

Oliver Gamboa

86 Henry Street

Hempstead, NY 11550

olivergamboa.19@gmail.com

516.675.9129

Objective:

To obtain a position where I can share and extend my knowledge in creativity, administration, and on-site field work of my architectural career. I want to exercise and further my knowledge of the Building Codes, Energy Codes, and OSHA.

Certifications, Skills, and Experiences:

OSHA 30-HR Outreach Training for the Construction Industry Certification as of February 2021; Consultant for the following: New York City Energy Conservation Code, Zoning, 1968 and 2014 New York Building Codes, Zoning, and ADA/ANSI Codes; Designer; Research; Modeling/Craftsmanship; Detailer; Microsoft Office; Photoshop CS3/CS4/CS6; Illustrator CS3/CS4/CS6; InDesign CS3/CS4/CS6; AutoCAD; SketchUp Pro; Renderer; Revit 2009-2016; and Photography

Education:

New York Institute of Technology, Old Westbury, NY – *Graduated May 2013*
Bachelor of Architecture with Magna Cum Laude, Accumulated GPA 3.56

Kellenberg Memorial High School, Uniondale, NY – *Graduated April 2008*
Four Year in Honor Roll, Fine Arts Diploma, Accumulated GPA 3.7

Employment Experiences:

Employee in StudioGallos at 147 Maujer Street Brooklyn, NY – *October 2017 to Current*

- Projects Involvement:
 - Small to Large Residential Apartments and/or Commercial Projects in All Five (5) Boroughs and Yeshiva Institutes
 - Collaborate with the Client, Architect, Expediter, and Project Manager(s) in developing both the design and architectural drawings as a Design Planner.
 - Develop my consulting skills in regards of Zoning/Building Codes/Energy/ADA/ANSI
 - Resolving objections from the D.O.B., D.O.T., and Energy for approvals

Employee in Verderame | Cale architecture pllc at New York, NY – *March 2014 to June 2017*

- Projects Involvement:
 - UBS, Goldman Sachs, and WTW Financial Offices
 - Collaborate with the Architects, Project Managers, and the Interior Department team in design development and architectural drawings by using SketchUp and AutoCAD
 - Develop and finalize 3D renderings for presentations.
 - Site visits to survey for upcoming projects.
 - Others
 - Create 3D walk-throughs/animations for professional presentations.
 - Develop the office AutoCAD Standards for both interior and architectural documentations.
 - Update the office's website and providing technical solutions.

Employee in Stantec Consulting Services, Inc. at Hauppauge, NY – *June 2012 to September 2012 (summer intern) and June 2013 to January 2014*

• **Projects Involvement:**

- H.L. Gross & Bro Jewelers at Garden City, NY
 - Collaborate with the Architect, Project Manager, and the Production Team in design development.
 - Develop construction documents and 3D renderings in Sketchup.
- Marriott Marquis New York City Hotel – Boiler Plant Addition at New York, NY
 - Visit the location for site measurement and building analysis.
 - Develop construction documents and details.
- MTA-LIRR – Jamaica and Hillside Facilities at Queens, NY
 - Visit the location for site measurement and building analysis.
 - Collaborate with the Project Manager and the Production Team in design development.
 - Contact manufacturers for material and color samples.
 - Develop construction/detail documents and 3D renderings using Sketchup
 - Visit the client to drop off progress documents and for meetings.
- Charity Work – Barbershop Renovation at St. James, NY
 - Visit the location for site measurement and building analysis.
 - Develop scheme and design documents.
- Jones Beach Field 6 Restoration at Wantagh, NY
 - Visit the location for site measurement and building analysis.
 - Collaborate with the Project Manager, Structural Manager, and Historic team in both existing and design development.
 - Develop scheme, design, and architectural documents using Revit and AutoCAD.
 - Contact manufacturers for material samples.
 - Took notes during meetings with the State Park Officials.
- Others
 - Develop scheme designs for pharmaceutical laboratories.
 - Prepare graphical booklets for presentations.
 - Organize books in the library according to the Division List.

Extracurricular Activities:

New York Institute of Technology Study Abroad in Helsinki, Finland and Copenhagen, Denmark – *June 2011 to July 2011*

New York Institute of Technology Clubs

Secretary & Editor of the Old Westbury Chapter: Construction Management of Association of America – *Fall 2008 to May 2012*

- Organized events for students for Washington, D.C. Rising Conference
- Volunteered in “Project New Beginning” construction at Medford, NY – *March 2011*

Member of the Student Union of Contemporary Artists – *Fall 2008 to Spring 2009*

Honors and Awards:

Special Faculty Award for Service and Involvement – *May 2013*

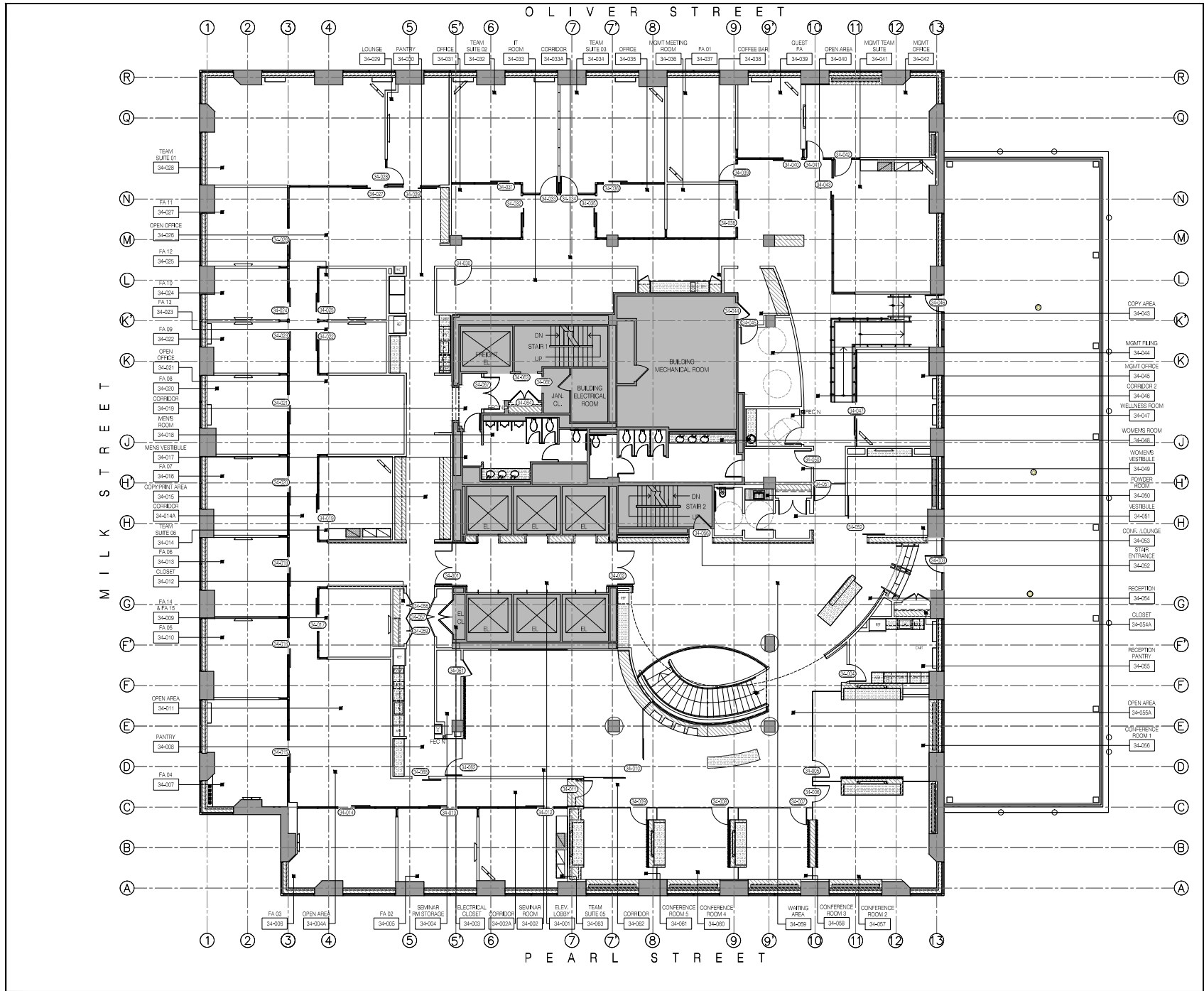
NYIT Dean’s List – *2008 to May 2013*

Tau Sigma Delta – *2010 to May 2013*

Member, National Honor Society – *Fall 2001 to May 2013*

NOTE: To View Digital Portfolio Follow URL:

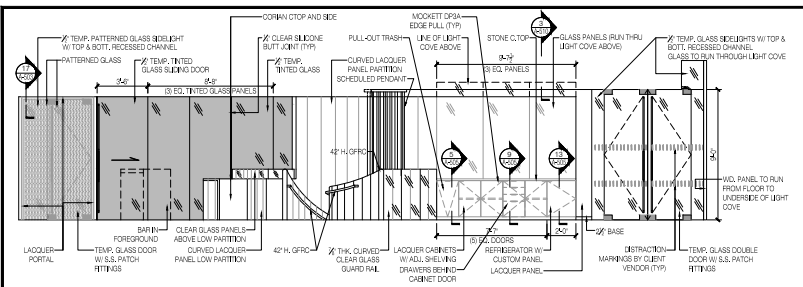
<https://archinect.com/OliverGamboa>



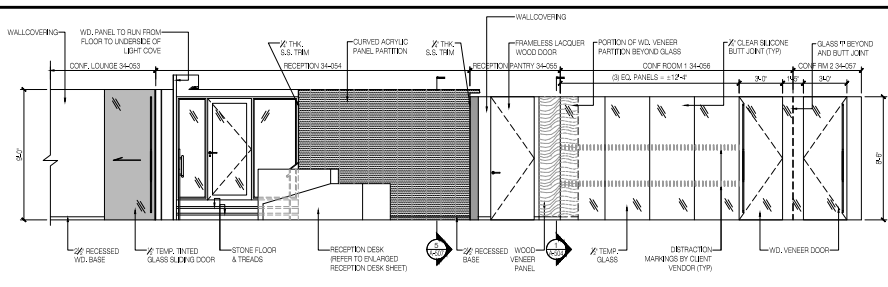
Verderame|Cale
architecture pllc
666 Broadway | New York, NY
212.259.3200 | tel
212.228.7001 | fax
www.vercarch.com

ARCHITECT

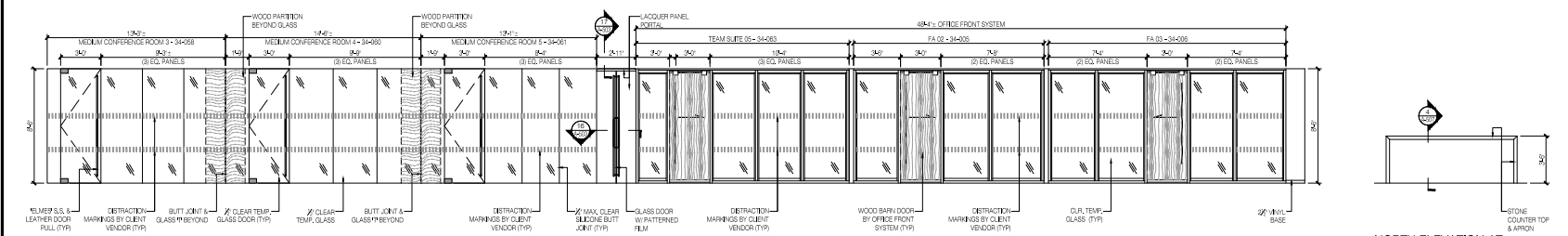
ENGINEER



1 WEST ELEVATION AT WAITING AREA 34-059 & OPEN AREA 34-059A
A-204 SCALE: 1/4" = 1'-0"

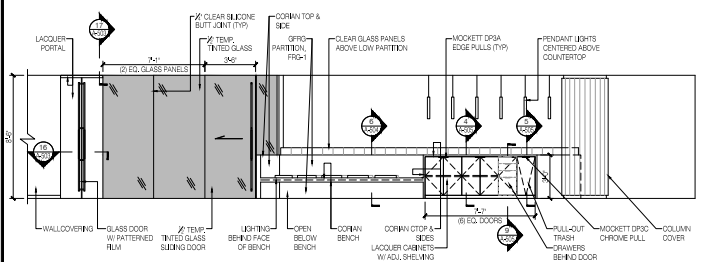


2 EAST ELEVATION AT CORRIDOR 34-046, RECEPTION 34-054 & OPEN AREA 34-059A
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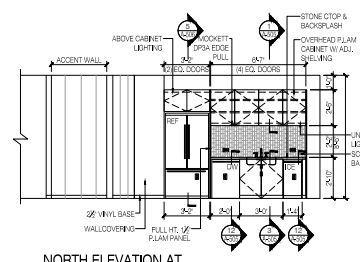


3 SOUTH ELEVATION AT OPEN AREA 34-055A, CORRIDOR 34-062 & OPEN AREA 34-004A
A-204 SCALE: 1/4" = 1'-0"

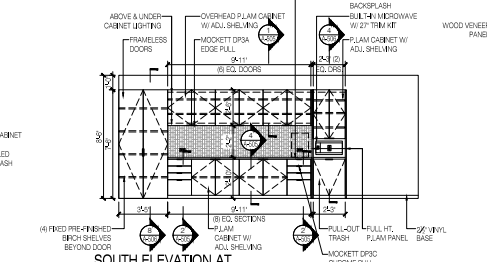
4A NORTH ELEVATION AT OPEN AREA 34-055A - COUNTER
A-204 SCALE: 1/4" = 1'-0"



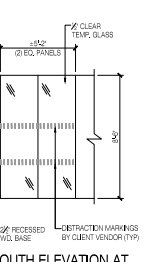
4 NORTH ELEVATION AT OPEN AREA 34-055A
A-204 SCALE: 1/4" = 1'-0"



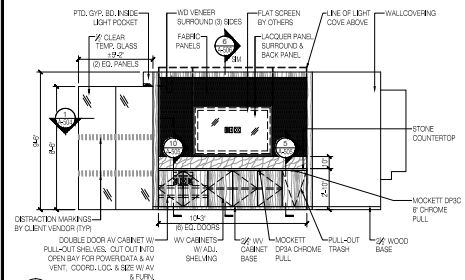
5 NORTH ELEVATION AT RECEPTION PANTRY 34-055
A-204 SCALE: 1/4" = 1'-0"



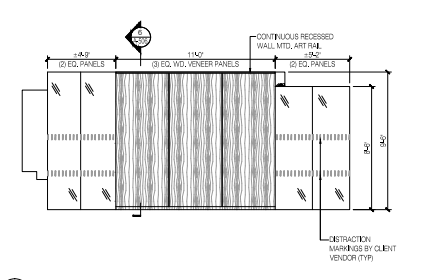
6 SOUTH ELEVATION AT RECEPTION PANTRY 34-055
A-204 SCALE: 1/4" = 1'-0"



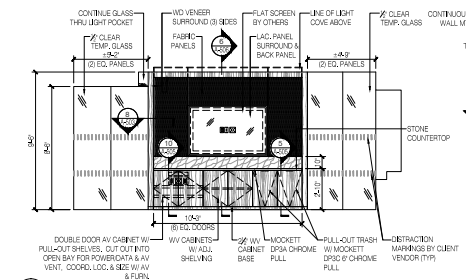
7A SOUTH ELEVATION AT OPEN AREA 34-055A
A-204 SCALE: 1/4" = 1'-0"



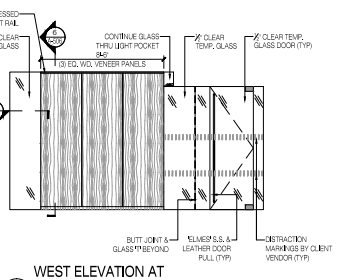
7 NORTH ELEVATION AT CONFERENCE ROOM 34-056
A-204 SCALE: 1/4" = 1'-0"



8 SOUTH ELEVATION AT CONFERENCE ROOM 34-056
A-204 SCALE: 1/4" = 1'-0"



9 NORTH ELEVATION AT CONFERENCE ROOM 34-057
A-204 SCALE: 1/4" = 1'-0"



10 WEST ELEVATION AT CONFERENCE ROOM 34-057
A-204 SCALE: 1/4" = 1'-0"

NO.	REVISION	DATE
1		06/20/10

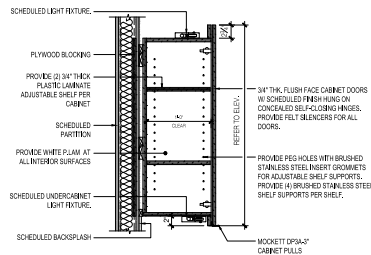
PROJECT NO. 16-14-10

PROJECT LOCATION

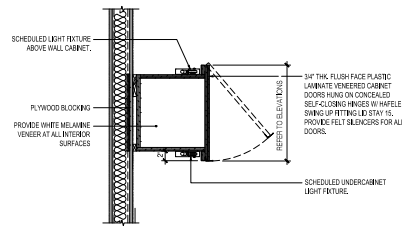
34TH FLOOR ELEVATIONS	
DRAWN BY	DATE
DA, RA, NA, FG	06/20/10
DESIGNED BY	SCALE
DA, NA, EC	AS NOTED

A-204.00

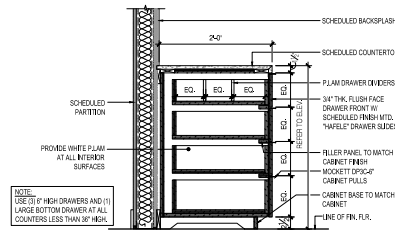
42 OF 71



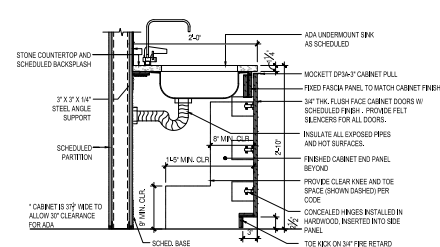
1 TYPICAL SECTION AT OVERHEAD CABINET
A-502 SCALE: 1" = 1'-0"



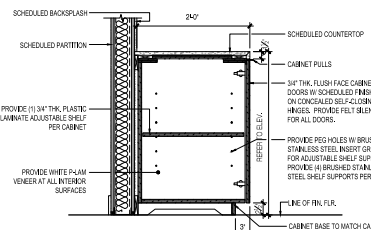
2 TYPICAL SECTION AT OVERHEAD CABINET
A-502 SCALE: 1" = 1'-0"



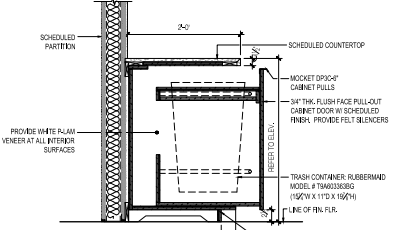
3 TYPICAL SECTION AT DRAWERS / DIVIDERS
A-502 SCALE: 1" = 1'-0"



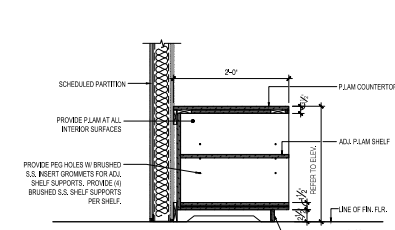
4 SECTION AT SINK CABINET
A-502 SCALE: 1" = 1'-0"



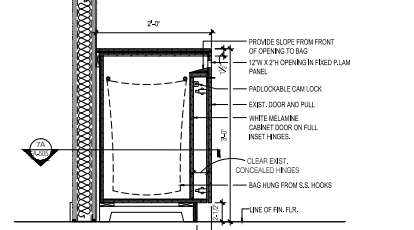
5 TYPICAL SECTION AT BASE CABINET
A-502 SCALE: 1" = 1'-0"



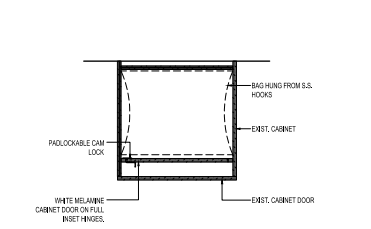
6 TYPICAL SECTION AT PULL-OUT TRASH BIN
A-502 SCALE: 1" = 1'-0"



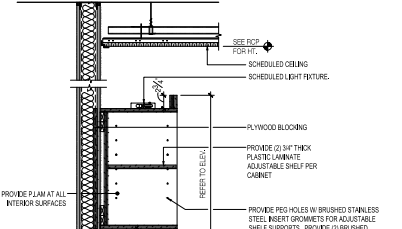
7 TYPICAL SECTION AT PRINTER CUBBIES
A-502 SCALE: 1" = 1'-0"



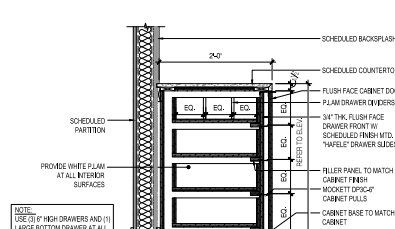
8 SECTION AT PAPER SHREDDER CABINET
A-502 SCALE: 1" = 1'-0"



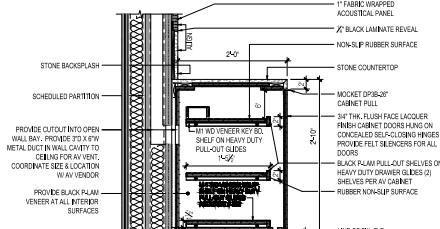
9 PLAN SECTION AT PAPER SHREDDER CABINET
A-502 SCALE: 1" = 1'-0"



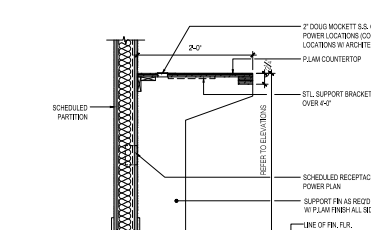
10 SECTION AT OVERHEAD CUBBIES
A-502 SCALE: 1" = 1'-0"



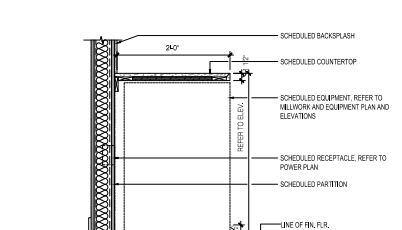
11 SECTION AT DRAWERS W/ CABINET DOOR
A-502 SCALE: 1" = 1'-0"



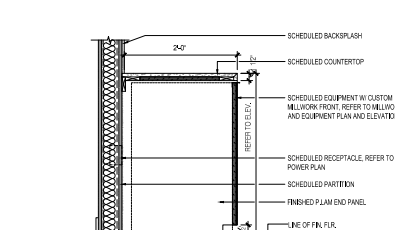
12 SECTION AT CONFERENCE AV CABINET
A-502 SCALE: 1" = 1'-0"



13 SECTION AT COUNTER W/ SUPPORT FIN
A-502 SCALE: 1" = 1'-0"



14 SECTION AT UNDERCOUNTER EQUIPMENT
A-502 SCALE: 1" = 1'-0"



15 SECTION AT UNDERCOUNTER EQUIPMENT WITH CUSTOM PANEL
A-502 SCALE: 1" = 1'-0"

CLIFFORD DIAS, P.E., P.C. CONSULTING ENGINEERS
665 Broadway | New York, NY 10012
212.228.2000 | fax 212.228.7001
clifford@clifford.com
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M.P. ENGINEER

NO.	DESCRIPTION	DATE
1	ADDENDUM #1	11/21/14
2	REVISED FOR PERM	11/21/14
3	REVISED FOR BID	11/21/14
4	PROGRESS SET	11/21/14
NO.	REVISION	DATE

PROJECT NO. 141434
PROJECT LOCATION

MILLWORK SECTIONS & DETAILS

DRAWN BY:	M.S. GAZ. A.D.	DATE:	10/14/14
CHECKED BY:	CH	SCALE:	AS NOTED
DRAWING NO.	A-502.00		

JONES BEACH FIELD 6 RENOVATION



Revision	By	App'd	DATE

SCHEDULE DESIGN SUBMITTALS	By	App'd	DATE

Permit/Seal

Consultants

JBC
JONES BEACH COMMUNITY ASSOCIATION

WCA
Winkler Cohen Associates
Consulting Engineers, A.C.

140 Broadway
Amityville, NY 11701
P 631.269.8811
F 631.269.8877

Stantec

135 Engineers Road
Roseton, NY 11768
www.stantec.com

The Contractor shall be responsible for all operations. DO NOT lock the drawing, any notes or conditions on this project to Stantec without notice. The drawings shall remain the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

Client/Project

New York State Office of Parks, Recreation and Historic Preservation

JONES BEACH FIELD & BATHHOUSE
BUILDING EXTERIOR REHAB /
INTERIOR RENOVATIONS

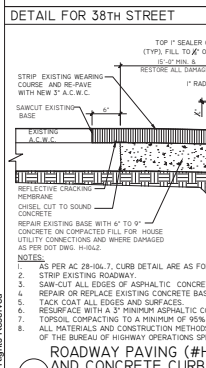
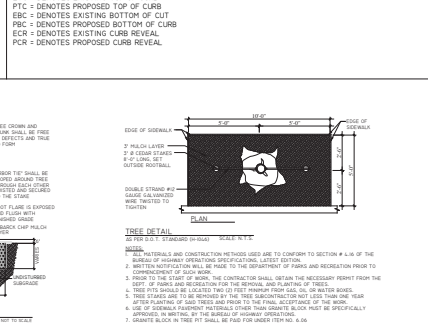
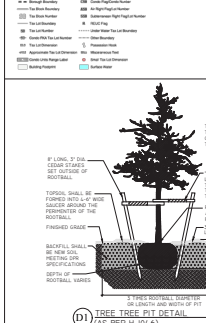
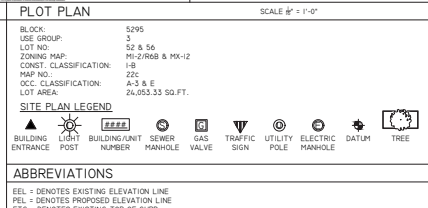
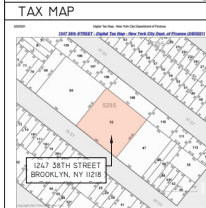
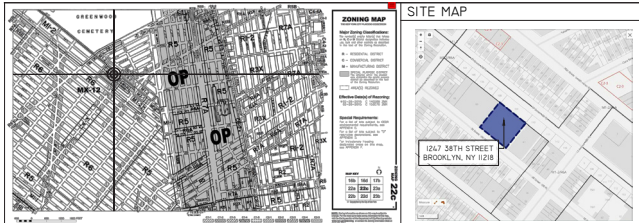
WANTAGE, NY

Title	
EXISTING ELEVATIONS	
Project No.	Scale
191500627	N.T.S.
Drawing No.	Sheet
A-201	of
Revision	0

DATE PLOTTED: 11/20/2021 10:58:11 AM USERNAME: JACOB.BECKER@STANTEC.COM PLOT DEVICE: HP DesignJet 4000

ZONING CALCULATIONS		PERMITTED USES		PERMITTED HEIGHTS		PERMITTED AREAS	
USE	HEIGHT	AREA	HEIGHT	AREA	HEIGHT	AREA	HEIGHT
RESIDENTIAL 1 (R1)	35.00'	10,000.00	35.00'	10,000.00	35.00'	10,000.00	35.00'
RESIDENTIAL 2 (R2)	45.00'	15,000.00	45.00'	15,000.00	45.00'	15,000.00	45.00'
RESIDENTIAL 3 (R3)	55.00'	20,000.00	55.00'	20,000.00	55.00'	20,000.00	55.00'
RESIDENTIAL 4 (R4)	65.00'	25,000.00	65.00'	25,000.00	65.00'	25,000.00	65.00'
RESIDENTIAL 5 (R5)	75.00'	30,000.00	75.00'	30,000.00	75.00'	30,000.00	75.00'
RESIDENTIAL 6 (R6)	85.00'	35,000.00	85.00'	35,000.00	85.00'	35,000.00	85.00'
RESIDENTIAL 7 (R7)	95.00'	40,000.00	95.00'	40,000.00	95.00'	40,000.00	95.00'
RESIDENTIAL 8 (R8)	105.00'	45,000.00	105.00'	45,000.00	105.00'	45,000.00	105.00'
RESIDENTIAL 9 (R9)	115.00'	50,000.00	115.00'	50,000.00	115.00'	50,000.00	115.00'
RESIDENTIAL 10 (R10)	125.00'	55,000.00	125.00'	55,000.00	125.00'	55,000.00	125.00'
RESIDENTIAL 11 (R11)	135.00'	60,000.00	135.00'	60,000.00	135.00'	60,000.00	135.00'
RESIDENTIAL 12 (R12)	145.00'	65,000.00	145.00'	65,000.00	145.00'	65,000.00	145.00'
RESIDENTIAL 13 (R13)	155.00'	70,000.00	155.00'	70,000.00	155.00'	70,000.00	155.00'
RESIDENTIAL 14 (R14)	165.00'	75,000.00	165.00'	75,000.00	165.00'	75,000.00	165.00'
RESIDENTIAL 15 (R15)	175.00'	80,000.00	175.00'	80,000.00	175.00'	80,000.00	175.00'
RESIDENTIAL 16 (R16)	185.00'	85,000.00	185.00'	85,000.00	185.00'	85,000.00	185.00'
RESIDENTIAL 17 (R17)	195.00'	90,000.00	195.00'	90,000.00	195.00'	90,000.00	195.00'
RESIDENTIAL 18 (R18)	205.00'	95,000.00	205.00'	95,000.00	205.00'	95,000.00	205.00'
RESIDENTIAL 19 (R19)	215.00'	100,000.00	215.00'	100,000.00	215.00'	100,000.00	215.00'
RESIDENTIAL 20 (R20)	225.00'	105,000.00	225.00'	105,000.00	225.00'	105,000.00	225.00'
RESIDENTIAL 21 (R21)	235.00'	110,000.00	235.00'	110,000.00	235.00'	110,000.00	235.00'
RESIDENTIAL 22 (R22)	245.00'	115,000.00	245.00'	115,000.00	245.00'	115,000.00	245.00'
RESIDENTIAL 23 (R23)	255.00'	120,000.00	255.00'	120,000.00	255.00'	120,000.00	255.00'
RESIDENTIAL 24 (R24)	265.00'	125,000.00	265.00'	125,000.00	265.00'	125,000.00	265.00'
RESIDENTIAL 25 (R25)	275.00'	130,000.00	275.00'	130,000.00	275.00'	130,000.00	275.00'
RESIDENTIAL 26 (R26)	285.00'	135,000.00	285.00'	135,000.00	285.00'	135,000.00	285.00'
RESIDENTIAL 27 (R27)	295.00'	140,000.00	295.00'	140,000.00	295.00'	140,000.00	295.00'
RESIDENTIAL 28 (R28)	305.00'	145,000.00	305.00'	145,000.00	305.00'	145,000.00	305.00'
RESIDENTIAL 29 (R29)	315.00'	150,000.00	315.00'	150,000.00	315.00'	150,000.00	315.00'
RESIDENTIAL 30 (R30)	325.00'	155,000.00	325.00'	155,000.00	325.00'	155,000.00	325.00'
RESIDENTIAL 31 (R31)	335.00'	160,000.00	335.00'	160,000.00	335.00'	160,000.00	335.00'
RESIDENTIAL 32 (R32)	345.00'	165,000.00	345.00'	165,000.00	345.00'	165,000.00	345.00'
RESIDENTIAL 33 (R33)	355.00'	170,000.00	355.00'	170,000.00	355.00'	170,000.00	355.00'
RESIDENTIAL 34 (R34)	365.00'	175,000.00	365.00'	175,000.00	365.00'	175,000.00	365.00'
RESIDENTIAL 35 (R35)	375.00'	180,000.00	375.00'	180,000.00	375.00'	180,000.00	375.00'
RESIDENTIAL 36 (R36)	385.00'	185,000.00	385.00'	185,000.00	385.00'	185,000.00	385.00'
RESIDENTIAL 37 (R37)	395.00'	190,000.00	395.00'	190,000.00	395.00'	190,000.00	395.00'
RESIDENTIAL 38 (R38)	405.00'	195,000.00	405.00'	195,000.00	405.00'	195,000.00	405.00'
RESIDENTIAL 39 (R39)	415.00'	200,000.00	415.00'	200,000.00	415.00'	200,000.00	415.00'
RESIDENTIAL 40 (R40)	425.00'	205,000.00	425.00'	205,000.00	425.00'	205,000.00	425.00'
RESIDENTIAL 41 (R41)	435.00'	210,000.00	435.00'	210,000.00	435.00'	210,000.00	435.00'
RESIDENTIAL 42 (R42)	445.00'	215,000.00	445.00'	215,000.00	445.00'	215,000.00	445.00'
RESIDENTIAL 43 (R43)	455.00'	220,000.00	455.00'	220,000.00	455.00'	220,000.00	455.00'
RESIDENTIAL 44 (R44)	465.00'	225,000.00	465.00'	225,000.00	465.00'	225,000.00	465.00'
RESIDENTIAL 45 (R45)	475.00'	230,000.00	475.00'	230,000.00	475.00'	230,000.00	475.00'
RESIDENTIAL 46 (R46)	485.00'	235,000.00	485.00'	235,000.00	485.00'	235,000.00	485.00'
RESIDENTIAL 47 (R47)	495.00'	240,000.00	495.00'	240,000.00	495.00'	240,000.00	495.00'
RESIDENTIAL 48 (R48)	505.00'	245,000.00	505.00'	245,000.00	505.00'	245,000.00	505.00'
RESIDENTIAL 49 (R49)	515.00'	250,000.00	515.00'	250,000.00	515.00'	250,000.00	515.00'
RESIDENTIAL 50 (R50)	525.00'	255,000.00	525.00'	255,000.00	525.00'	255,000.00	525.00'
RESIDENTIAL 51 (R51)	535.00'	260,000.00	535.00'	260,000.00	535.00'	260,000.00	535.00'
RESIDENTIAL 52 (R52)	545.00'	265,000.00	545.00'	265,000.00	545.00'	265,000.00	545.00'
RESIDENTIAL 53 (R53)	555.00'	270,000.00	555.00'	270,000.00	555.00'	270,000.00	555.00'
RESIDENTIAL 54 (R54)	565.00'	275,000.00	565.00'	275,000.00	565.00'	275,000.00	565.00'
RESIDENTIAL 55 (R55)	575.00'	280,000.00	575.00'	280,000.00	575.00'	280,000.00	575.00'
RESIDENTIAL 56 (R56)	585.00'	285,000.00	585.00'	285,000.00	585.00'	285,000.00	585.00'
RESIDENTIAL 57 (R57)	595.00'	290,000.00	595.00'	290,000.00	595.00'	290,000.00	595.00'
RESIDENTIAL 58 (R58)	605.00'	295,000.00	605.00'	295,000.00	605.00'	295,000.00	605.00'
RESIDENTIAL 59 (R59)	615.00'	300,000.00	615.00'	300,000.00	615.00'	300,000.00	615.00'
RESIDENTIAL 60 (R60)	625.00'	305,000.00	625.00'	305,000.00	625.00'	305,000.00	625.00'
RESIDENTIAL 61 (R61)	635.00'	310,000.00	635.00'	310,000.00	635.00'	310,000.00	635.00'
RESIDENTIAL 62 (R62)	645.00'	315,000.00	645.00'	315,000.00	645.00'	315,000.00	645.00'
RESIDENTIAL 63 (R63)	655.00'	320,000.00	655.00'	320,000.00	655.00'	320,000.00	655.00'
RESIDENTIAL 64 (R64)	665.00'	325,000.00	665.00'	325,000.00	665.00'	325,000.00	665.00'
RESIDENTIAL 65 (R65)	675.00'	330,000.00	675.00'	330,000.00	675.00'	330,000.00	675.00'
RESIDENTIAL 66 (R66)	685.00'	335,000.00	685.00'	335,000.00	685.00'	335,000.00	685.00'
RESIDENTIAL 67 (R67)	695.00'	340,000.00	695.00'	340,000.00	695.00'	340,000.00	695.00'
RESIDENTIAL 68 (R68)	705.00'	345,000.00	705.00'	345,000.00	705.00'	345,000.00	705.00'
RESIDENTIAL 69 (R69)	715.00'	350,000.00	715.00'	350,000.00	715.00'	350,000.00	715.00'
RESIDENTIAL 70 (R70)	725.00'	355,000.00	725.00'	355,000.00	725.00'	355,000.00	725.00'
RESIDENTIAL 71 (R71)	735.00'	360,000.00	735.00'	360,000.00	735.00'	360,000.00	735.00'
RESIDENTIAL 72 (R72)	745.00'	365,000.00	745.00'	365,000.00	745.00'	365,000.00	745.00'
RESIDENTIAL 73 (R73)	755.00'	370,000.00	755.00'	370,000.00	755.00'	370,000.00	755.00'
RESIDENTIAL 74 (R74)	765.00'	375,000.00	765.00'	375,000.00	765.00'	375,000.00	765.00'
RESIDENTIAL 75 (R75)	775.00'	380,000.00	775.00'	380,000.00	775.00'	380,000.00	775.00'
RESIDENTIAL 76 (R76)	785.00'	385,000.00	785.00'	385,000.00	785.00'	385,000.00	785.00'
RESIDENTIAL 77 (R77)	795.00'	390,000.00	795.00'	390,000.00	795.00'	390,000.00	795.00'
RESIDENTIAL 78 (R78)	805.00'	395,000.00	805.00'	395,000.00	805.00'	395,000.00	805.00'
RESIDENTIAL 79 (R79)	815.00'	400,000.00	815.00'	400,000.00	815.00'	400,000.00	815.00'
RESIDENTIAL 80 (R80)	825.00'	405,000.00	825.00'	405,000.00	825.00'	405,000.00	825.00'
RESIDENTIAL 81 (R81)	835.00'	410,000.00	835.00'	410,000.00	835.00'	410,000.00	835.00'
RESIDENTIAL 82 (R82)	845.00'	415,000.00	845.00'	415,000.00	845.00'	415,000.00	845.00'
RESIDENTIAL 83 (R83)	855.00'	420,000.00	855.00'	420,000.00	855.00'	420,000.00	855.00'
RESIDENTIAL 84 (R84)	865.00'	425,000.00	865.00'	425,000.00	865.00'	425,000.00	865.00'
RESIDENTIAL 85 (R85)	875.00'	430,000.00	875.00'	430,000.00	875.00'	430,000.00	875.00'
RESIDENTIAL 86 (R86)	885.00'	435,000.00	885.00'	435,000.00	885.00'	435,000.00	885.00'
RESIDENTIAL 87 (R87)	895.00'	440,000.00	895.00'	440,000.00	895.00'	440,000.00	895.00'
RESIDENTIAL 88 (R88)	905.00'	445,000.00	905.00'	445,000.00	905.00'	445,000.00	905.00'
RESIDENTIAL 89 (R89)	915.00'	450,000.00	915.00'	450,000.00	915.00'	450,000.00	915.00'
RESIDENTIAL 90 (R90)	925.00'	455,000.00	925.00'	455,000.00	925.00'	455,000.00	925.00'
RESIDENTIAL 91 (R91)	935.00'	460,000.00	935.00'	460,000.00	935.00'	460,000.00	935.00'
RESIDENTIAL 92 (R92)	945.00'	465,000.00	945.00'	465,000.00	945.00'	465,000.00	945.00'
RESIDENTIAL 93 (R93)	955.00'	470,000.00	955.00'	470,000.00	955.00'	470,000.00	955.00'
RESIDENTIAL 94 (R94)	965.00'	475,000.00	965.00'	475,000.00	965.00'	475,000.00	965.00'
RESIDENTIAL 95 (R95)	975.00'	480,000.00	975.00'	480,000.00	975.00'	480,000.00	975.00'
RESIDENTIAL 96 (R96)	985.00'	485,000.00	985.00'	485,000.00	985.00'	485,000.00	985.00'
RESIDENTIAL 97 (R97)	995.00'	490,000.00	995.00'	490,000.00	995.00'	490,000.00	995.00'
RESIDENTIAL 98 (R98)	1005.00'	495,000.00	1005.00'	495,000.00	1005.00'	495,000.00	1005.00'
RESIDENTIAL 99 (R99)	1015.00'	500,000.00	1015.00'	500,000.00	1015.00'	500,000.00	1015.00'
RESIDENTIAL 100 (R100)	1025.00'	505,000.00	1025.00'	505,000.00	1025.00'	505,000.00	1025.00'

SPECIAL INSPECTION ITEMS:		CODE / SECTION	
Y	SPECIAL INSPECTIONS		
X	STRUCTURAL STEEL - WELDING	BC 1704.3.1	
X	STRUCTURAL STEEL - DETAILS	BC 1704.3.2	
X	STRUCTURAL STEEL - HIGH STRENGTH BOLTING	BC 1704.3.2, BC 1704.3.3	
X	STRUCTURAL COLD-FORMED STEEL	BC 1704.3.4	
X			



NOTES

D.O.T. REFERENCE STANDARDS:
 CONCRETE CURB: H-1042 R19
 ROADWAY PAVING: H-1042
 CONCRETE CURB: H-1044
 4" CONC. SIDEWALK: H-1045 TYPE I
 NEW TREE PFT: H-1046

REPAIR 5'-0" ADJ. SIDEWALK RIBBON. SLOPE RIBBON DATUM ELEVATION TO MATCH EXISTING ADJ. DATUM ELEVATION (TYP)

HISTORIC CURB NOTE:
 GRANITE CURB SAMPLES OF WHICH BE FURNISHED TO THE CITY BY THE CONTRACTOR PRIOR TO INSTALLING GRANITE IS TO BE MEDIUM GRAY IN COLOR AS APPROVED BY THE ENGINEER.

CONCRETE SIDEWALK NOTE:
 1. CONCRETE SHOULD BE CONSTRUCTED OF 5'-0" x 5'-0" FLAGS. FLAG LINES SHOULD BE STRAIGHT, RUFF SURFACED, CRACKED, IMPRESSED, AND OTHER TYPES OF DEFECTED FLAGS. MUST BE CORRECTED TO CONFORM TO D.O.T. STANDARDS.

TRANSVERSE EXPANSION JOINTS NOTE:
 1. TRANSVERSE EXPANSION JOINTS SHALL BE ONE-QUARTER INCH (1/4") IN WIDTH AND SHALL BE FILLED WITH PREFORMED JOINT FILLER TO WITHIN ONE INCH (1") OF THE SIDEWALK SURFACE. THE TOP ONE INCH (1") SHALL BE SEALED WITH JOINT FILLER (TYP).

ROADWAY PAVING SURFACE TEXTURE TO BE SMOOTH FREE OF SCARS, RUTS, CRACKS, DEPRESSIONS, RIDGES, HUMPS, AND SIMILAR DEFECTS. CONCRETE BASE TO BE FREE OF FRACTURES, EROSION, CRACKING, DIFFERENTIAL SETTLEMENTS, AND OTHER STRUCTURAL DEFECTS.

NEW 4" THICK CONCRETE SIDEWALK PER D.O.T. H. 1042 STD. (TYP) AND CONCRETE MUST BE 3,200 PSI OR HIGHER PER N.Y.C. D.O.T. STANDARD SPEC. SECTION 3.05 TABLE AND TABLE IV, SECTION 4.1.3.3 MATERIALS B (TYP).

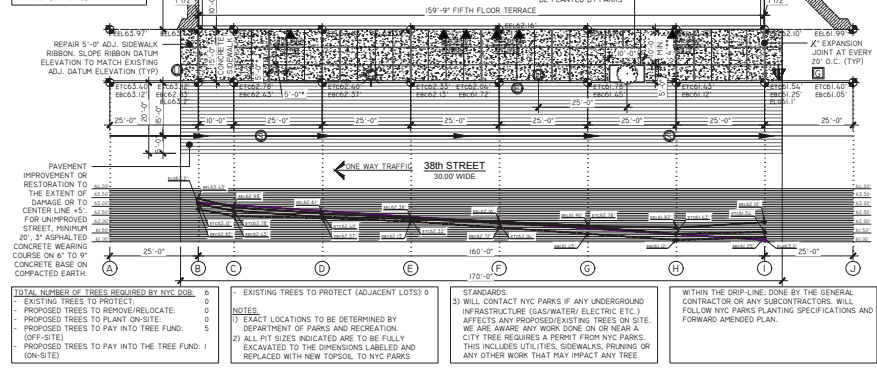
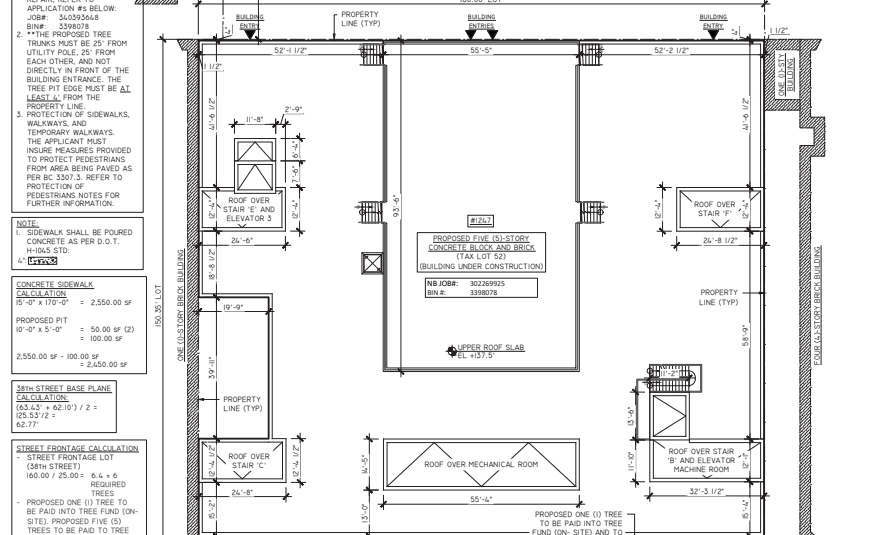
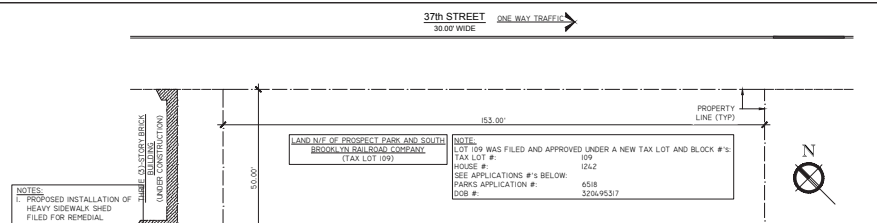
RE-PAVE ROADWAY FROM CURB LINE TO MIDDLE OF ROADWAY +/- OR AS DIRECTED BY S.P.P.

ROADWAY PAVING (#H-1042) AND CONCRETE CURB (#H-1044)

SCALE: 1"=1'-0"

LIST OF ESTIMATED QUANTITIES

	LIN. FT.	SQ. FT.	SQ. YD.	EACH	EA
NEW CURB	170.00 (38th St)				
NEW SIDEWALK	2,450.00 (38th St)				
NEW ROADWALK	377.75 (38th St)				
NEW TREES	SEE STREET FRONTAGE CALC.				
NEW CB'S	0				
NEW CIP	0				
NEW MANHOLES	0				



CALCULATIONS

1247 38th STREET CROSS SLOPE COMPUTATIONS

ELL	ETC	DISTANCE	SLOPE
A	63.43'	63.43'	15'-0" 2.01%
I	62.10'	61.54'	15'-0" 3.73%

1247 38th STREET GUTTER SLOPE COMPUTATIONS

B	I	DISTANCE	SLOPE
A	62.83'	61.25'	160'-0" 0.99%

PROTECTION OF PEDESTRIANS NOTES

628.2-3307.3 SIDEWALK SHEDS AND FENCES. SIDEWALK SHEDS SHALL BE PROVIDED AS REQUIRED BY 628.2-3307.3. FENCES SHALL BE PROVIDED AS REQUIRED BY 628.2-3307.7.

628.2-3307.6. SIDEWALK SHEDS. SIDEWALK SHEDS SHALL BE PROVIDED AS REQUIRED BY THIS SECTION TO PROTECT PEDESTRIANS FROM CONSTRUCTION OR DEMOLITION OPERATIONS.

628.2-3307.7 FENCES. ALL SITES WHERE A NEW BUILDING IS BEING CONSTRUCTED, OR A BUILDING IS BEING DEMOLISHED TO GRADE, SHALL BE ENCLOSED WITH A FENCE. FENCES SHALL ALSO BE INSTALLED TO FILL OR PARTIALLY ENCLOSE SITES, AS NECESSARY, WHERE THERE EXISTS AN OPEN EXCAVATION, AN UNENCLOSED PORTION OF A BUILDING, ACCESSIBLE AT GRADE, OR OTHER HAZARD TO THE PUBLIC. SUCH FENCES SHALL BE AT LEAST 8 FEET (2.438 MM) HIGH BUILT SOLID FOR THEIR ENTIRE LENGTH OUT OF WOOD OR OTHER SUITABLE MATERIAL AND SHALL BE RETURNED AT THE ENDS TO THE EXTENT NECESSARY TO EFFECTIVELY CLOSE OFF THE SITE.

BOROUGH: BROOKLYN NB JOB#: 302689925
 DOB REF #: 340804268 DOB (BPP) #: —

NEW YORK CITY DEPARTMENT OF TRANSPORTATION BUILDERS PAVEMENT PLAN

PROJECT DATA

PROJECT STREET ADDRESS: 1247 38th STREET BROOKLYN, NY 11218
 BLOCK: 5295 ZONING MAP #: 22c
 LOT#: 109 ZONING: M2-2/R6B & Mx-12
 OWNER'S NAME: 1241 CYMH LLC
 OWNER'S ADDRESS: 1601 42nd STREET BROOKLYN, NY 11204

GENERAL REQUIREMENTS:

- ALL DESIGNS, MATERIALS, CONSTRUCTION METHODS AND WORKMANSHIP SHALL COMPLY WITH THE FOLLOWING PUBLICATIONS OF THE BUREAU OF HIGHWAYS: STANDARD SPECIFICATIONS, STANDARD DETAILS OF CONSTRUCTION, RULES OF THE BUREAU OF HIGHWAY OPERATIONS, GUIDELINES FOR THE DESIGN OF INFRASTRUCTURE COMPONENTS.
- ALL NON STANDARD MATERIALS AND CONSTRUCTION PROCEDURES SHALL BE SPECIFICALLY APPROVED IN WRITING BY THE DEPARTMENT OF TRANSPORTATION.
- ANY WORK NOT COMPLYING WITH THE REQUIREMENTS OF THE DOT SHALL BE REMOVED AND REPLACED.
- THIS PLAN SHALL BE VALID FOR THE ISSUANCE OF CONSTRUCTION PERMITS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF APPROVAL OR SELF CERTIFICATION, AS APPLICABLE.
- ALL SIDEWALKS AND STREET AREAS CONSTRUCTED UNDER THIS PLAN SHALL REMAIN OPEN TO THE PUBLIC AT ALL TIMES.

ISSUANCE OF THE PERMITS:

- NO SIDEWALK, CURB OR ROADWAY WORK SHALL BE DONE WITHOUT A PERMIT FROM THE BOROUGH HIGHWAY SUPERINTENDENT. APPLICATION SHALL BE MADE THREE (3) DAYS BEFORE STARTING CONSTRUCTION. THE CONTRACTOR SHALL HAVE ALL REQUIRED INSURANCE COVERAGE ON FILE.
- NO WORK ON DRAINAGE STRUCTURES SHALL BE DONE WITHOUT A PERMIT FROM THE BOROUGH OFFICE OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- ANY VAULT WORK AT THE SITE SHALL BE DONE AS PER THE APPLICABLE RULES OF THE DOT AND THE DEPARTMENT OF BUILDINGS.

CONSTRUCTION ACTIVITY:

- A CONSTRUCTION PLAN SHOWING MAINTENANCE AND PROTECTION OF TRAFFIC, INCLUDING PLACEMENT OF SIDEWALK BRIDGES, BARRIERS AND SIGNAGE SHALL BE SUBMITTED TO THE BOROUGH HIGHWAY OFFICE BEFORE CONSTRUCTION BEGINS.
- NO SIDEWALK SHALL BE CLOSED WITHOUT A PERMIT. PEDESTRIAN AND TRAFFIC SAFETY SHALL BE PROTECTED AT ALL TIMES. ROADWAY CLOSINGS SHALL BE AS DIRECTED.
- THE SITE SHALL BE MAINTAINED IN A CLEAN AND SAFE CONDITION. FINAL SIGN-OFF
- PERMITS SHALL BE PRESENTED FROM ALL PUBLIC AGENCIES AND UTILITIES HAVING OWNERSHIP OF STRUCTURES RELOCATED OR REMOVED DURING CONSTRUCTION.
- ALL EXISTING CATCH BASINS ON SITE SHALL BE CLEANED AND MADE OPERABLE.
- ALL DAMAGE CAUSED BY CONSTRUCTION ON THIS PROJECT OUTSIDE THE PROJECT LIMITS SHALL BE REPAIRED AS DIRECTED.
- THE ROADWAY SHALL BE PAVED TO THE REQUIREMENTS OF THE DOT AND AS DIRECTED.

DOT APPROVAL

PROPOSED AND EXISTING WORK SHOWN HERE REVIEWED FOR COMPLIANCE WITH ALL APPLICABLE RULES AND REQUIREMENTS BY :

PLAN EXAMINER _____

APPROVAL FOR ISSUANCE OF WORK PERMITS GRANTED BY :

CHIEF / BUILDERS PAVEMENT SECTION _____ DATE _____

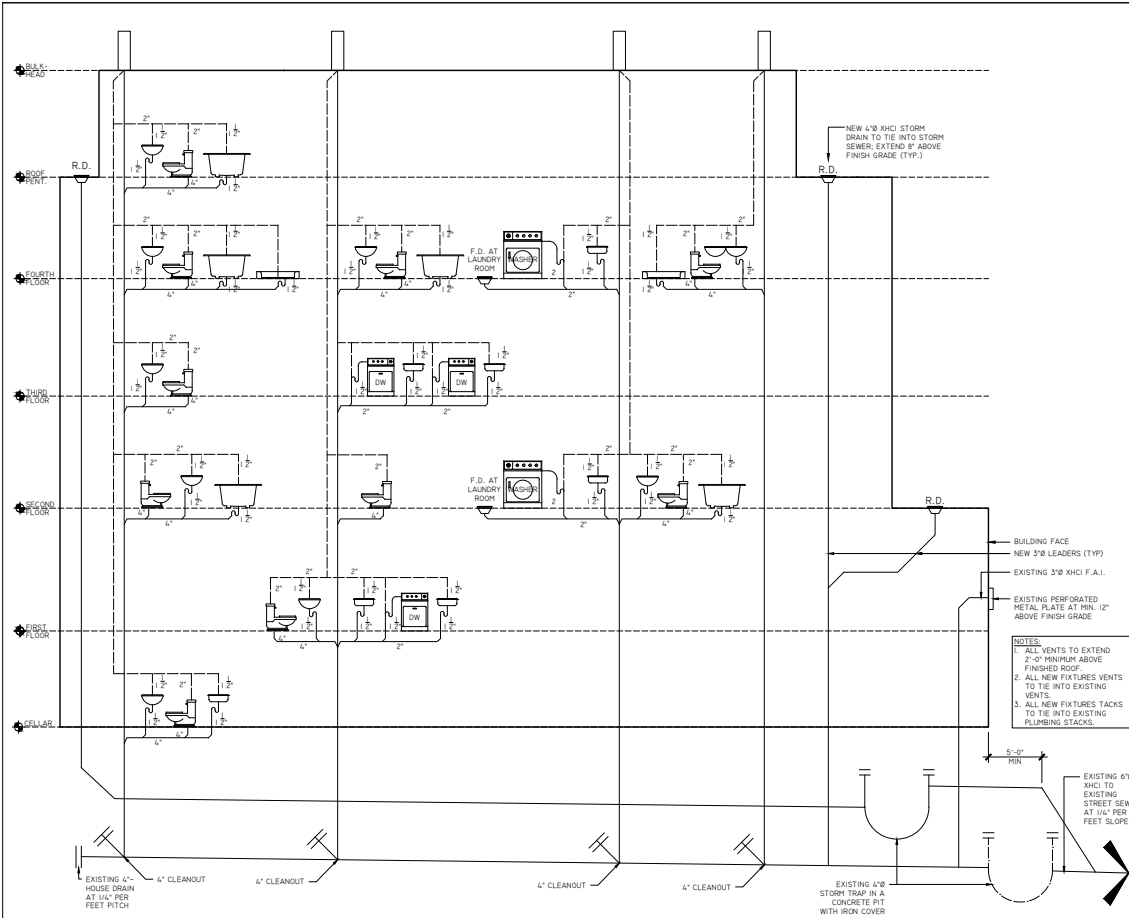
STUDIO GALLOS

177 HALLERS STREET 1ST FL. BROOKLYN, N.Y. 11201
 TEL.: 718.658.5118
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DRAWING NO: BPP-100.00
 01 OF 01

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BUILDERS PAVEMENT PLAN



NYC BUILDING DEPARTMENT NOTES

- THE PLUMBING SYSTEMS (SANITARY, WASTE, VENT, WATER DISTRIBUTION AND GAS) AND ALL ASSOCIATED EQUIPMENT WILL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FULL REQUIREMENTS OF THE PLUMBING CODE OF THE CITY OF NEW YORK AS CITED IN ARTICLE 24.
1. THE SANITARY SYSTEM SHALL BE PROVIDED IN FULL ACCORDANCE WITH THE GENERAL PROVISIONS OF SECTION PC 700.
 2. THE MATERIAL USED IN THE PLUMBING SYSTEMS WILL BE PROVIDED IN FULL ACCORDANCE WITH SECTION PC 602, 605, 702, 902, 102.
 3. EQUIPMENT HOOK-UP AND THE JOINING OF PIPING WILL BE IN FULL COMPLIANCE WITH SECTION PC 605.
 4. THE INSTALLATION OF FIXTURES WILL BE IN FULL ACCORDANCE WITH SECTION PC 400.
 5. TRAPS FOR FIXTURES AND DRAIN LINES WILL BE PROVIDED AND CLEANOUTS INSTALLED IN FULL COMPLIANCE WITH SECTION PC 706, 709 & 1002.
 6. VERTICAL AND HORIZONTAL PIPING WILL BE HUNG AND SUPPORTED AS DIRECTED IN SPECIFICATIONS AND THE FULL COMPLIANCE WITH SECTION PC 308.
 7. THE SANITARY DRAINAGE SYSTEM OF THE SUBJECT BUILDING SHALL BE INSTALLED AND MAINTAINED IN FULL COMPLIANCE WITH SECTION PC 502.
 8. THE SANITARY DRAINAGE SYSTEM WILL BE SIZED AND INSTALLED IN FULL COMPLIANCE WITH SECTIONS PC 704 AND 710.
 9. THE VENT PIPING FOR THE SANITARY FOR THE DRAINAGE SYSTEM OF THE SUBJECT BUILDING WILL BE INSTALLED IN FULL COMPLIANCE WITH SECTION PC 901.
 10. THE STORM DRAINAGE SYSTEM AND PIPING WILL BE INSTALLED IN FULL COMPLIANCE WITH SECTION PC 100.
 11. GAS PIPING AND EQUIPMENT WILL BE INSTALLED IN FULL COMPLIANCE WITH THE NYC GAS CODE ADOPTED WITH LATEST UPDATES.
 12. ALL TRENCHING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION PC 306.
 13. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED FOR WORKMEN AS PER SECTION 15-02 (E) (20).
 14. FUEL GAS METER SHALL FULLY COMPLY WITH THE REQUIREMENTS OF NYC FUEL GAS CODE FGC-401 AND APPENDIX E & F.

1.07 LAWS, ORDINANCE, ETC.

- A. THE WORK OF THIS CONTRACTOR MUST COMPLY WITH ALL LOCAL LAWS, IN ACCORDANCE WITH THE BUILDING ALTERATION AGREEMENT. THIS CONTRACTOR MUST HAVE THE NECESSARY INSPECTION MADE BY THESE AUTHORITIES, PAY ALL THE REQUIRED FEES, AND FURNISH THE OWNER WITH CERTIFICATES OF APPROVAL BEFORE FINAL PAYMENT ON THIS CONTRACT IS MADE, AND SHALL APPLY, PAY FOR, AND OBTAIN ALL PERMITS.
- 1.08 SUPERVISION**
- A. THIS CONTRACTOR SHALL HAVE A COMPETENT FOREMAN IN RESPONSIBLE CHARGE OF THE WORK AND SHALL BE ON THE SITE DURING THE INSTALLATION OF THE WORK WHO SHALL BE ON THE SITE DURING THE INSTALLATION OF THE MATERIAL FURNISHED UNDER THIS SPECIFICATION UNTIL SAME HAS BEEN PUT IN COMPLETE OPERATIVE CONDITION AND ACCEPTED BY THE OWNER.

1.09 CUTTING AND PATCHING

- A. ALL CUTTING OF FLOOR SLABS MUST BE APPROVED BY THE MANAGING DIRECTOR. THIS CONTRACTOR SHALL DO ALL CUTTING AND PATCHING FOR PLUMBING WORK AND SHALL COORDINATE SAME WITH ALL OTHER TRADES. ALL CUTTING SHALL BE SUBJECT TO TRADE REGULATIONS. NO CUTTING OF STRUCTURAL MEMBERS SHALL BE DONE WITHOUT THE APPROVAL OF THE ARCHITECT.
- B. PIPE PENETRATION THRU THE FLOOR SLAB SHALL ONLY BE DONE BY CHOPPING, NO CORE DRILLING.

PART 2 - MATERIAL

- 2.01 GENERAL**
- A. THE PLUMBING SYSTEM SHALL BE COMPLETE WITH ALL PIPES, FITTINGS, TRAPS, SUPPLIES, VALVES, HANGERS AND SUPPORTS, INSULATION, ETC. AND ALL OTHER ITEMS NECESSARY FOR COMPLETE, SATISFACTORY OPERATING AND APPROVED TYPE SYSTEM.
- B. ALL PIPES, FITTINGS, VALVES, FIXTURES, HANGERS, SUPPORTS, INSULATION, ETC. SHALL COMPLY WITH THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE.
- 2.02 SOIL, WASTE, AND VENT PIPE AND FITTINGS**
- A. FUEL GAS METER AND GAS VALVE AND VENT PIPING SHALL BE 1" NUB-HUB CAST IRON PIPE AND FITTINGS EXCEPT AS NOTED OTHERWISE.
- B. ALL UNDERGROUND GROUND SOIL, WASTE, VENT, AND LEADER PIPING SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE.
- C. ALL JOINTS AND CONNECTIONS SHALL BE ASSEMBLED BY MEANS OF SEALING SLEEVES AND STAINLESS STEEL CLAMPS AND SHIELD ASSEMBLIES.
- D. PIPE AND FITTINGS SHALL BE CENTRAL FOUNDRY COMPANY, TFLER PIPE COMPANY, EAST PENN FOUNDRY OR APPROVED EQUIVALENT.
- E. EXPOSED PIPE TO BE CHROME PLATED.
- 2.03 COLD WATER AND HOT WATER PIPE AND FITTINGS**
- A. DOMESTIC COLD WATER, HOT WATER AND HOT WATER CIRCULATION PIPE SHALL BE TYPE "L" - HARD DRAWN COPPER TUBING WITH WROUGHT BRONZE FITTINGS FOR 50 POUND WATER WORKING PRESSURE AND WITH JOINTS OF 90-5 (TIN-ANTIMONY) SOLDER. NO SOLDER LEADING LEAD IS PERMITTED.
- B. ALL SUPPLIES THROUGH WALL TO FIXTURES SHALL BE 6/8" RED BRASS WITH THREADED BRASS FITTINGS. ALL EXPOSED PIPING IN FINISHED SPACE SHALL BE CHROME.
- 2.04 HANGERS AND SUPPORTS**
- A. FURNISH ALL NECESSARY HANGERS, SUPPORTS, INSERTS, CLAMPS, ETC. AS REQUIRED. ALL HANGERS AND SUPPORTS SHALL BE OF HEAVY CONSTRUCTION AND SUFFICIENT FOR THE SIZE OF PIPE TO BE SUPPORTED. ALL INSERTS AND HANGERS SHALL BE INSTALLED TO CLEAR WORK OF OTHER TRADES.
- 2.05 INSULATION**
- A. COVER ALL HOT WATER PIPING WITH 1.5 INCH THICK AND ALL COLD WATER PIPING WITH 1.5 INCH THICK MANVILLE MICRO-LOK PLUS FIBERGLASS INSULATION. FITTINGS AND VALVES SHALL BE INSULATED WITH MANVILLE ZESTOR 200 PIV. INSULATED FITTING COVERS. INSTALL ALL INSULATION AS PER MANUFACTURERS RECOMMENDATIONS. ALL INSULATION MATERIAL SHALL COMPLY WITH THE NEW YORK CITY BUILDING CODE REQUIREMENTS OF A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DEVELOPED RATING NOT TO EXCEED 50.
- 2.06 VALVES**
- A. STOP VALVES EXCEPT FLOOR STOPS, ON HOT AND COLD WATER LINES 2 IN. AND SMALLER SHALL BE FULL PORT 400 LB. NON-SHOCK BRONZE BALL VALVES, NIBCO T-995-Y FOR COPPER TO COPPER, OR APPROVED OTHER.
- B. GLOBE VALVES UP TO AND INCLUDING 3 IN. SHALL BE SCREW-WRENCH BONNET COMPOSITION DIE-CAST BRASS, NIBCO T-711 FOR THREADED CONNECTIONS AND S-211 FOR SOLDER CONNECTIONS, OR APPROVED OTHER.
- C. CHECK VALVES SHALL BE OF THE SWIG-TYPE. SIZE UP TO AND INCLUDING 3 IN. SHALL BE ALL BRASS, 105 LB. S.W.P. NIBCO T-415 FOR THREADED CONNECTIONS AND NIBCO S-403 FOR SOLDER CONNECTIONS, OR APPROVED OTHER.
- 2.07 GUARANTEE**
- A. THIS CONTRACTOR SHALL GUARANTEE FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE BY THE OWNER, ALL MATERIALS, APPARATUS AND WORKMANSHIP WHEN FURNISHED BY HIMSELF OR BY HIS SUBCONTRACTORS AND HE SHALL REPLACE OR REPAIR IN A MANNER APPROVED BY THE ARCHITECT OR PARTS OF THE WORK WHICH MAY PROVE DEFECTIVE OR UNSATISFACTORY WITHIN THE PERIOD OF THE GUARANTEE.
- B. WHERE SPECIAL GUARANTEES COVERING INSTALLATION, OPERATION OR PERFORMANCE OF ANY SYSTEMS OR APPLIANCES FURNISHED UNDER THIS CONTRACT ARE REQUIRED, THE FULL RESPONSIBILITY FOR THE FULFILLMENT OF SUCH GUARANTEES MUST BE ASSUMED BY THE CONTRACTOR, WHO SHALL OBTAIN WRITTEN GUARANTEES, IN TRIPlicate, WHICH SHALL BE FILED WITH THE ARCHITECT BEFORE FINAL ACCEPTANCE.
- C. CONTRACTOR WILL BE RESPONSIBLE FOR ALL LEAKS IN ALL PIPES FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION OF WORK UNDER THIS CONTRACT. CONTRACTOR SHALL REPAIR AT NO COST TO THE OWNER, ALL SUCH LEAKS WHICH OCCUR AFTER COMPLETION OF THIS CONTRACT UPON 24 HOUR NOTICE THEREOF BY THE GENERAL CONTRACTOR. LEAKS WHICH OCCUR PRIOR TO COMPLETION OF THIS CONTRACT SHALL BE REPAIRED AT ONCE. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED BY SUCH LEAKS AND THE REPAIR THEREOF AND WILL REIMBURSE THE GENERAL CONTRACTOR FOR THE EXPENSE INCURRED THEREBY.
- D. DISINFECTION OF THE POTABLE WATER SYSTEM SHALL BE DISINFECTED PRIOR TO THE USE BY A METHOD OF DISINFECTION IN ACCORDANCE WITH THE NEW YORK CITY BUILDING CODE. THE POTABLE WATER PURITY TEST RESULT FROM A NEW YORK CITY CERTIFIED TESTER SHALL BE SUBMITTED FOR ENGINEER'S REVIEW AND APPROVAL.
- 2.08 PLUMBING FIXTURES AND EQUIPMENT**
- PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL ALL PLUMBING FIXTURES AND APPLIANCES, UNLESS OTHERWISE NOTED, AND MAKE ALL FINAL CONNECTIONS AS REQUIRED. SEE ARCHITECTURAL DRAWINGS FOR PLUMBING FIXTURE SPECIFICATIONS.

PLUMBING SYSTEM SPECIFICATIONS

- 1.01 DESCRIPTION**
- A. THE PLUMBING CONTRACTOR SHALL BE A LICENSE INSTALLER OF PLUMBING SYSTEMS IN NEW YORK CITY.
- B. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE.
- C. THE ARCHITECT'S SPECIFICATIONS AS APPLICABLE ARE PART OF THIS CONTRACT.
- D. THE CONTRACTOR IS ADVISED TO CLOSELY COORDINATE HIS WORK WITH THE BUILDING ENGINEER, SO THAT THE INTERRUPTION OF EXISTING BUILDING SERVICES, IN ORDER TO CONNECT NEW PIPING TO EXISTING SHALL BE MADE AT SUCH TIME AS TO CAUSE THE LEAST INTERFERENCE WITH ESTABLISHED BUILDING OPERATING PROCEDURE. CONTRACTOR SHALL NOT INTERFERE WITH THE SERVICE WITHOUT EXPRESS WRITTEN PERMISSION OF THE OWNER.

1.02 IDENTIFYING CONDITIONS

- A. EXAMINE ALL DRAWINGS COVERING THE WORK OF THIS SECTION AND REFER TO ALL OTHER DRAWINGS, INCLUDING ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, WHICH MAY AFFECT THE WORK OF THIS SECTION OR REQUIRE COORDINATION BY SAME.
- B. BEFORE STARTING ANY WORK, EXAMINE EXISTING CONDITIONS, AND THOROUGHLY CHECK DRAWINGS, DIMENSIONS, SPECIFICATIONS, AND ADDING OR UNDERLYING CONDITIONS IN WHICH THE WORK OF THIS SECTION IS TO BE PERFORMED.
- C. REPORT, IN WRITING, TO THE ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK OF THIS SECTION. DO NOT COMMENCE WORK UNTIL ANY AND ALL SUCH CONDITIONS HAVE BEEN CORRECTED BY THE TRADE OR TRADES RESPONSIBLE.
- D. FAILURE TO NOTIFY THE ARCHITECT OF UNSATISFACTORY CONDITIONS WILL BE CONSIDERED AS AN ACCEPTANCE OF ALL CONDITIONS.
- E. THE EXECUTION OF THE WORK OF THIS SECTION CONSTITUTES ACCEPTANCE OF THE BASE OR ADJOINING WORK AND OTHER CONDITIONS AS BEING SATISFACTORY IN EVERY RESPECT AT LATER CLAIMS OR DEFECTS IN SUCH CASES WILL NOT BE ALLOWED.
- F. THE DRAWINGS INDICATE AND THE SPECIFICATIONS DESCRIBE THE GENERAL ARRANGEMENT AND THE APPROXIMATE LOCATION OF EQUIPMENT, FIXTURES, PIPING, ETC. EXACT LOCATIONS WILL BE DETERMINED BY THE ARCHITECT.
- G. THE CONTRACTOR SHALL, WITHOUT EXTRA COST TO THE OWNER, MAKE ALL REASONABLE MODIFICATIONS AS APPROVED BY THE ARCHITECT IN THE WORK AS MAY BE REQUIRED TO PREVENT CONFLICT WITH THE WORK OF THE OTHER TRADES, OR FOR THE PROPER INSTALLATION OF THE WORK.

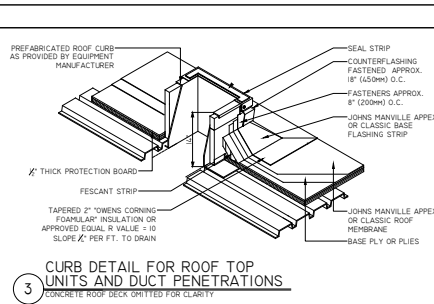
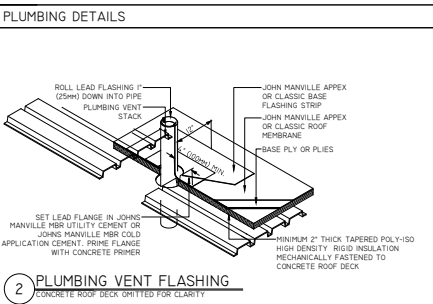
1.03 SHOP DRAWINGS AND SAMPLES

- A. SUBMIT SHOP DRAWINGS AND SAMPLES WITH ALL DETAILS AND INFORMATION AS REQUIRED FOR THE WORK OF THIS SECTION AND IN ACCORDANCE WITH GENERAL CONDITIONS OR AS REQUESTED BY THE ARCHITECT OR ENGINEER.
- B. SUBMIT FOR APPROVAL, SAMPLES OR MATERIALS, AFFIDAVITS, CERTIFICATES, ETC. AS REQUIRED BY THE GENERAL CONDITIONS OR AS REQUESTED BY THE ARCHITECT OR ENGINEER.
- C. SUBMIT FOR APPROVAL, SHOP DRAWINGS AND CATALOG CUTS OF THE FOLLOWING:
1. PLUMBING FIXTURE.
 2. VALVES.
 3. PIPE AND FITTINGS.
 4. HANGERS.
 5. INSULATION.
- 1.04 AS-BUILT DRAWINGS**
- A. PREPARE AND SUBMIT "AS-BUILT" DRAWINGS IN ACCORDANCE WITH THE BUILDING ALTERATION AGREEMENT.
- 1.05 TESTING**
- A. THE PLUMBING SYSTEMS SHALL BE INSPECTED AND TESTED IN ACCORDANCE WITH REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE.
- 1.06 CLEANING**
- A. ALL PIPING, FIXTURES, EQUIPMENT, ETC., INSTALLED UNDER THIS CONTRACT SHALL BE THOROUGHLY CLEANED AND PROTECTED DURING CONSTRUCTION AND PUT INTO FIRST-CLASS OPERATING CONDITION BEFORE BEING OFFERED FOR ACCEPTANCE.
- B. UPON COMPLETION OF ALL WORK, THE PLUMBING FIXTURES, SINKS AND TRIM AND LEAVE ALL ITEMS READY FOR USE BY THE OWNER.

1 PLUMBING RISER DIAGRAM (TYP.)
SCALE: 3/16" = 1'-0"

PLUMBING RISER LEGEND

	DENOTES SINGLE LAVATORY
	DENOTES SINGLE SERVICE SINK
	DENOTES WATER CLOSET
	DENOTES FLOOR DRAIN
	DENOTES ROOF DRAIN
	DENOTES DISHWASHER
	DENOTES DISHWASHER



STUDIO GALLOS

171 MAUER STREET 1ST FL. BROOKLYN, NEW YORK 11201
TEL: 718.458.1518
EMAIL: OFFICE@STUDIOTALLOS.COM

THE ARCHITECT / DESIGNER SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, DEVIATIONS, TECHNIQUES, SEQUENCES, PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OF OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALWAYS USE DIMENSIONS AS SHOWN. DIMENSIONS ARE NOT TO BE SCALED.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWING. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT.

REVISIONS:

NO.	DATE	DESCRIPTION

PROFESSIONAL SEAL:

CONSULTANT:

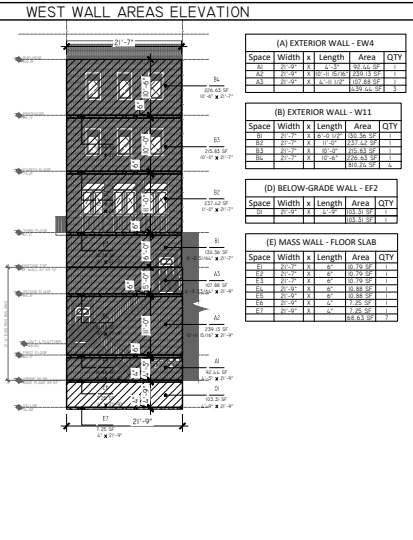
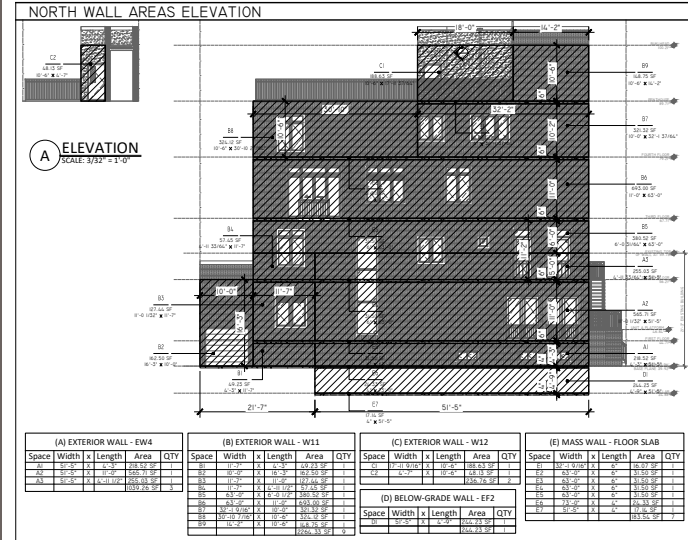
PROJECT TITLE:

645 MARCY AVENUE
BROOKLYN, NEW YORK 11206

JOB APPLICATION NO.:
321779063

DRAWING TITLE:
PLUMBING RISER DIAGRAM, DETAILS AND NOTES

SCALE: AS SHOWN
DESIGNED: O.G.
DATE: 08/08/2018
DRAWING NO.:
A-502.00
SHEET: 18-122 OF 35



WALL AREAS CALCULATION

NOTES:
 1) CLOZ.1 MAXIMUM AREA
 2) THE VERTICAL PENETRATION AREA (NOT INCLUDING OPaque DOORS AND OPaque SPANDREL PANELS) SHALL NOT BE GREATER THAN 30 PERCENT OF THE GROSS ABOVE-GRADE WALL AREA. THE SKYLIGHT AREA SHALL NOT BE GREATER THAN 3 PERCENT OF THE GROSS ROOF AREA.
 3) REFER TO DOOR WINDOW AND HARDWARE SCHEDULE FOR FURTHER INFORMATION AND DETAILS.
 4) *NO SYSTEM COMMISSIONING REQUIRED AS PER CLOZ.1*

NORTH ELEVATION			ABOVE GRADE GROSS WALL AREA		
WALL	WALL TYPE	GROSS AREA (SF)	ELEVATION	GROSS AREA (SF)	
(A) EXTERIOR WALL	EW4	1,039.76	NORTH ELEVATION	3,958.12	
(B) EXTERIOR WALL	W11	2,264.33	EAST ELEVATION	1,421.62	
(C) EXTERIOR WALL	W12	236.76	SOUTH ELEVATION	3,916.55	
(D) BELOW-GRADE WALL	EF2	244.23	WEST ELEVATION	1,482.49	
(E) MASS WALL	FLOOR SLAB	183.54	TOTAL GROSS WALL AREA	10,788.78	
TOTAL GROSS AREA		3,968.12	ALLOWABLE PENETRATION AS PER CLOZ.4.1		
TOTAL GROSS AREA		3,968.12	GROSS WALL AREA (SF)		
TOTAL GROSS AREA		3,968.12	10,788.78		
TOTAL GROSS AREA		3,968.12	ALLOWABLE PENETRATION		
TOTAL GROSS AREA		3,968.12	3,236.63		

