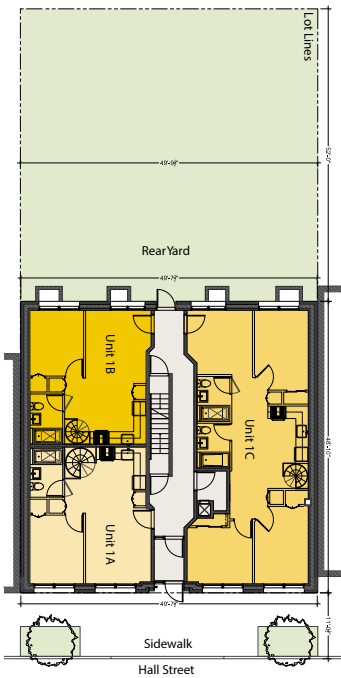
third floor plan



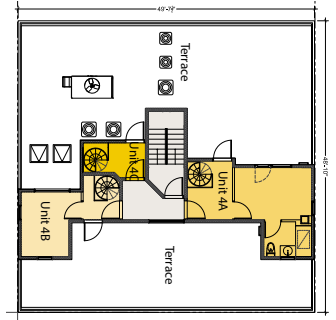
second floor plan



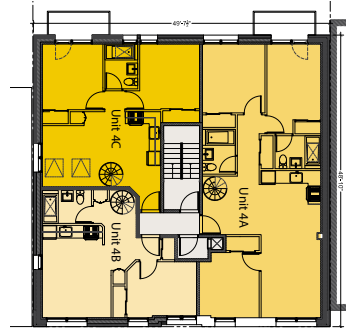
roof plan



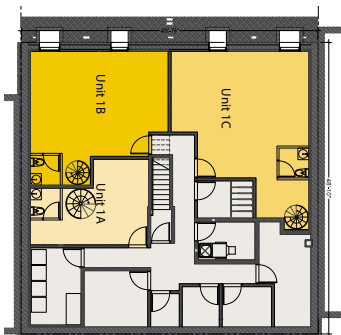
ground floor plan



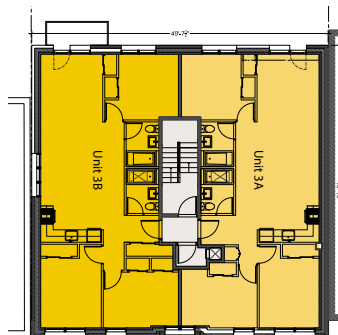
fourth floor mezzanine plan



fourth floor plan



cellar plan



third floor plan

we envisioned this space as a park. Keeping in mind that not everyone would be using it at the same time we hoped individuals would enjoy the unprecedented 60' open space. Each of the four ground floor units across the two buildings had accessory spaces in the basements that opened on to their own private sub-grade yards; this allowed each of the ground floor units privacy by limiting visual access to their rear windows and gave the rear yard a feeling of being removed and independent from the two buildings. The common outdoor space came equipped with barbecues, a fire pit, and covered bike storage (in addition to the required storage within the building) and features a series of stepped terraces that straddle the change in elevation through the block.

The two buildings with their common yard and diverse community represent a perfect microcosm of the neighborhood; a mix of new and historic, young and old.



rendering of proposed washington avenue rear facade

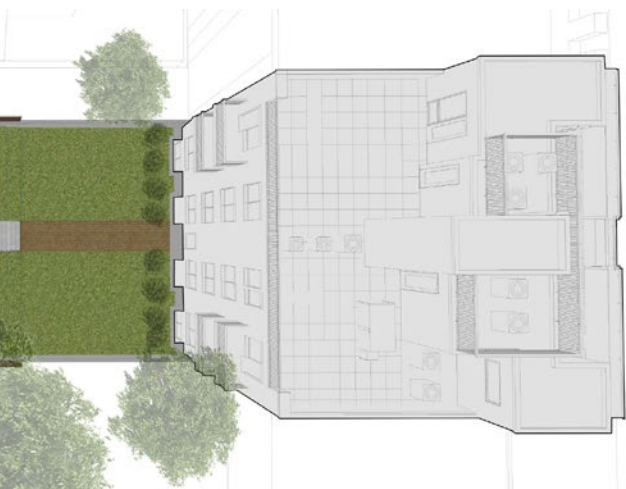


rendered birds-eye perspective of both buildings, illustrating the communal rearyard



completed rear elevation, 269 washington avenue





| rendering of proposed hall street rear facade



| completed rear elevation, 238 hall street

conversions



billiard factory lofts  
363 prospect place  
brooklyn, n.y.

s3architecture  
8/2011 - 12/2016  
42,000 square feet  
44 units

phases;  
sd,dd,id,cd,ca





completed prospect place facade



rendering of proposed prospect place facade design

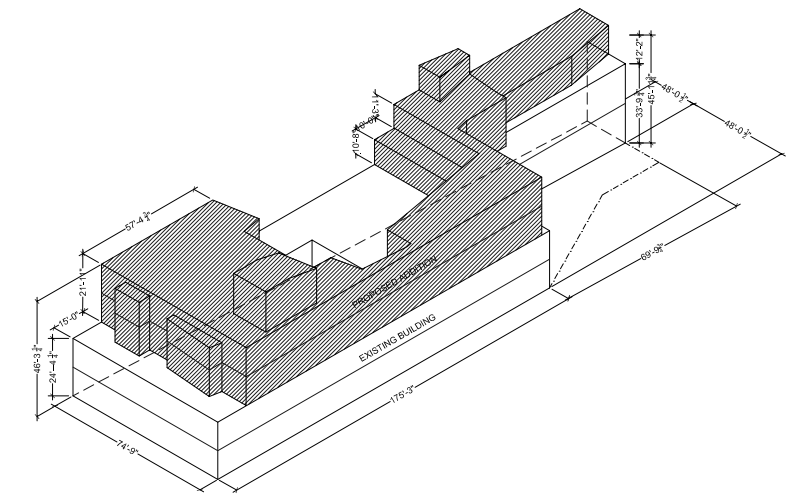


original condition of prospect place facade

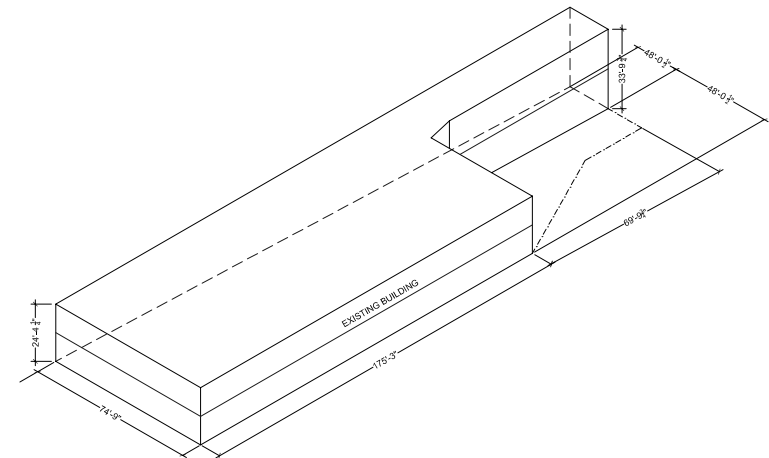
# billiard factory lofts

363 prospect place, bklyn

PROJECT	BREAKDOWN
TYPE	Conversion / Addition
CLASS	Residential
LOCATION	Brooklyn N.Y.
LOT AREA	16,000 SF
PROJECT AREA	42,000 SF
PROJECT HEIGHT	50' (4 Stories)
UNIT COUNT	44
PARKING SPACES	0
YEARS ACTIVE	8/2011 - 12/2016



| massing of proposed building volume



| massing of original building volume

In the heart of the rejuvenated Prospect Heights neighborhood, these loft residences grew out of the original Irving Kaye Billiard Factory built in 1960. The Irving Kaye company turned out a wide variety of billiard tables, pinball machines, foosball tables, arcade games and even hand dryers from their Brooklyn headquarters until 1970 when the company moved to Stamford, Connecticut. The through-block warehouse was then owned and operated as an ambulance garage and repair station by Brooklyn's Jewish Hospital which was later acquired by Interfaith Hospital.

The building's use and maintenance, began to wane until the building was ultimately sold to Industry Capital, a new development firm run by three



| original condition of prospect place facade

local Brooklyn brothers and their childhood friend.

Located just steps from the commercial strip along Washington Avenue, the existing two-story panhandle shaped brick factory building provided pedestrian entrances on both Prospect Place and St. Marks Avenue as well as 3 vehicular entrances on St. Marks, including one with a ramp to the second floor.

Not only did the building have frontage on two streets, but due to the angle at which Washington Avenue cuts through the regular street grid of Prospect Heights, the zoning lot was divided by district boundaries; 15.45% of the lot fell within a R6A zoning district and 84.55% fell within a R6B zoning district.

We performed an extensive zoning study that considered all the ramifications of a through-lot sitting



| demolition of existing slab to make way for proposed central courtyard



| existing concrete encased steel column



| new steel and temporary wood bracing





existing driveway facade



original condition of st marks ave facade



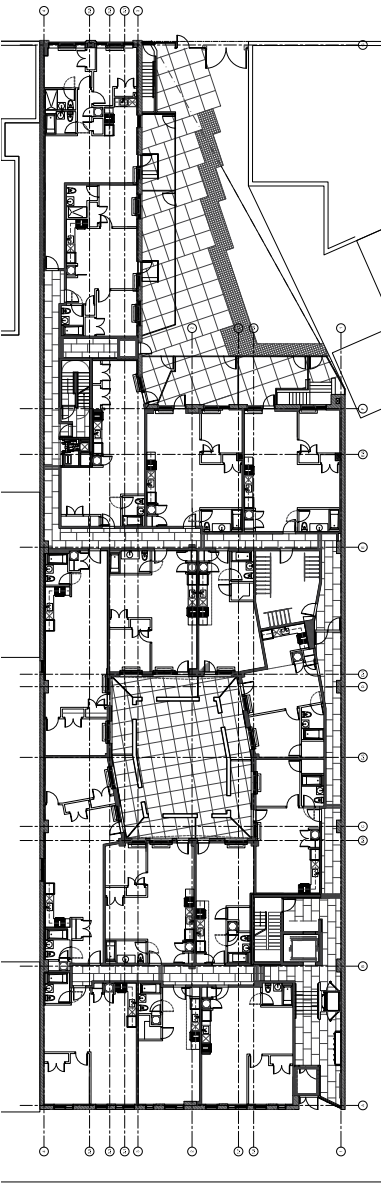
original hand painted signage

within two zoning districts along with a detailed neighborhood analysis. Based on our findings we determined that we would add two stories on top of the existing building thereby taking advantage of the current building height maximum. This also allowed us to provide tall loft ceilings in all the units, both those located in the original building as well as those located in the new upper floors. In the end the building would contain 44 units based upon the weighted average of zoning density of R6A and R6B. The building bulk along with its long winding corridors would require fire doors, two vertical means of egress as well as two separate building exists and one elevator.

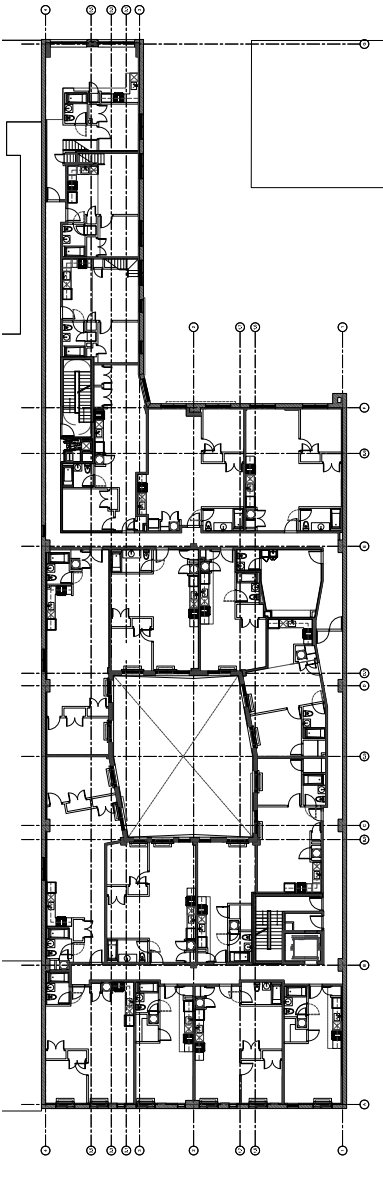
The slope through the block caused the ground floor slab of the existing structure to be more than 4' below the sidewalk elevation along Prospect Place, our proposed main entrance, and to create a level ground floor slab through the building, caused the St. Marks slab to be a little over

2' above the sidewalk elevation. This meant we would have to provide a wheel chair lift at our main entrance on Prospect Place to bring people down 4' to get to main level and then access the elevator and ground floor units. The building exit on the St. Marks side of the building was at the far end of the rearyard which could easily be sloped over the 74' length to the street line.

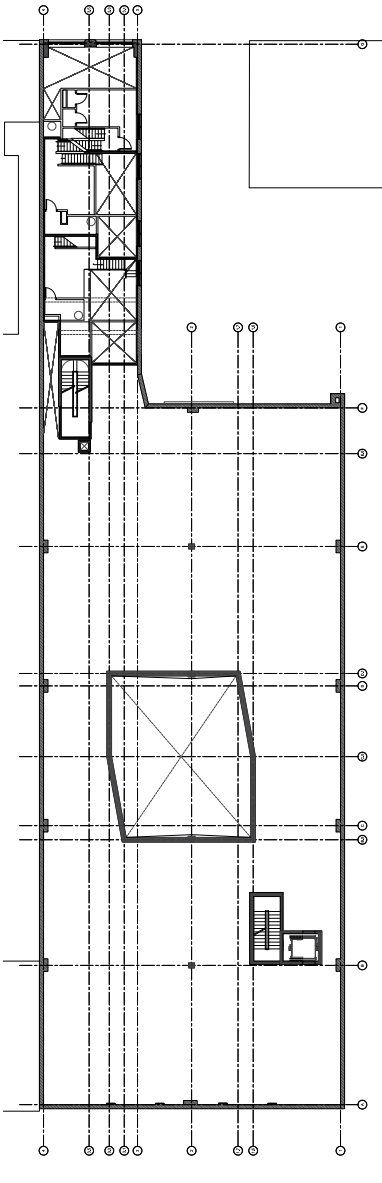
After years of abuse and neglect, most of the existing building had to be removed and rebuilt, including but not limited to all the existing floor slabs including



1st floor

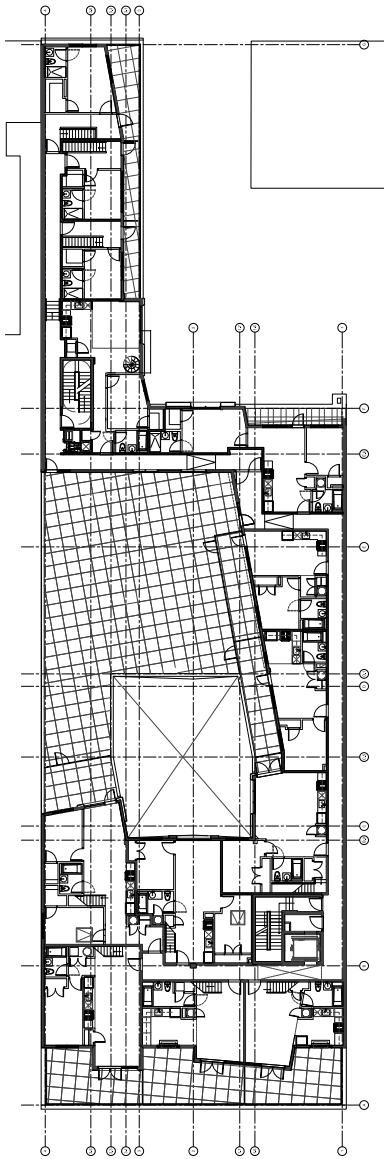


2nd floor

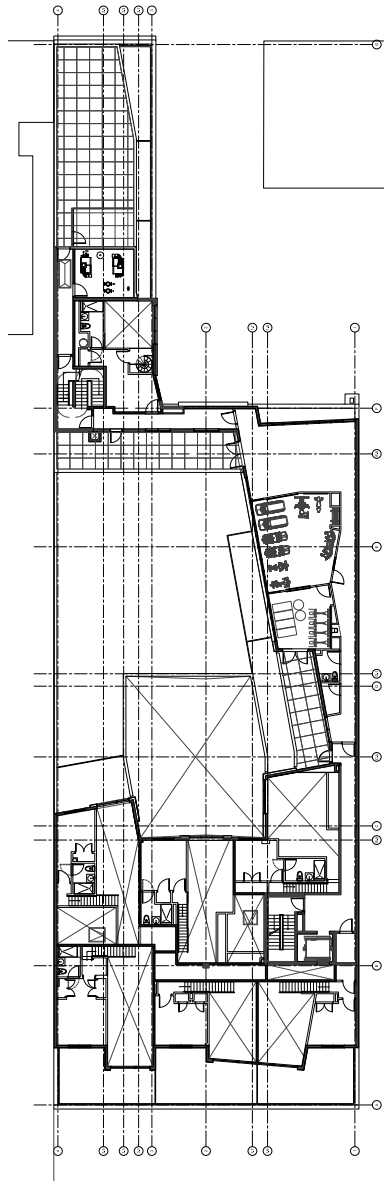


mezzanine level

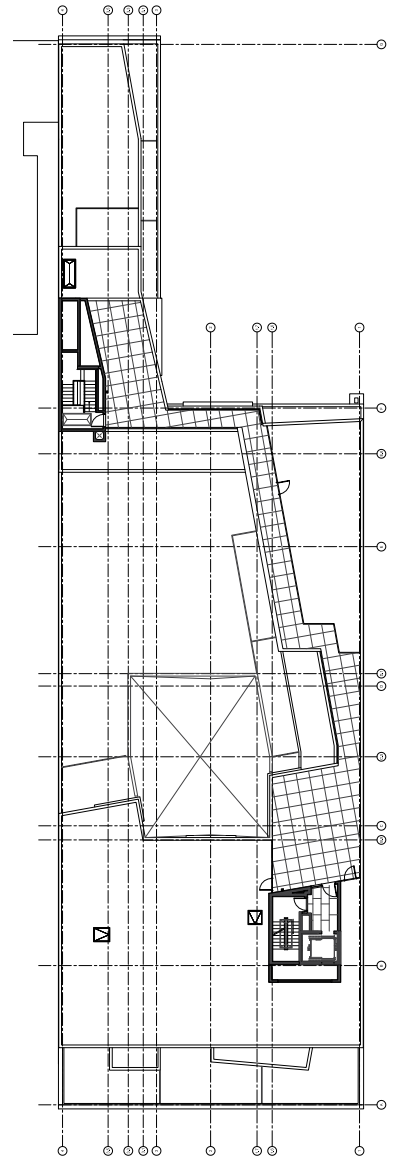
the roof and large portions of the perimeter wall with the entire facade along St. Marks avenue having to be replaced. Most of the existing steel columns remained in place as well as the steel beams for the second floor but all of the steel for the roof, which would now be our new third floor had to be removed because the original steel was install to create sloped roofing for drainage. It was deemed cheaper to replace all the steel since we were already removing the roof slab and the cost to level a slab on sloped steel would no longer be efficient.



| 3rd floor



| 4th floor

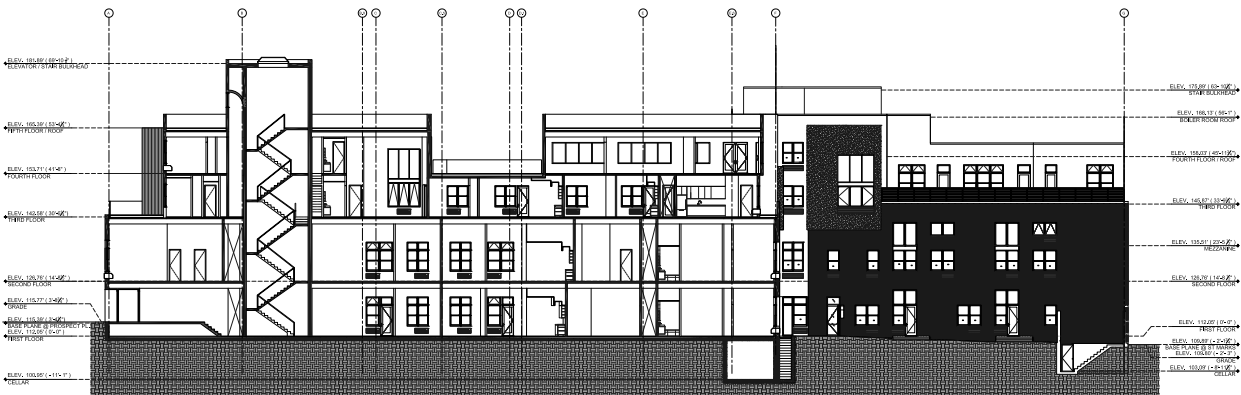


| roof

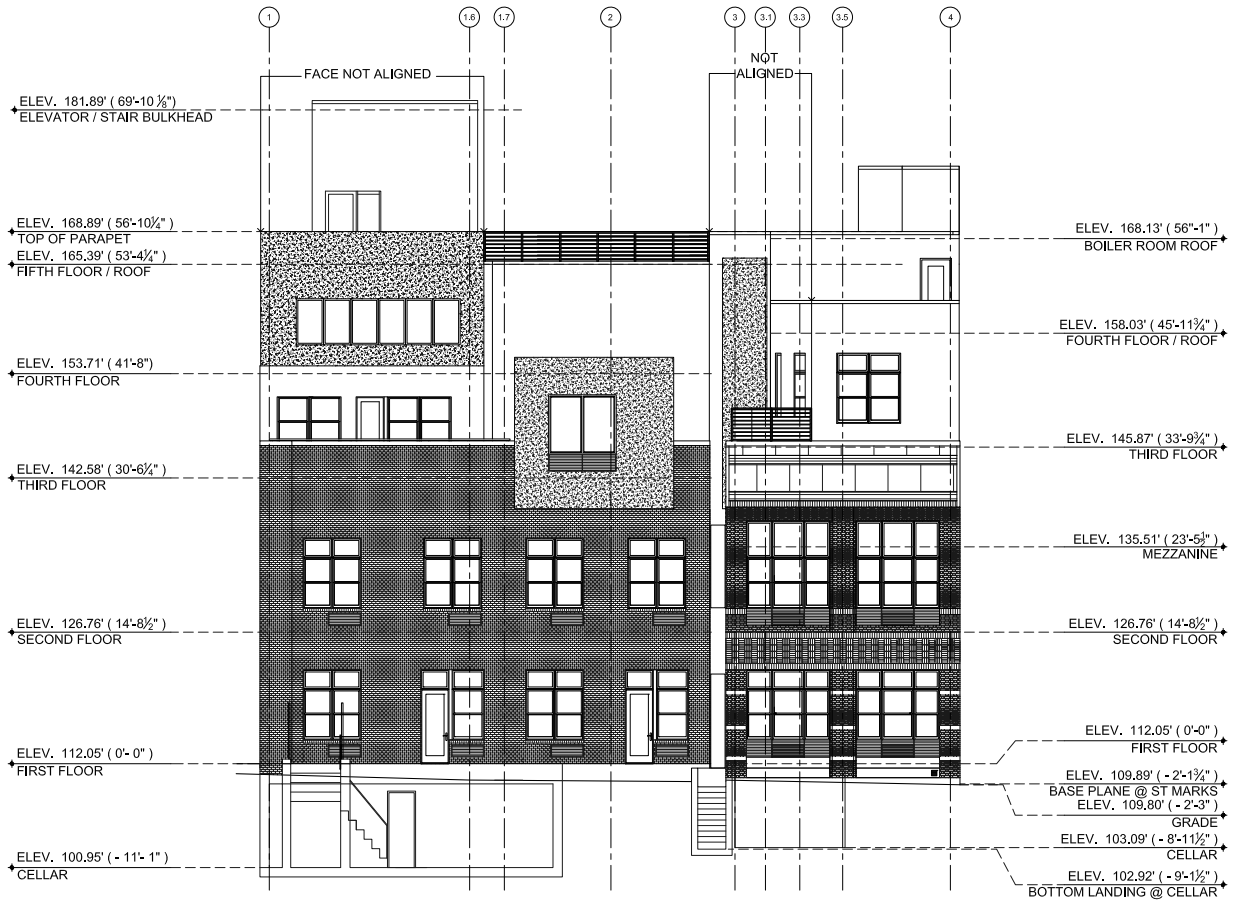




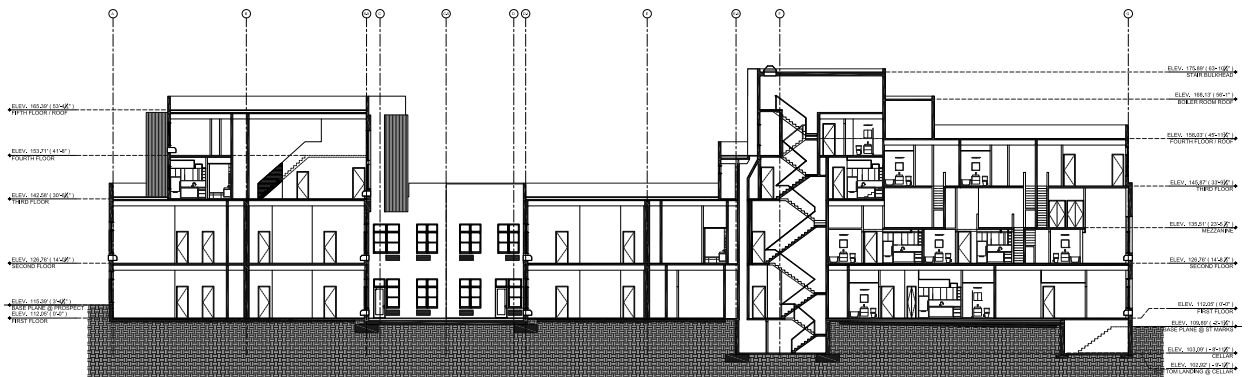
proposed prospect place elevation, showing original two story structure with two story addition above



proposed building section looking west, cutting through main portion of building



proposed st marks avenue elevation showing the former garage bays at far right with glass infill



proposed building section looking west, cutting through courtyard, third floor roof terrace and the finger portion of building



| aerial view of building looking east, showing courtyard, third floor and roof terrace



| prospect place facade



The original two floors of the building would house the bulk of the rental units, 31 of the 44 unit total. Each of these units provided 14' lofted ceiling. When possible, these units would feature exposed brick and other historic detailing ranging from reclaimed steel or existing painted signage. Eight units on each of the first two floors would have views out on to the new +1200 square foot inner courtyard, with the lower eight units sharing access to the private yard. The ground floor also contained storage space well exceeding the 22 bike minimum as well as a mail room, a package room with cold storage and 3000 square feet of public and private rear yards along St. Marks Ave.

The lower two floors fell under section 28 of the zoning code, (regarding the conversion of existing commercial spaces). In this scenario, code permits increased allowable distances from windows and allows skylights to be calculated to satisfy required light and air requirements. Even with these relaxed requirements, the



| original condition of st marks avenue facade



| rendering of proposed st marks avenue facade design



| completed st marks avenue facade



| rendering of unit 3a, showing kitchen, living room & dining room



| unit 3a located within the vertical addition, showing kitchen, living room & dining room

majority of the existing building was over 176' deep and the first floor units could not make use of skylights. To solve for this, we proposed a central courtyard that would cut into the middle of the building. This allowed us a double-loaded corridor that served units facing both the street and the courtyard.

The two uppers floors of the new addition had to conform to all zoning regulations of new ground-up construction, including a 60% lot coverage calculation that required that the third and fourth floors be considerably smaller than the first and second floors. (Happily, the first and second floors had their existing +75% lot coverage grandfathered in). The floors contained within the upper enlargement would also need to conform to front lot-line setback regulations, rear yard equivalent regulations for through-lots, and their associated setbacks. All of these prescriptions had to be filtered through allocation of square footage across the two zoning districts.

All these parameters lead to an angular, snaking form containing 13 of the 44 unit total, ranging from single story, duplexes, and triplexes, a gym, a yoga studio, a billiard room and over 7300 square feet of both public and private terraces. The hard angular aspects included in the new two story addition are directly influenced and derived from the conflicting zoning districts as well as the neighborhood map which features many intersections that are not perpendicular.



| sample kitchen



| living space in a unit within the original portion of the billiard factory



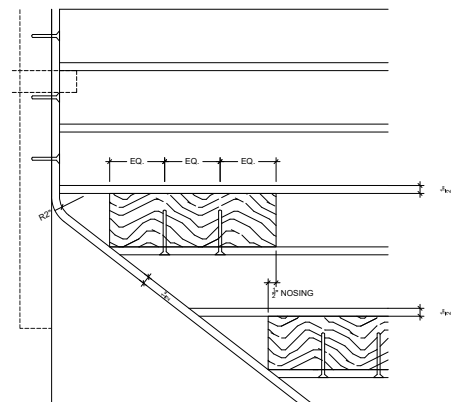
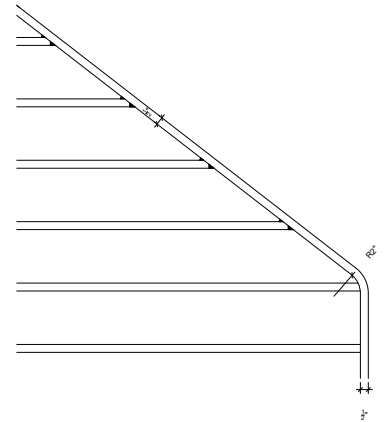
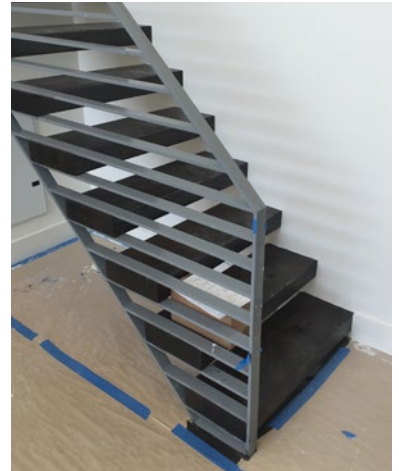
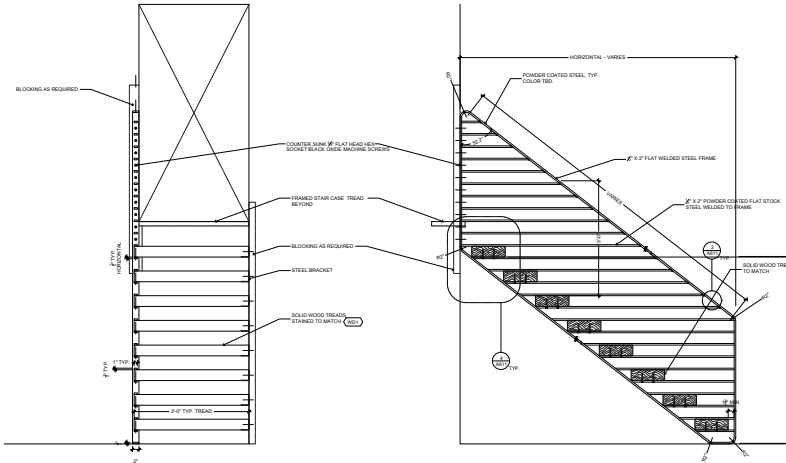
| living space in a 2nd floor unit highlighting tall ceilings and exposed original brick



Aesthetically, we proposed that the most respectful way to honor to the original building and its industrial roots was to create the addition as “other”, a contemporary addition that sought not to blend in and blur the line, but rather, be a celebration and product of the new Prospect Heights. This direct contrast served to highlight the original building as well as complement it. We bathed the existing brick building in a dark grey color that felt stylish but also concealed the signs of age and previous repairs and renovations. The newer upper portion of the building, was drenched in a chalky blue with large black volumes projecting out where we had the opportunities for zoning Dormers and cantilevers that contributed to maxing out our allowable zoning square footage. To further tie together the old and the new we commissioned No Entry Design to hand paint the building’s signage. All adding up to a contemporary yet inoffensive addition to both the building as well as the evolving neighborhood.



| unit 3a, showing kitchen, living room, dining room & staircase



details of custom staircase featured in each of the multi-floor units



| rendering of 3rd floor terrace



| view of 3rd floor terrace during construction





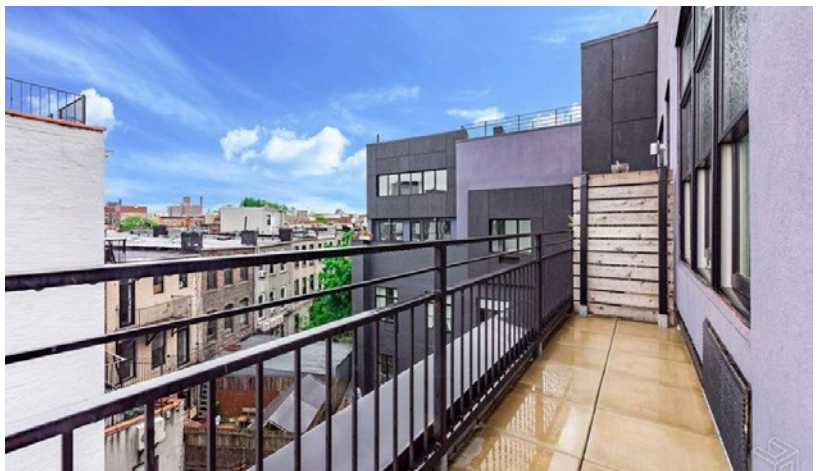
| st marks ave rear facade detail



| rendering from roof terrace looking on to the finger portion of the building and the yard



| st marks ave facade with hand painted branding



| looking back at building from terraces at st marks end of building

renovations



west village townhouse  
395 bleecker street  
new york, n.y.

s3arcitecture  
8/2014 - 11/2018  
3,500 square feet  
2 units

phases;  
sd,dd,id,cd,ca  
landmarks



prospect heights townhouses  
218 & 220 park place  
brooklyn, n.y.

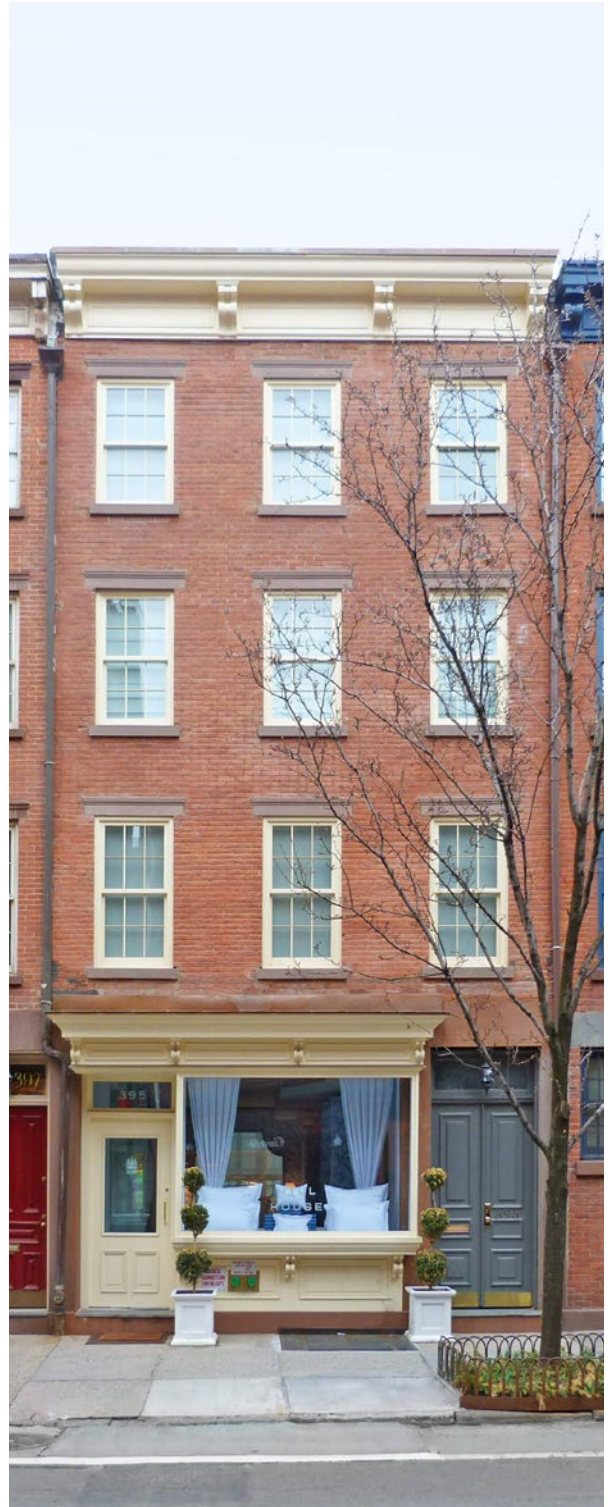
s3arcitecture  
7/2012 - ongoing  
14,450 square feet  
7 units

phases;  
sd,dd,id,cd,ca  
landmarks





| original condition of bleecker street facade



| completed bleecker street facade

# west village townhouse

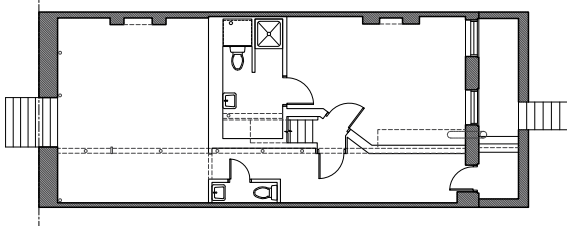
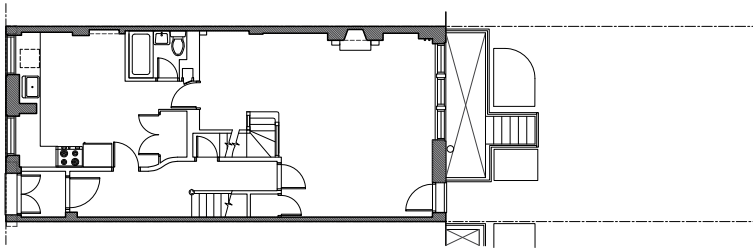
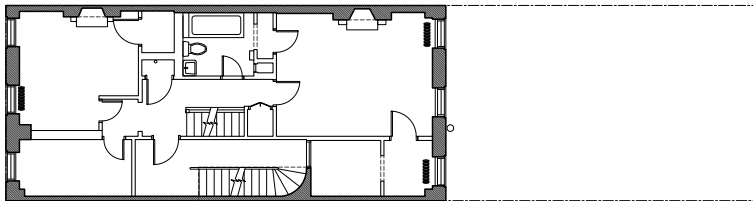
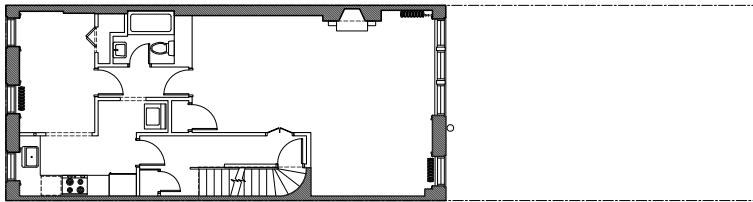
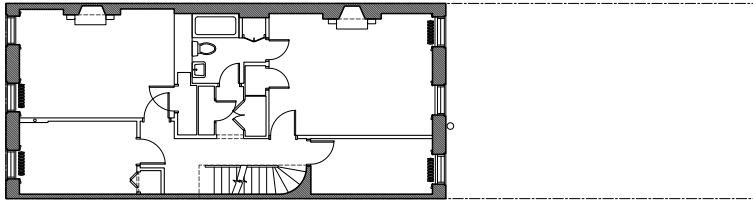
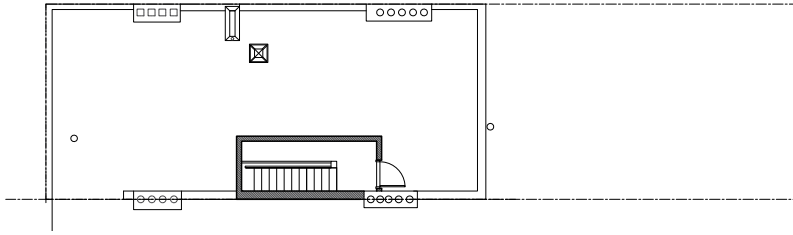
395 bleecker street, nyc

PROJECT BREAKDOWN	
TYPE	Gut Renovation - District
CLASS	Residential / Commercial
LOCATION	Manhattan N.Y.
LOT AREA	1,425 SF
PROJECT AREA	3,500 SF
PROJECT HEIGHT	40' (4 Stories)
UNIT COUNT	2 (Commercial + Residential)
PARKING SPACES	0
YEARS ACTIVE	8/2014 - 11/2018

My second foray into landmarks architecture was more straightforward. A nineteen and a half foot wide four story brick townhouse configured as a two family home; the building was originally designed with a commercial storefront at the ground floor. The wood framed glass storefront had been removed sometime in the 60's when the commercial prospects in the city were in dire straights and had been infilled with brick and small windows when the space was converted to residential. This project came to us late in Bleecker streets Luxe retail renaissance and our client wanted to restore the commercial space at the ground floor along with the wood and glass storefront and then combine the upper three floors into a high end luxury triplex with a fully appointed roof garden.

Another interesting bit of history was that at some point the building had entered into a co-op with the fourteen neighboring buildings that constituted a horseshoe at the end of the block, and formed a large communal garden space complete with reflecting pool. Each building retained the rights to the ten feet directly behind their building but all changes to that private space and the rear facade of the building would need to be voted on and approved by the garden co-op above and beyond the Landmarks Preservation Commission.

The project began, like most projects in a Landmarks district, with research;. Digging up old tax photos, searching periodicals and city files for when



changes were made. We would need to establish a benchmark with the LPC as to what level / time period we would be restoring too. The changes to the facade had been well before the Landmark district was established so we were restoring to a point before landmarks.

There was little to now information about our specific building, which was towards the western end of a block of six nearly identical brick townhomes, all of which had had their storefronts removed. Only the one building to the west of 395 had restored their storefront a year and half earlier. Having no actual historical documentation of the original storefront detailing, depth or cornice, LPC recommended we take cues from our neighbors newly restored storefront as well as other storefronts along bleecker street both original and ones that has been approved by LPC. We also extensively documented the original, though deteriorated, cornice at the roof line of the building which we would be restoring completely, and used many of those same details and proportions when designing our storefront.

The front brick facade of our building had been painted a dark chalky blue decades earlier and we would be stripping that down, delicately exposing and sealing the original bricks without affecting or harming them. For this, along with many of our finer exterior details, we called upon a specifier that specialized in landmark restorations.



He guided us in many aspects; from the chemicals needed to clean and restore the brick to replacing the metal “replacement” windows with new landmark approved wood windows. He also consulted on new cast headers and sills for all the windows, brownstone matching and numerous other points.

LPC gave us very little push back on this project, there were happy to see us restoring the original configuration to the building and basically helped to guide in the process and make sure all the necessary boxes were checked.

The Client wanted us to maximize size of the retail space which they forecasted would account for basically 50% of the building’s revenue. They wanted us to limit the residential use of the ground floor to just the front vestibule and stairs, and had hoped that we would be able to add an exterior stair at the rear of the second floor of the building so that the residential unit above could retain access to the large communal garden. This was a method used by several of the other buildings that shared the rear yard and we were all but certain that the co-op board would approve the move. We were wrong. The board had decided many years ago to no longer permit buildings along the shared garden to erect stairs from the second floor to the garden, even if the footprint of the staircase and landing sat completely with the 10 feet space directly behind the building. All of the staircases



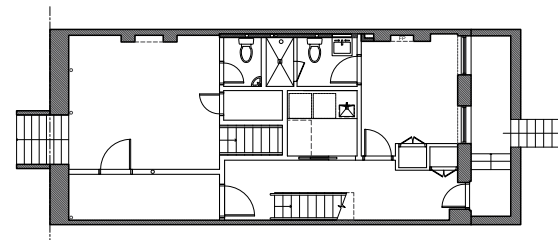
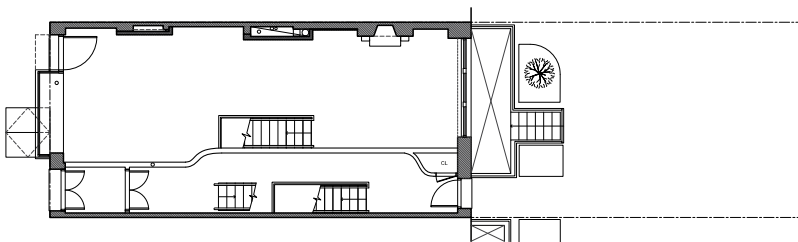
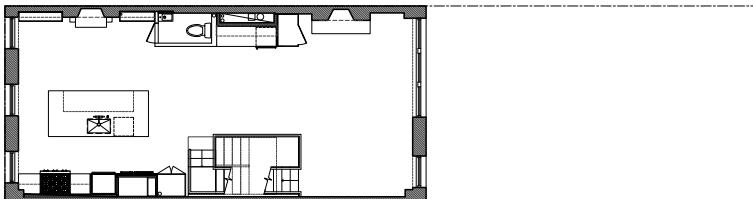
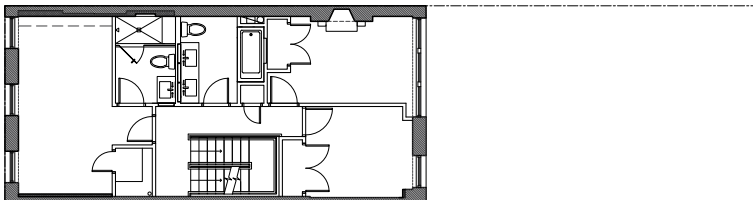
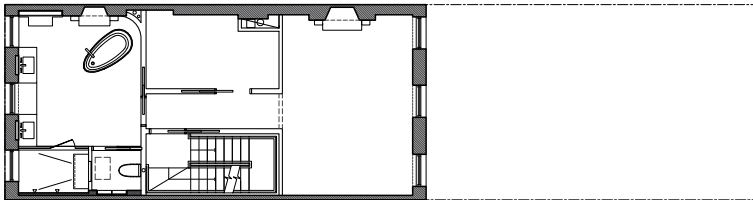
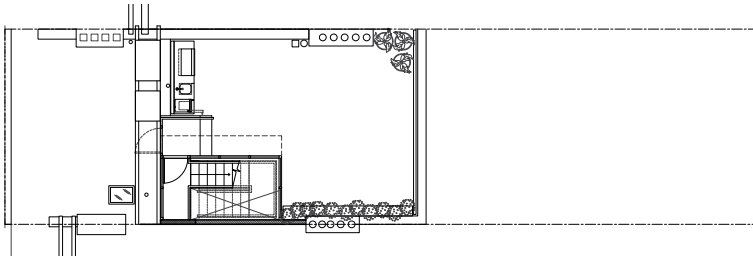
| ground floor living room prior to renovation



| ground floor living & dining room prior to renovation



| third floor living & dining room prior to renovation



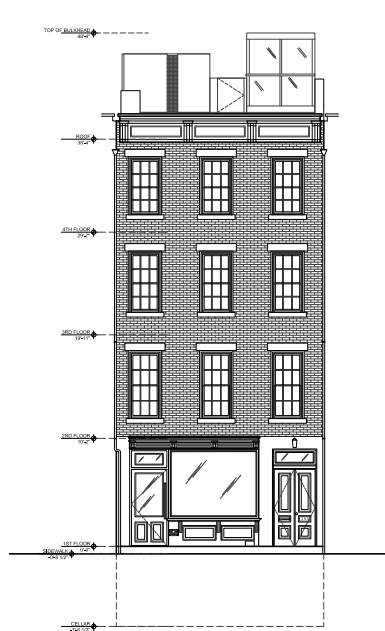
we observed had either been constructed prior to the formation of the garden co-op or before the co-op changed the rules. This would severely impact the rentable commercial square footage as the client required that the residential unit above have access to the garden space. We would need to maintain an open residential corridor along the eastern side of the ground floor, stretching from the entry vestibule, past the stair leading to second floor, leading to the rear yard. Another clause of the garden co-op denied any commercial spaces to look out onto the garden space, so while we were replacing all of the ground floor windows looking out onto the garden with landmarks approved windows, they would need to be frosted, something that the LPC took no issue with. Finally the ground floor commercial space would also have storage space in the front half of the cellar along with a mechanical space shared by both units.

The brief for the residential triplex was to create a rich and elegant contemporary townhouse that still held onto its historical charm. We wanted to strategically expose some brick where it felt natural and then provide clean contemporary treatments in juxtaposition.

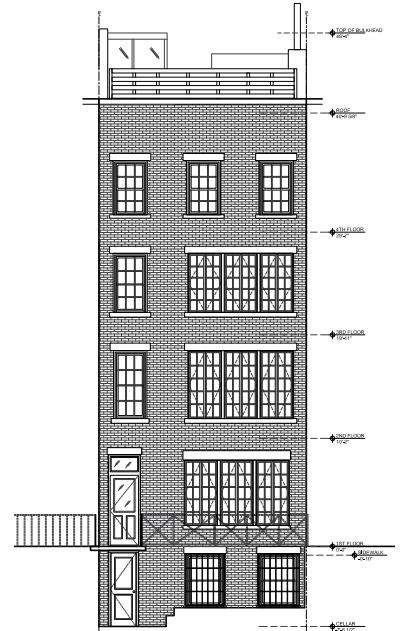
The ground serves as entry vestibule and access to the rear yard and has stacked stairs, one to the cellar and one to the second floors. In the cellar, we reserved the rear of the town house for the residence. There is a comfortable bedroom with an

ensuite bath perfect for a nanny, housekeeper or to be used as an office. There is also storage, a large laundry room with slop sink and access to the shared mechanical space.

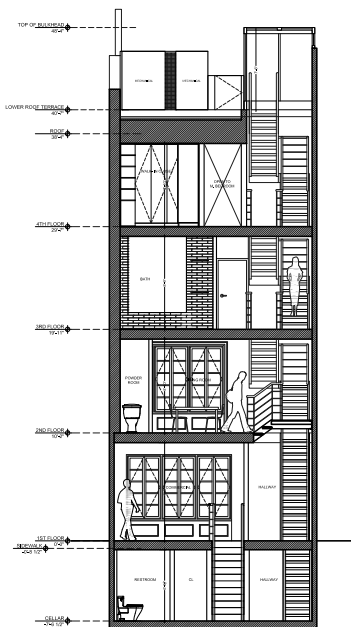
The second floor would serve as living / parlor floor. All the joists of the third floor were with replaced or reinforced so that we could remove all of the interior partitions on the second, providing a wide open clean space. After coming up the stairs from the ground floor, you would find yourself at the rear half of the town house, a small living /seating area with views to the communal garden and adjacent to the dining



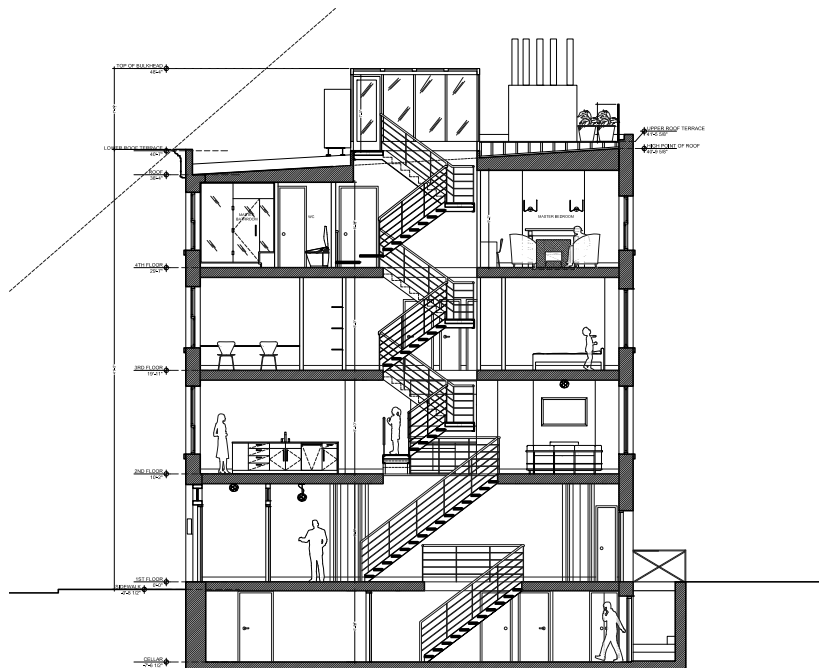
| proposed elevation, street facade restoration



| proposed elevation, rear facade restoration



| proposed short section



| proposed long section, cut through stairwell





rendering of proposed kitchen looking out on to dining area & staircase



rendering of proposed living room & dining area

area. The dining area, located at the center of the of the building sits between the new open riser steel stairs and the wet bar that also conceals storage and a water closet. At the front of the second floor you find a completely custom Smallbone of Devizes kitchen complete with subzero and wolf appliance, grand island and breakfast nook area.

The third floor has three bedrooms, one large bedroom complete with a walk-in closet and on suite bathroom at the street side and two smaller bedrooms at the rear, the smallest of which could easily serve as a home office. In the center of the floors, across for the staircase is a 4 figure bathroom with a double vanity.

The fourth and final floor is entirely reserved for the master suite. The master bathroom located at the street side of the building, completely marbled 220 square feet and features a double vanity, walk-in steam shower with stone bench, a water closet, an apothecary style medicine cabinet, a freestanding stone tub and a working fireplace. The center portion of the floors sees a 100 square foot walk-in closet and the rear third of the floor is the bedroom, 235 square feet with three windows looking out upon the garden and featuring again a fully working fireplace.

Continuing up to the roof, we built a glass stair bulkhead that opens up on to fully appointed roof terraces that occupies the back half of the roof, outside the line of sight from

the street to satisfy landmarks. Along with picturesque views of the west village and the communal garden below the roof terraces offers both lounging and dining areas as well as a complete kitchen with gas grille, sink and refrigerator.

This project revitalized and transformed a classic west village townhouse, highlighting the best aspects of the original building, returning and repair lost details but organizing the program for a contemporary lifestyle that focuses on open plan.



| completed kitchen with small bone millwork, looking back towards dining area & living room



| completed kitchen, looking towards the front facade



| detailing of new custom wood & steel staircase



| completed dining area with built in bar



| rendering of proposed master bathroom



| completed master bathroom with double vanity, steam shower, floating tub, water closet & working fireplace







completed 2nd floor living room, long back towards the communal rear yard



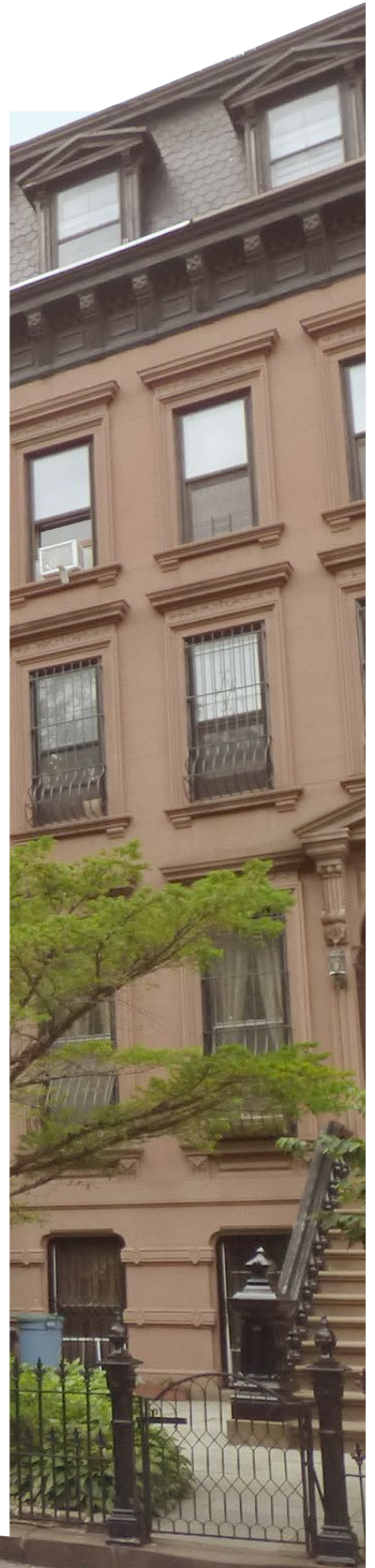
completed 2nd floor living room, looking across the building





| completed restored new "historic" wood and glass storefront





original condition of park place facades

# prospect heights town houses

## 218 & 220 park place, bklyn

A set of old and ignored mismatched adjoining townhouses in Prospect Heights were picked up in a package deal that contained three other properties that were the main focus of the deal. The client had never seen the buildings before the purchase and wasn't even certain where in Brooklyn they were located.

Before the client came into possession the two buildings had been completely gutted, the projects stalled due to plans that were never reviewed much less approved by the Landmarks Preservation Commission. At this point the two buildings were mere shells, everything had been removed; from the plaster walls, floors, joists, and even the stairs. New steel had been installed before the projects stopped but only one of the buildings had had a new (not to code) stair installed, the other building required one to brave a series of ladders to get from floor to floor.

220 Park Place was built in 1884 and designed by Walter M. Coots. The project was developed by John V. Porter and 220 is the last remaining of three identical buildings. It stood as a four story single family townhouse originally owned by the Tea and Coffee importer John G. Turnball and his family. At some point a tasteful, delicate and respectful fifth floor addition was added in an almost seamless fashion. The building's front facade features a warm red brick and is a mix of Neo-Greco style with incised brick detailing combined with the stained glass and bay windows more common to the Queen Anne style. The rear of the building had featured a mostly glass enclosed tea room at the parlor level, but the space had undergone a severe transformation when the building was converted to a 12 unit building in the 1970's. None of the original detailing remained when we were handed the commission and a small addition on the second floor had been built atop of what remained of the "tea room".

PROJECT BREAKDOWN	
TYPE	Gut Renovation - Landmarked
CLASS	Residential
LOCATION	Brooklyn N.Y.
LOT AREA	6,480 SF (3,240 SF + 3,240 SF)
PROJECT AREA	14,450 SF (4,810 SF + 9,640 SF)
PROJECT HEIGHT	54' (5 Stories)
UNIT COUNT	7 (218: 3 Units, 220: 4 Units)
PARKING SPACES	0
YEARS ACTIVE	7/2015 - Ongoing

218 Park Place was built in 1881. It was owned, developed and designed by John V. Porter as the easternmost building of a three building set. 218 and 216 are identical Italianate/Neo-Grec style five story brownstone townhouses with slate tile mansard roofs along with Second Empire elements. 214, the western most building of the three buildings is also a 5 story but without a mansard roof and featuring arched molded hoods over the windows. Lacking any stained glass or the unique detailing of 220 Park place, 218 Park Place stands as perfect example of a more typical Brooklyn brownstone. And while the tea room of 220 had essentially been lost to time and insensitive renovations and repairs, the tea room of 218, though in rough condition, still held on to much of its original detail and configuration.

The other interesting elements to these two properties are their very deep lots; the average Brooklyn lot is about twenty feet wide and a 100 feet deep. These two properties boast lots that are twenty feet wide and 162 feet deep. That 38% increase resulted in 6,480 developable square feet, (which is 2,480 square feet more than the typical lot) and a lot coverage allowance of 1,944 square feet, (744 square feet more than typical lots). We could maximize our lot coverage and still have a sixty four foot deep rear yard on each lot, well over the minimum requirement of 30'. This would be an important factor in that both buildings were maxed out in terms of height for the zoning districts and

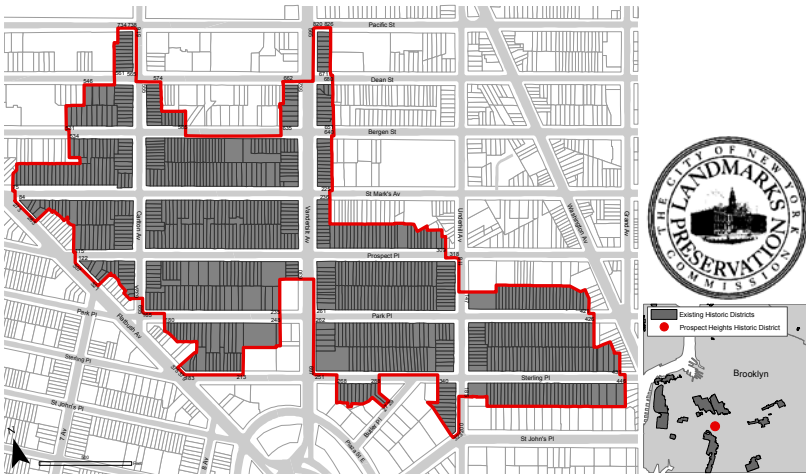


1940's tax photo



elevation of existing facades, including neighboring buildings to both the left & right





prospect heights historic district



tax map of adjoining properties



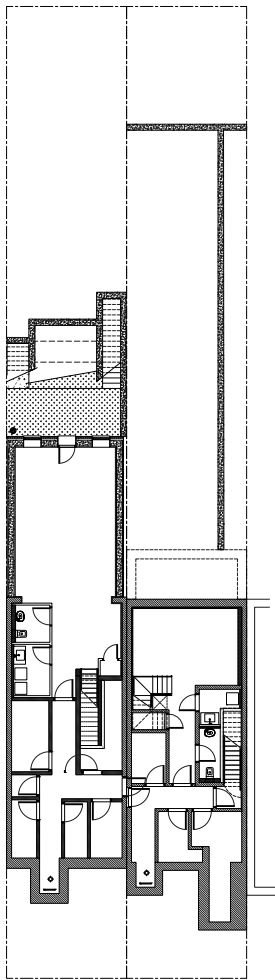
elevation of proposed facade restorations

even if they were not, Landmarks would never have allowed us to build any significant amount of square footage above the existing building height.

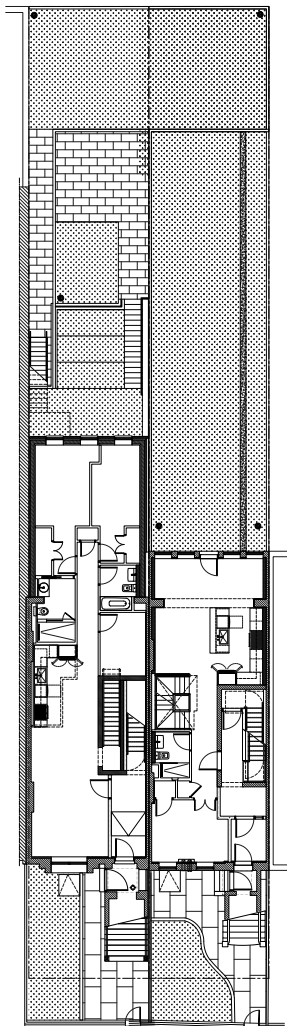
Our first concept was to simply extend each building across the Basement, First, Second, and Thirds floors, maxing out all the remaining available square footage. 220 and 218 had 1162 and 1640 square feet of unused bulk respectively to add to their existing size. We could remove the deteriorated tea rooms of each building and in the case of 220 add an addition of 24 feet by 20 feet wide on each of the first four floors and still be within our allowable bulk and still provide a rear yard depth of over 74', 44 greater than the required minimum. On 218 we could add an addition of 24.5 feet deep by 20 feet wide on each of the first four floors in order to max out of square footage and in this case still provide a rear yard of over 73 feet. And in each instance the fourth floor would have an ample terrace on top of the proposed addition.

Having learned our lesson on the Clinton Hall we arranged preliminary planning meetings with the Landmarks Preservation Commission early in the process and this was very wise. When we presented our initial plans for the two buildings along with an extensive survey of the existing structures including plans, photographs, and history they were mostly pleased. The LPC was happy that we planned only to restore the existing street facades, preserve all

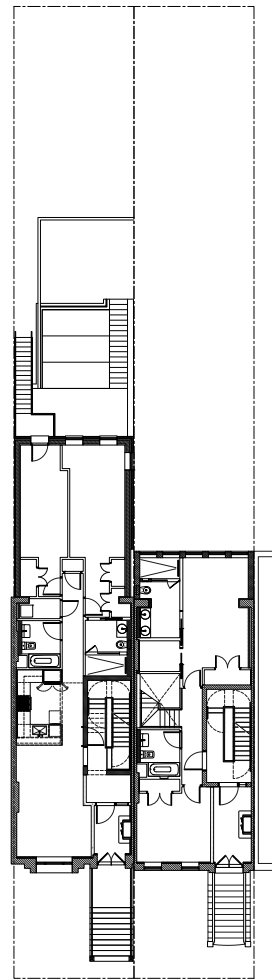
of the detailing including the stained glass windows, replace the existing windows with historically accurate wood frame windows as well as the fact that there was no vertical addition proposed. What troubled them was our plans for the rear facades. We had always been under the assumption that, for a building not specifically landmarked but within a landmarks district, the LPC was concerned only with what was visible from the street; the facade, the windows, preserving existing details, and the sight line impacts of any proposed additions. They soon corrected our understanding, while those things were major concerns of theirs, there were other historical aspects that they try to protect. One of these such aspects it turned out were tea rooms. They explained that over the years, while their attentions had been focused on the elements on the street, the city had lost many of its historic tea rooms, and that they now had a mandate to save and preserve as many as possible. This was a bit of a surprise for the entire team, including our landmarks consultant.



| cellar plan

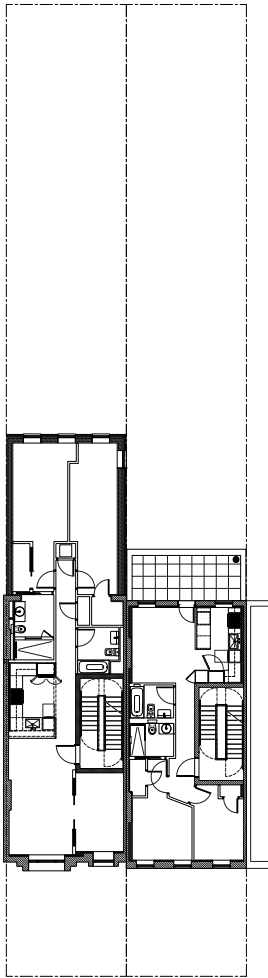


| garden level floor plan

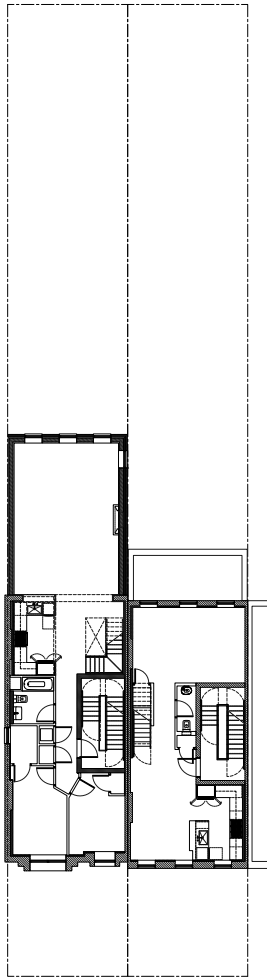


| second floor plan

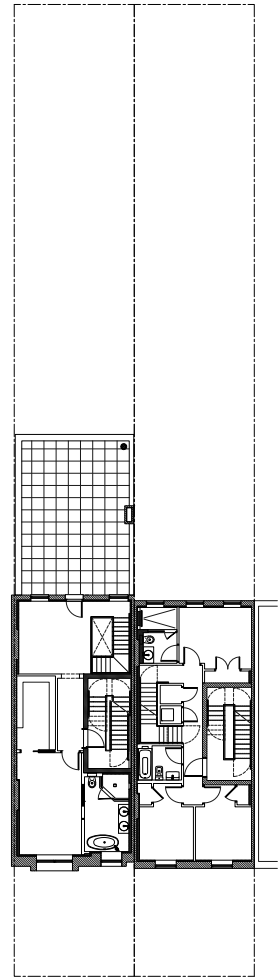
As we discussed our proposal further, laying out our allowable square footage as of right and the deteriorated condition of the tea rooms, a deal was struck. The advanced state of decay along with the lack of any original detail in the 220 tea room, coupled with that fact that it's two sister buildings to the east had long since been razed and replaced with a large non-contextual apartment building back in the days prior to the landmark district being established, lead the examiners at the LPC to sign off on our plans as they stood for the 220 Park Place. Since the tea room at 218 Park Place was in better condition retaining some of its original detailing, along with the fact that it's two sister buildings to the west still remained and their tea rooms were, to some extent, were mostly intact and further factoring in the impact the addition would have on the neighboring rear yards, the examiners would not permit us to increase the size of the 218 in any way.



third floor plan

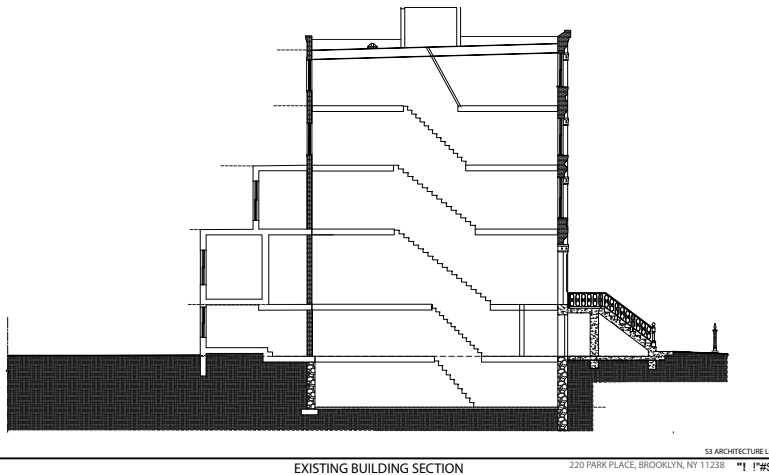


fourth floor plan



fifth floor plan

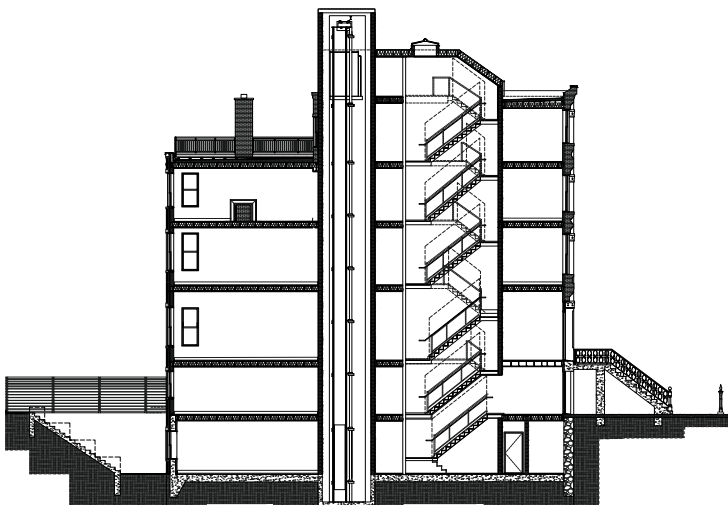




Our client, unhappy with losing over 1650 developable square feet, asked us to reexamine the project. We returned to them with the “Back house” concept. We proposed combining the two lots and then building a brand new, ground up, building behind the two existing building. The extreme depth of the lots would allow us to build a three story, 40 foot tall, 26’-7” x 40 foot wide building with a 33.75 foot deep courtyard between this new building and the existing building and still provide a 30 foot deep rear yard. We proposed connecting the new building to the existing building via an enclosed ground floor corridor running along the eastern lot line, adjacent to the large apartment building that replaced 220’s sister buildings.

This plan was ultimately panned by both LPC and the client. While landmarks did appreciate that this plan left both of the original buildings, with their tea rooms intact, they did not like the effect that the new “back building” would have had on the neighboring rear yards, even though the rear of this new building basically aligned with rear wall of the very deep apartment building to the East, which also employed a courtyard scheme. The client appreciated that we maxed out the F.A.R., but felt that the construction of a new ground up building, whose site could only be accessed through the front buildings, would be too costly and take too long as no heavy machinery could be used for the excavation and construction.

220 park place building section prior to restoration & addition



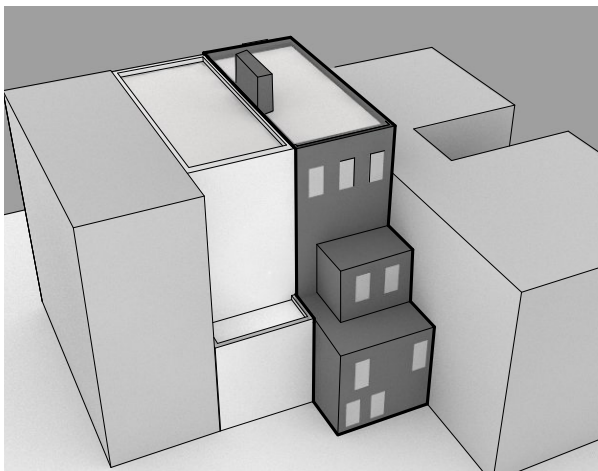
220 park place, proposed building section, with rear & vertical addition

In the end we accepted the LPC offer to renovate and enlarge the building at 220 while keeping 218 at it's existing size, renovating the complete interior and restoring the historic tea room in the back. There was just one variation, we decided to connect the two buildings internally allowing them both the use of a new elevator, secondary means of egress and a combined and more efficient mechanical space in the cellar.

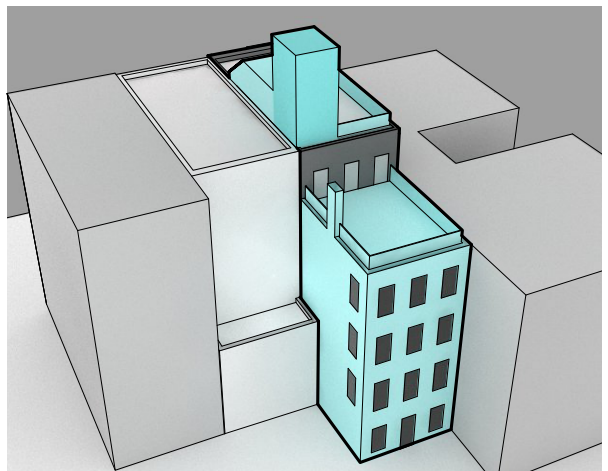
220 would be extended to its maximum as of right size factoring in both lot coverage and allowable square footage, it would contain 4 units, the first and fourth of which would be duplexes. Units One and Two would share the rear yard; Unit One, which occupies the Basement and Cellar would access a recessed portion of the rear yard closest to the building through the cellar and Unit Two would access the back portion of the yard via a landing and stair coming down from the First Floor. Unit Three would be a floor through apartment with no allocated outdoor space but with access to the roof. The fourth and final unit, a duplex, would span the third and fourth floor and included a large outdoor terrace on the fourth floor, above the new addition.

218 would remain at its original size and be reconfigured into 3 duplex units, each unit occupying one and half floors. Each unit would have access to private outdoor space in the same manner as 220 with Unit 3 have private space on the roof.

The completion of this project will see us breath new life in two old grand townhouses that were abused and neglected overtime. Creating contemporary living spaces with hints of historic detail.



| 3d massing of both buildings prior to design



| 3d massing of proposed enlargement to 220 park place

# project index

## REALIZED

PROJECT NAME	ADDRESS	PROGRAM
BILLIARD FACTOR LOFTS	363 PROSPECT PLACE, BROOKLYN, NY	RESIDENTIAL
THE CLINTON HALL - WASHINGTON	269 WASHINGTON AVE, BROOKLYN, NY	RESIDENTIAL
THE CLINTON HALL - HALL	238 HALL STREET, BROOKLYN, NY	RESIDENTIAL
THE BROOKLYN ZINC	313 ST MARKS AVE, BROOKLYN, NY	RESIDENTIAL
PROSPECT HEIGHTS 3 FAMILY	730 BERGEN STREET, BROOKLYN, NY	RESIDENTIAL
HERMAN RESIDENCE @ THE BEEKMAN	414 E 52ND ST UNITS 7A+7B, NEW YORK, NY	RESIDENTIAL
CLINTON HILL APARTMENT BUILDING	596 WASHINGTON AVE, BROOKLYN, NY	RESIDENTIAL
LOWERY RESIDENCE @ THE BEEKMAN	424 E 52ND STREET UNIT 11A, NEW YORK, NY	RESIDENTIAL
MASCHARKA RESIDENCE	NORTH HEALY AVE, HARTSDALE, NY	SINGLE FAMILY
ENDELSON RESIDENCE	180 E 79TH STREET UNIT 12D, NEW YORK, NY	RESIDENTIAL
SERAFI ASSEF RESIDENCE @ THE BEEKMAN	433 E 51ST STREET UNITS 2B+2C, NEW YORK, NY	RESIDENTIAL
HISTORIC WEST VILLAGE TOWNHOUSE	395 BLEECKER STREET, NEW YORK, NY	MIXED USE
HISTORIC PROSPECT HEIGHTS TOWNHOUSE	218 PARK PLACE, BROOKLYN, NY	RESIDENTIAL
HISTORIC PROSPECT HEIGHTS TOWNHOUSE	220 PARK PLACE, BROOKLYN, NY	RESIDENTIAL
BEDFORD STUYVESANT TOWHOUSE	675 LAFAYETTE AVE, BROOKLYN, NY	RESIDENTIAL
BEDFORD CHEESE SHOP	265 BEDFORD AVE, BROOKLYN, NY	RETAIL
YAMPOLSKY RESIDENCE	146 SACKETT, BROOKLYN, NY	RESIDENTIAL
HISTORIC SOHO CAST IRON LOFT BUILDING	112 GREENE STREET, NEW YORK, NY	MIXED USE

## PROPOSED

ADDRESS	PROGRAM
815 BROADWAY, BROOKLYN NY	RESIDENTIAL
42-15 CRESENT ST, QUEENS NY	MIXED USE; RESI / COMM
153 4TH AVE, BROOKLYN NY	RESIDENTIAL
8 ST MARKS PLACE, BROOKLYN NY	RESIDENTIAL
1300 DECATUR, BROOKLYN NY	RESIDENTIAL
1215 FULTON STREET, BROOKLYN NY	MIXED USE DEVELOPMENT
26 EAST 19TH STREET, BROOKLYN NY	RESIDENTIAL
8 ST MARKS PLACE, BROOKLYN NY	RESIDENTIAL
1300 DECATUR, BROOKLYN NY	RESIDENTIAL
1215 FULTON STREET, BROOKLYN NY	MIXED USE DEVELOPMENT
26 EAST 19TH STREET, BROOKLYN NY	RESIDENTIAL



PROJECT TYPE	SF	UNITS	STORIES	DURATION
CONVERSION / ADDITION	42,000 SF	• 44	4	AUG 2011 - SEPT 2016
LANDMARK NEW CONSTRUCTION	10,350 SF	• 10	4	NOV 2011 - DEC 2017
LANDMARK NEW CONSTRUCTION	10,530 SF	• 10	4	NOV 2011 - DEC 2017
NEW CONSTRUCTION	85,000 SF	• 75	4	FEB 2012 - FEB 2018
NEW CONSTRUCTION	7,492 SF	• 3	5	FEB 2012 - NOV 2018
APARTMENT RENOVATION	1,200 SF	• 1	1	OCT 2012 - APRIL 2013
NEW CONSTRUCTION	16,000 SF	• 16	8	MAR 2013 - APRIL 2018
APARTMENT RENOVATION	1,542 SF	• 1	1	SEPT 2013 - JAN 2015
RENOVATION / ADDITION	4,500 SF	• 1	3	OCT 2013 - JUNE 2015
APARTMENT RENOVATION	2,300 SF	• 1	1	DEC 2013 - JULY 2015
APARTMENT RENOVATION	2,800 SF	• 1	1	JUNE 2014 - FEB 2015
LANDMARK TOWNHOUSE RENOVATION	3,500 SF	• 2	4	AUG 2014 - JULY 2018
LANDMARK TOWNHOUSE RENOVATION/ ADDITION	4,810 SF	• 3	5	JULY 2015 - ONGOING
LANDMARK TOWNHOUSE RENOVATION/ ADDITION	9,640 SF	• 5	5	JULY 2015 - ONGOING
TOWNHOUSE RENOVATION	3,982 SF	• 4	4	OCT 2015 - SEPT 2017
INTERIOR BUILD OUT	1,845 SF	• 1	1	MAR 2016 - APRIL 2018
APARTMENT RENOVATION	1,200 SF	• 1	3	MAY 2017 - APRIL 2018
LANDMARK EXTERIOR RENOVATION	1,500 SF	• 1	1	JAN 2019 - ONGOING
<b>TOTAL DESIGNED:</b>	<b>210,191 SF</b>	<b>• 180 UNITS</b>		

PROJECT TYPE	SF	UNITS	STORIES	DESIGN DATE
CONVERSION	41,900 SF	• 56	5	NOV 2011
CONVERSION / ADDITION	101,946 SF	• 125	11	FEB 2012
NEW CONSTRUCTION	18,850 SF	• 18	12	APR 2012
NEW CONSTRUCTION	19,631 SF	• 15	8	DEC 2013
NEW CONSTRUCTION	21,804 SF	• 32	5	JAN 2014
NEW CONSTRUCTION	200,000 SF	• NA	10	APR 2015
NEW CONSTRUCTION	23,301 SF	• 26	7	MAY 2016
NEW CONSTRUCTION	19,631 SF	• 15	8	DEC 2013
NEW CONSTRUCTION	21,804 SF	• 32	5	JAN 2014
NEW CONSTRUCTION	200,000 SF	• NA	10	APR 2015
NEW CONSTRUCTION	23,301 SF	• 26	7	MAY 2016
<b>TOTAL DESIGNED:</b>	<b>427,432 SF</b>	<b>• 272 UNITS</b>		

