

ANTHONY HELLER - PORTFOLIO

410 WEST 53RD STREET 631 NEW YORK NEW YORK 10019

ARCHICIZE @ ICLOUD . COM

+1 347 225 3350

SKILLS

AUTOCAD
ADOBE CREATIVE SUITE
SKETCHUP
3DSTUDIO
REVIT
FF&E

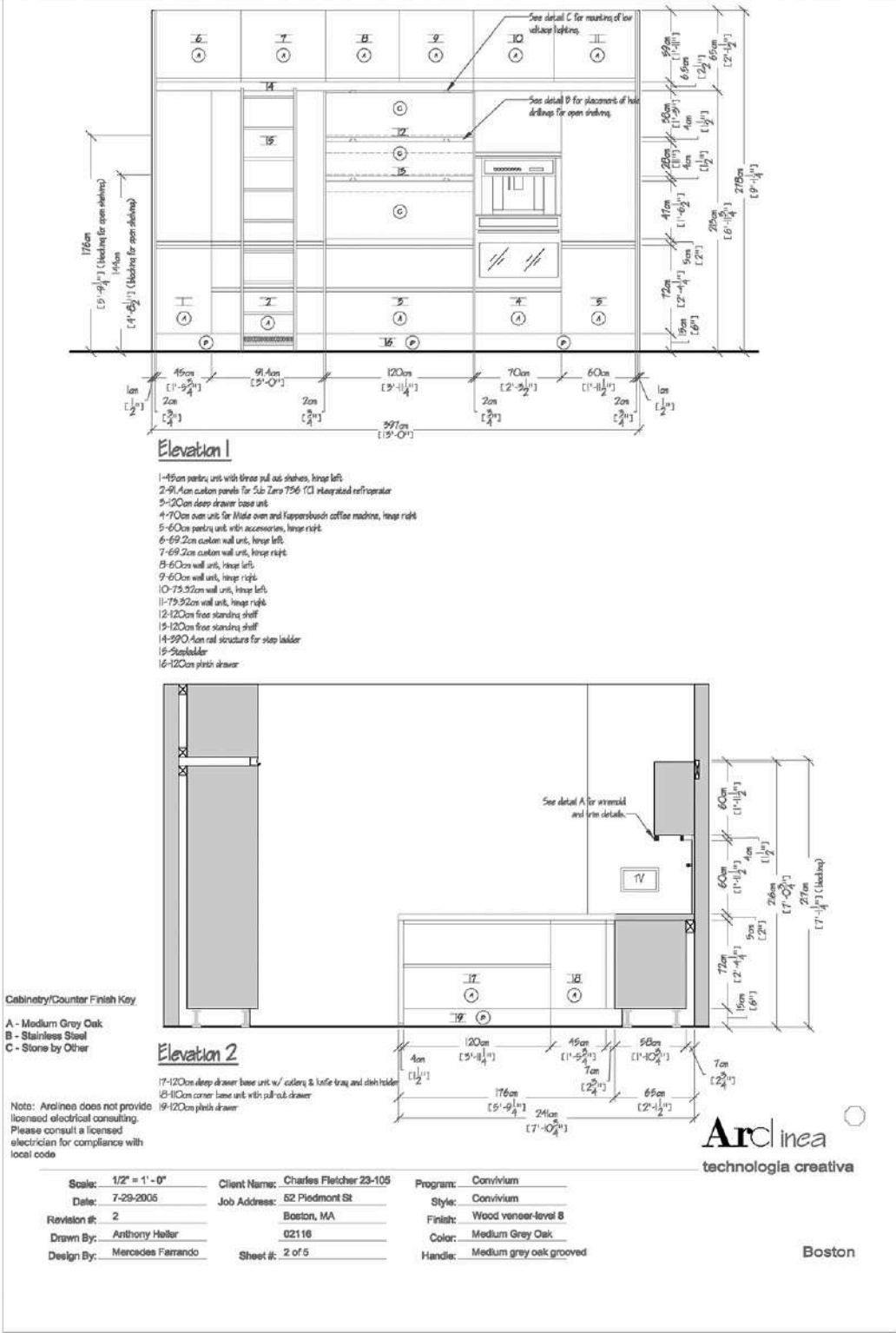
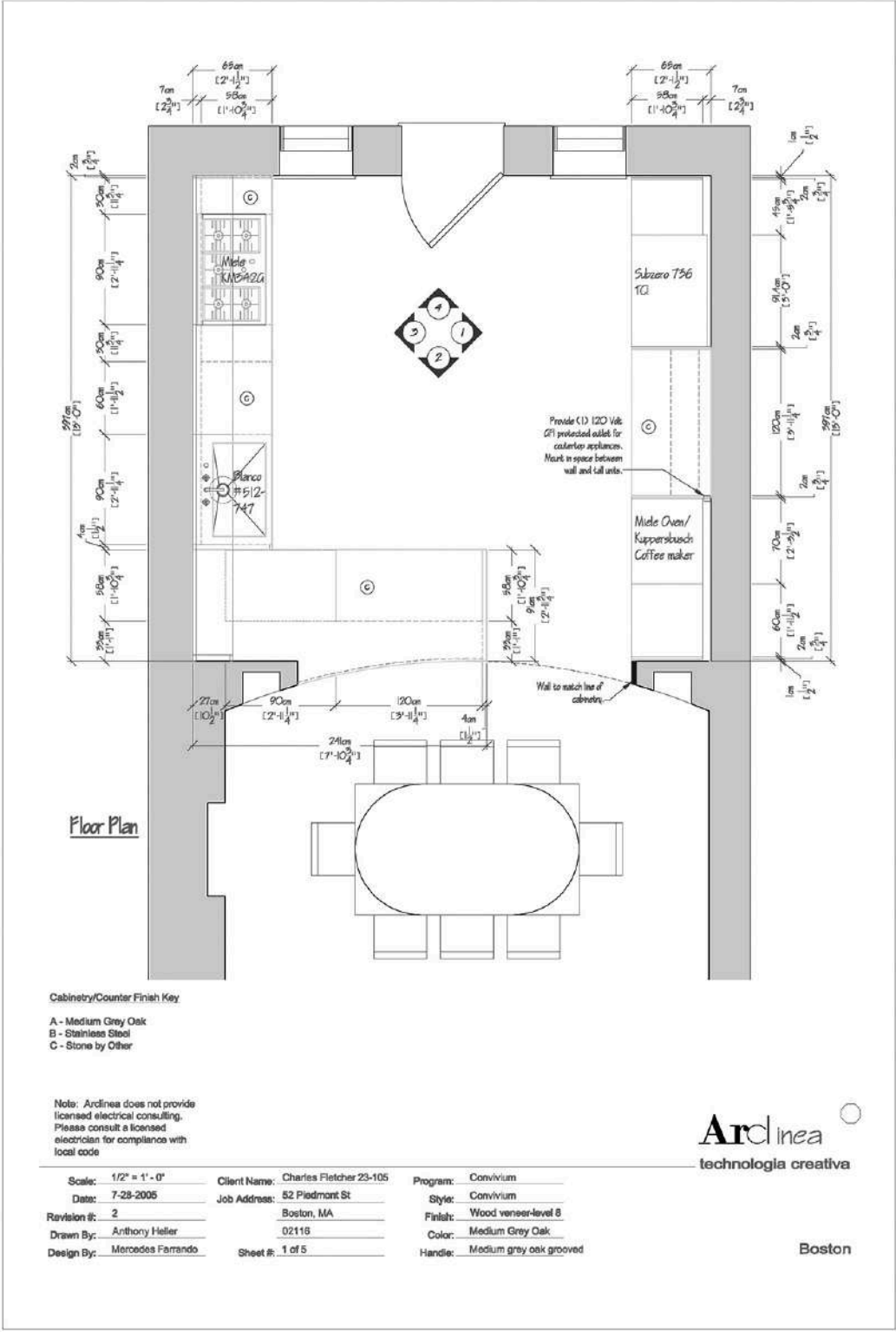
SCHEMATIC DESIGN / DESIGN DEVELOPMENT
CONSTRUCTION DOCUMENTATION
PROJECT MANAGEMENT AND COORDINATION/CA - SITE VISITATION
NYC DOB, LPC
NATIONAL BI-COASTAL AND INTERNATIONAL DESIGN EXPERIENCE
HIGH-END RESIDENTIAL, BESPOKE HOSPITALITY, RETAIL

CONTENTS

ARCLINEA BOSTON LUXURY ITALIAN KITCHENS
PENTHOUSE EAST 57TH STREET MANHATTAN
UPPER EAST SIDE TOWNHOUSE
WEST VILLAGE TOWNHOUSE
BEEKMAN PLACE TOWNHOUSE
HONG KONG PRIVATE CLUB/SPA
LUXURY APARTMENT - SAN REMO BUILDING
TOKYO MULTI FAMILY NEW CONSTRUCTION
CUSTOM RESIDENCE EAST HAMPTON NEW YORK
HOLBROOK HOUSE BAR/RESTAURANT, SAN FRANCISCO

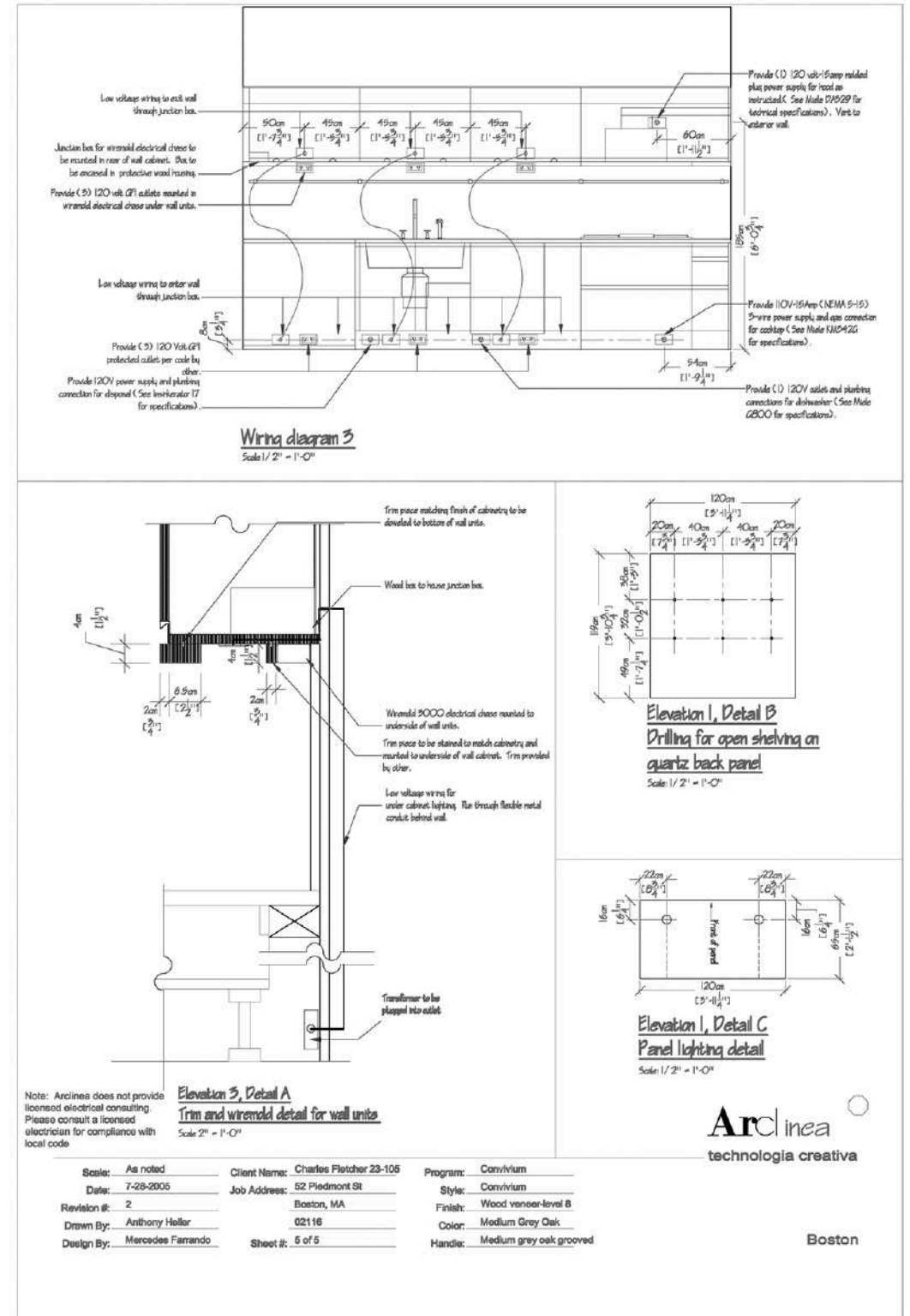
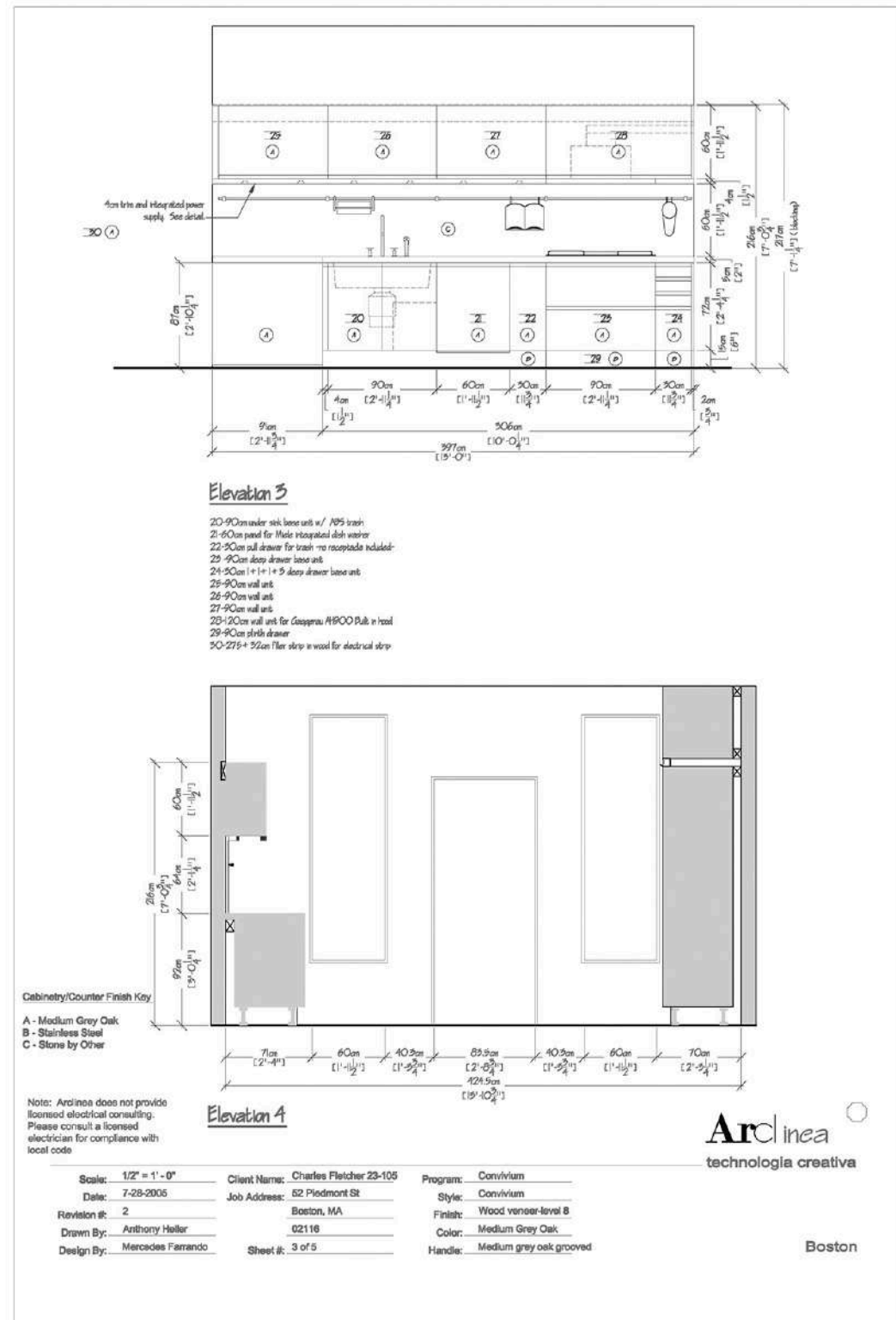
ARCLINEA BOSTON LUXURY ITALIAN KITCHENS

CUSTOM LUXURY HIGH END ITALIAN KITCHENS
KITCHEN SYSTEM DESIGNED BY ITALIAN ARCHITECT/INDUSTRIAL DESIGNER ANTONIO CITTERIO
BESPOKE KITCHENS FOR SINGLE FAMILY AND MULTI FAMILY RESIDENTIAL PROJECTS
COLLABORATE WITH NOTABLE DESIGNERS AND ARCHITECTS LIKE PHILIPPE STARCK AND RICHARD MEIER
CLIENT CONSULTATIONS, SITE VISITATIONS
COLLABORATE WITH ARCHITECTS FOR KITCHEN DESIGN, PLANNING AND INSTALLATION
FINISH AND FIXTURE SELECTIONS, STONE SELECTION
CUSTOM DESIGN BASED ON SELECTED KITCHEN SYSTEM
COORDINATE PROJECTS WITH ARCHITECTS, GC'S, INSTALLERS AND IMPORTERS
CUSTOM DETAILING, LIGHTING AND MILLWORK
KITCHEN SPECIFIC TECHNICAL DRAWINGS FOR CUSTOM LIGHTING, POWER AND MILLWORK



• ARCLINEA KITCHENS

ANTHONY HELLER - PORTFOLIO



- ARCLINEA KITCHENS

PENTHOUSE EAST 57TH STREET MANHATTAN

BUILDOUT OF UNFINISHED PENTHOUSE SPACE AND SURROUNDING TERRACE IN NEWLY RENOVATED BUILDING
PIED-À-TERRE FOR LONDON BASED CLIENT IN NEW YORK CITY
EARLY SCHEMATIC DESIGN SCHEMES
FLOOR PLANS, ELEVATIONS, KITCHEN, BATH AND MILLWORK DESIGN
3D DESIGN MASSING MODELS
SITE VISITATION AND SURVEY
COLLABOATE WITH INTERIOR DECORATORS AND DESIGNERS, FURNITURE SALES

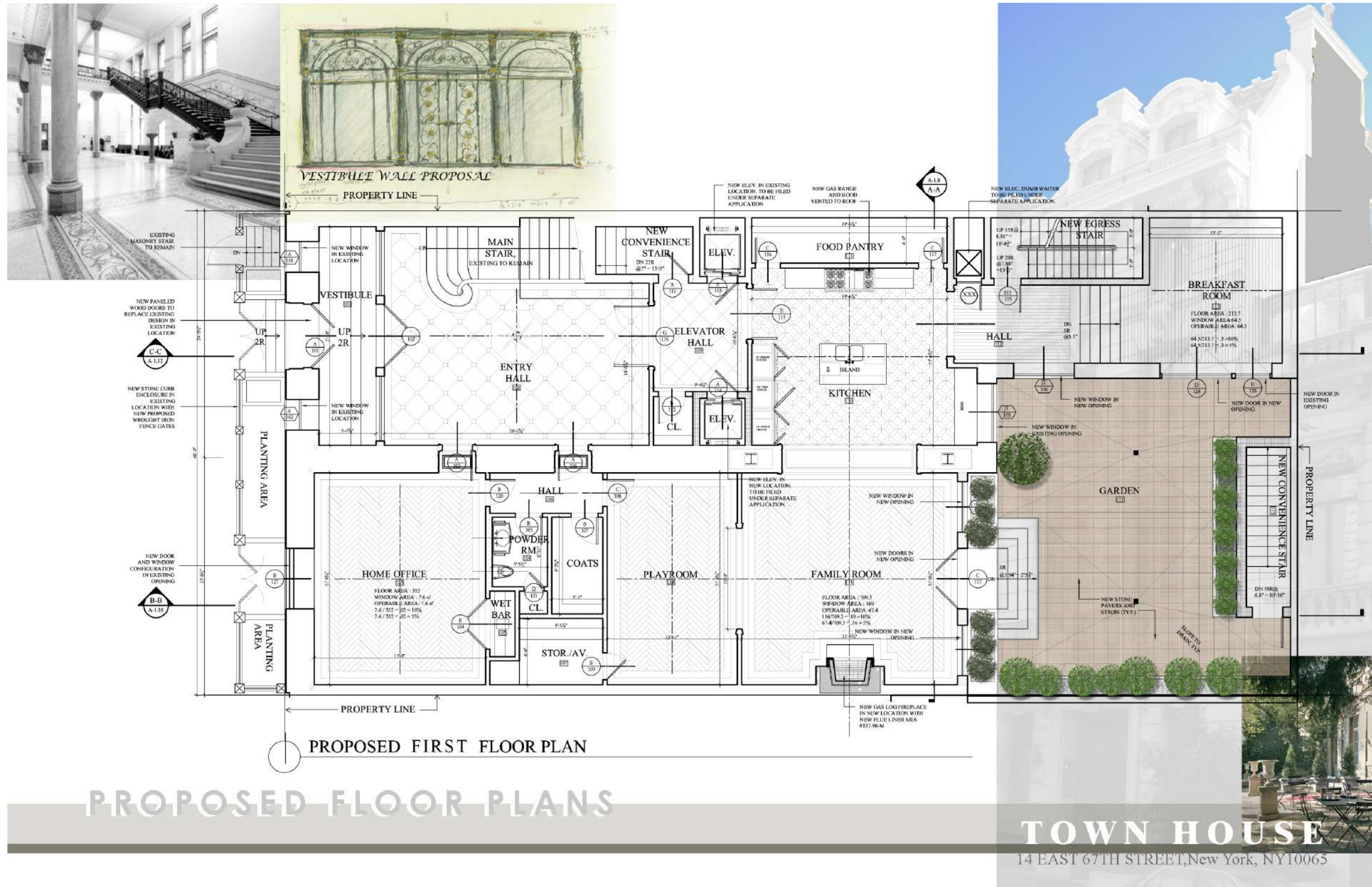


- PENTHOUSE EAST 57TH STREET MANHATTAN

ANTHONY HELLER - PORTFOLIO

UPPER EAST SIDE TOWNHOUSE

18TH CENTURY FRENCH HISTORICAL REFERENCES
DESIGN CONCEPTS
RENDERINGS - 3D, 2D
SD AND DESIGN DEVELOPMENT FOR INTERIORS
NEW ADDITION AT PENTHOUSE
FLOOR PLAN, SECTION, INTERIOR ELEVATION DEVELOPMENT
COORDINATION WITH DOB, LPC
CLIENT PRESENTATION AND FEEDBACK
CUSTOM INTERIOR DETAILS AND CAST IRON SECURITY GATE
SITE VISITS AND SURVEY - COORDINATION WITH GC, LPC



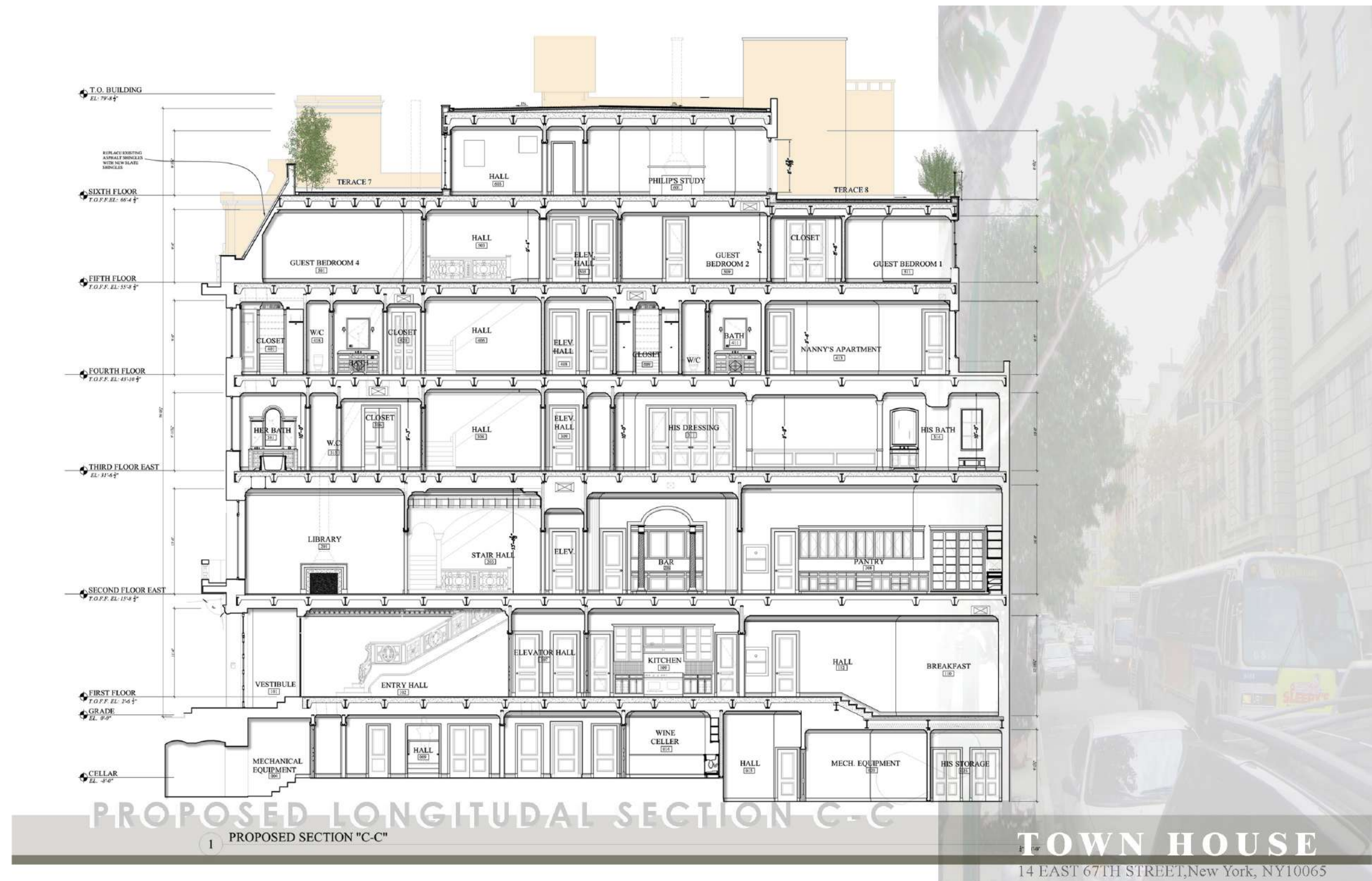
- UPPER EAST SIDE TOWNHOUSE

ANTHONY HELLER - PORTFOLIO



- UPPER EAST SIDE TOWNHOUSE

ANTHONY HELLER - PORTFOLIO



- UPPER EAST SIDE TOWNHOUSE

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- UPPER EAST SIDE TOWNHOUSE

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- UPPER EAST SIDE TOWNHOUSE

ANTHONY HELLER - PORTFOLIO

WEST VILLAGE TOWNHOUSE

HISTORIC TOWNHOUSE IN LANDMARKED MANHATTAN NEIGHBORHOOD
SD AND DESIGN DEVELOPMENT FOR INTERIORS
FURNITURE LAYOUTS, SELECTIONS
CD SET FOR DOB PERMITS, GC SUBMISSION, LPC
NEW WINDOWS AND EXTERIOR FACADE REPAIRS
FLOOR PLAN, SECTION, INTERIOR ELEVATION DEVELOPMENT
CUSTOM MILLWORK AND BUILT-INS
COORDINATION WITH DOB, LPC

50 Warren Street New York 10007
t: 212 587 1108 f: 212 385 2932
e: stevenharrisarchitects.com

A 5' end of the 10000 bp region

B 5' end of the 10000 bp region

C 5' end of the 10000 bp region

D 5' end of the 10000 bp region

E 5' end of the 10000 bp region

F 5' end of the 10000 bp region

G 5' end of the 10000 bp region

H 5' end of the 10000 bp region

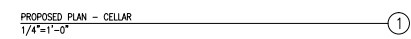
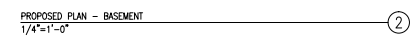
I 5' end of the 10000 bp region

J 5' end of the 10000 bp region

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PROPOSED PLANS

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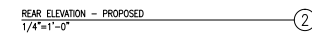


- # ANTHONY HELLER - PORTFOLIO



ANTHONY HELLER - PORTFOLIO

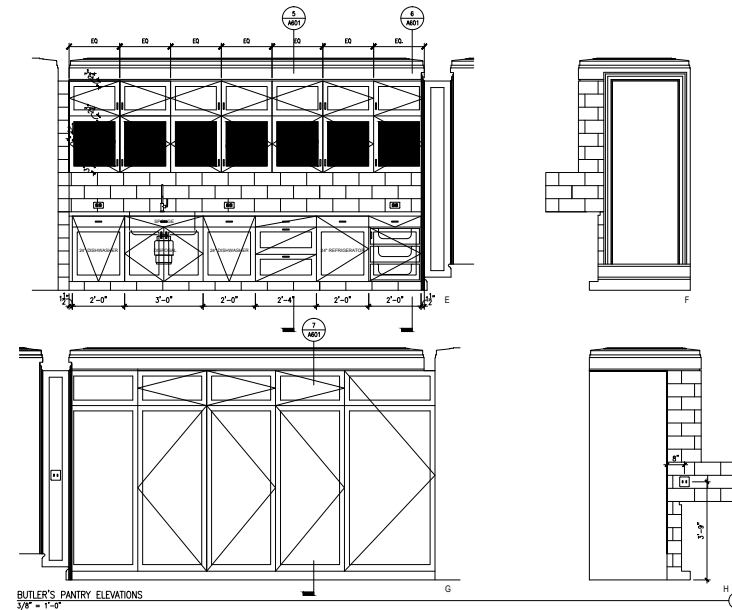
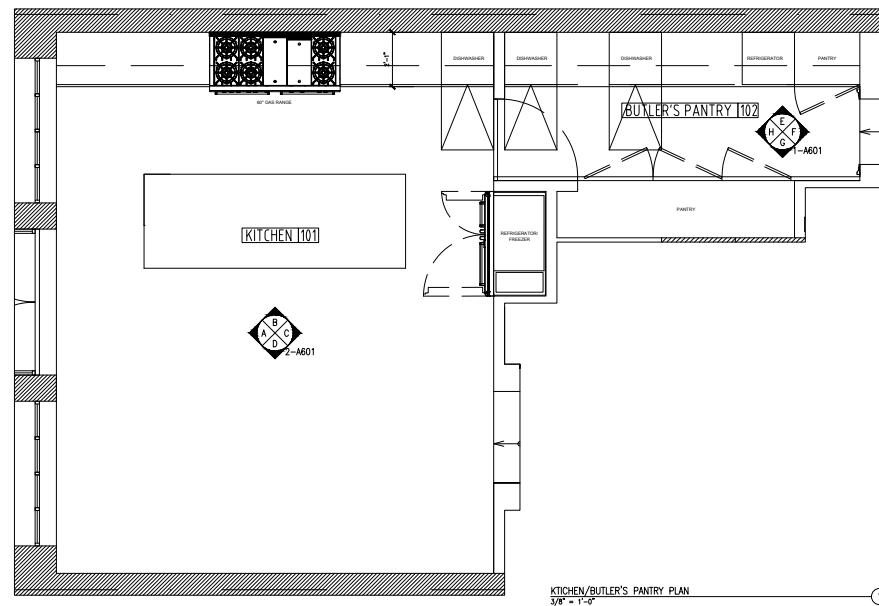
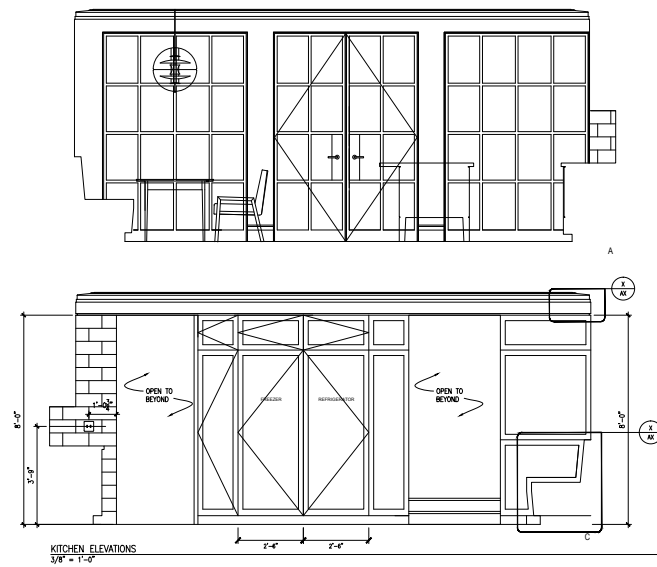
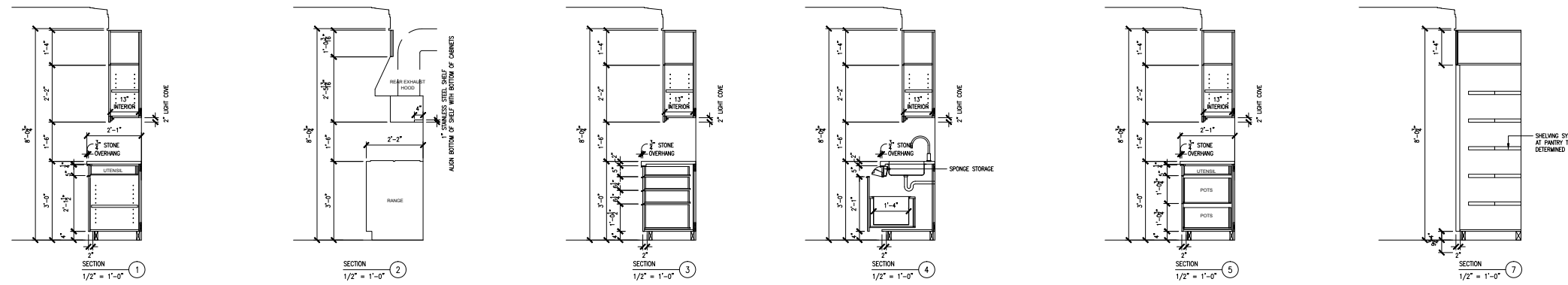
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EXTERIOR ELEVATIONS

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- # ANTHONY HELLER - PORTFOLIO



STEVEN HARRIS
ARCHITECTS

50 Warren Street New York 10007
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e: stevenharrisarchitects.com

CHENG RESIDENCE
15 BANK STREET
NEW YORK, NEW YORK

ISSUES AND REVISIONS

[illegible]

SCALE: AS NOTED
DRAWN BY: A.J.H
CHECKED BY: GSH

TITLE

A601

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- WEST VILLAGE TOWNHOUSE

ANTHONY HELLER - PORTFOLIO



- WEST VILLAGE TOWNHOUSE

ANTHONY HELLER - PORTFOLIO

BEEKMAN PLACE TOWNHOUSE

HISTORIC TOWNHOUSE OVERLOOKING EAST RIVER IN MANHATTAN
SD AND DESIGN DEVELOPMENT FOR INTERIORS WITH NEW ADDITION
NEW ADDITION AND GUT RENOVATION TO EXISTING TOWNHOUSE
SD AND DD DESIGN DRAWINGS
CD SET FOR DOB PERMITS, GC PRICING
NEW TERRACES WITH RIVER VIEWS AND NEW FACADE FACING STREET
FLOOR PLAN, SECTION, INTERIOR ELEVATION DEVELOPMENT
CUSTOM MILLWORK AND BUILT-INS
COORDINATION WITH STRUCTURAL ENGINEER FOR STEEL FRAMING
SUBMITTALS WITH DOB / COORDINATION WITH EXPEDITOR

- A1 - SITE PLAN, DRAWING SCHEDULE, NOTES
- A2 - NOTES
- A3 - SQUARE FOOTAGE CALCULATIONS
- A4 - EXISTING CONDITIONS PLANS AND DEMOLITION
- A5 - FLOOR PLANS
- A6 - FLOOR PLANS
- A7 - ROOF AND BULKHEAD PLANS
- A8 - BUILDING SECTIONS
- A9 - BUILDING ELEVATIONS
- A10 - DETAILS
- A11 - WALL TYPES & DETAILS
- A12 - SCHEDULES
- A-13 - STAIR DETAILS

S1 - STRUCTURAL PLANS
S2 - STRUCTURAL PLANS
S3 - SECTIONS, COLUMN SCHEDULE, DETAILS, NOTES

ZONING
Lot Area: 20'-5" X 100' = 2041.6 SF
23-145
Max Lot Coverage: .80
Max Floor Area Ratio: 4.00
Max Allow. Sq. Ft.:
 $2041.6 \times 4.00 = 8166.4$

FLOOR	EXISTING FA	PROPOSED SF	TOTAL FA	MECHANICAL FLOOR AREA DEDUCTION	NET ZONING FLOOR AREA
CELLAR	954	0	954	-	
FIRST FLOOR	1837.7	0	1837.7	-49.07	1788.63
SECOND FLOOR	1837.4	0	1837.4	-66.34	1771.06
THIRD FLOOR	934.9	159.31	1094.21	-36.53	1057.68
FOURTH FLOOR	934.4	432.5	1366.9	-6.68	1360.22
FIFTH FLOOR	938.4	432.5	1370.9	-6.68	1364.22
ROOF STRUCTURE	132.25	282.75	415	0	415
ELEV. MACHINE RM.	132.25	0	132.25	-	
TOTAL	7744.8	1678.06	9423.86	-196.28	8149.31

ZONING FA
8149.31 TOTAL SF LESS THAN 8166.4 SF ALLOW. ON

Lot Coverage
Maximum allowable
lot coverage = 80%
Site = 2041.6 SF
Allowable lot coverage:
 $2041.6 \times .80 = 1633.28$ SF
Existing lot coverage = 1845.
(1st & 2nd Fl)

Existing lot coverage = 1845.90 SF
(1st & 2nd Fl)
Proposed lot coverage (Fl. 3,4,5 and
roof) = 1537.40 < 1633.28 Allow.
OK

23-32
Min Lot area 1,700 sq ft OK
Min Lot width 18 ft OK

23-45
Min req. front yard N/

23-462
 Min. neg. ciclo scuola O

Min of 8 if provided
e of non-compliance.

20>1 unit proposed OK

Chapter 8 Quality housing
N/A single or two family dwellings

Density
R8B 102 sq ft of lot area per unit
 $2041.6/102=20$ units permitted

Chapter 8 Quality housing
N/A, single or two family dwelling

1. The Contractor shall not see drawings to obtain dimensions but shall verify all existing conditions and dimensions at the job site and shall advise the Architect of any discrepancies.
2. All dimensions are from finish face to finish face unless otherwise noted or shown.
3. Contractor shall maintain a complete and current set of working drawings, construction sketches, and subcontractor shop drawings at the job site at all times.
4. Where the alterations occur, on new and old work join, the immediate surfaces, ceilings, walls and all finish trim shall be cut, removed, patched, repaired, or refurbished and left in as good a condition as existed prior to the commencement of work.
5. Minor details not usually shown or specified yet necessary for proper construction of any part of the work shall be included in the work and the agreed cost of the work as if they were indicated in the drawings.
6. All work shall be done in a first-class workmanlike manner by mechanics skilled in their respective trades.
7. The contractor shall comply with all rules and regulations of the building owner and all city, state, and federal regulatory agencies having jurisdiction over the work.
8. The contractor shall contract the building management to be advised of the rules of the building with respect to construction, when and how deliveries and/or removals can be made on regular or over-time, and, in general, any building requirements which will affect their work.
9. The contractor shall submit to the designer all fabrication shop drawings and fixture cuts for review.
10. The contractor shall furnish a system of temporary lights and water throughout the space under construction, if required.
11. The contractor shall remove from the building all rubbish and waste materials for its or subcontractors' work.
12. All work shall conform to the requirements of the New York City Building Code, Fire Department regulations, utility company requirements, and the best trade practices.
13. Before commencing work, the Contractor shall file all required Certificates of Insurance with the Department of Buildings, obtain all required permits, and pay all fees required by governing New York City agencies. A copy of the current building permit shall be posted in accordance with the Department of Building Regulations.
14. The Contractor shall be responsible for the protection of all conditions and materials within the proposed construction area. The Contractor shall design and install adequate shoring and bracing for all structural or removal tasks. The Contractor shall have sole responsibility for any damage or injuries caused by or during the execution of the work.
15. Plumbing and electrical work shall be performed by persons licensed in their trades, who shall arrange for and obtain inspections and required sign-offs.
16. The Contractor, upon completion of the work, shall arrange for Department of Buildings inspections and sign-offs as required.
17. An approved set of drawings, approved by the New York City Department of Buildings shall be kept at the site at all times.
18. The contractor shall file all necessary Certificates of Insurance with the Department of Buildings, pay all fees, obtain all permits and provide any and all bonds required by any city agency in order to do the work herein described.

19. All mechanical, plumbing, and any required sprinkler work to be filed separately.

Construction Classification

1. Existing building: Class 3 - Non-fireproof structures (Old Code)

2. New Construction: Class II-C (New Code), Table 3-4

Minimum required fire-resistance ratings of elements in hours:

2.1 Exterior wall with an exterior separation of 3 ft or less: 2 Hr.








2.2 Exterior wall with a separation of 15 ft. or more but less than 30 ft.: 2 Hr.

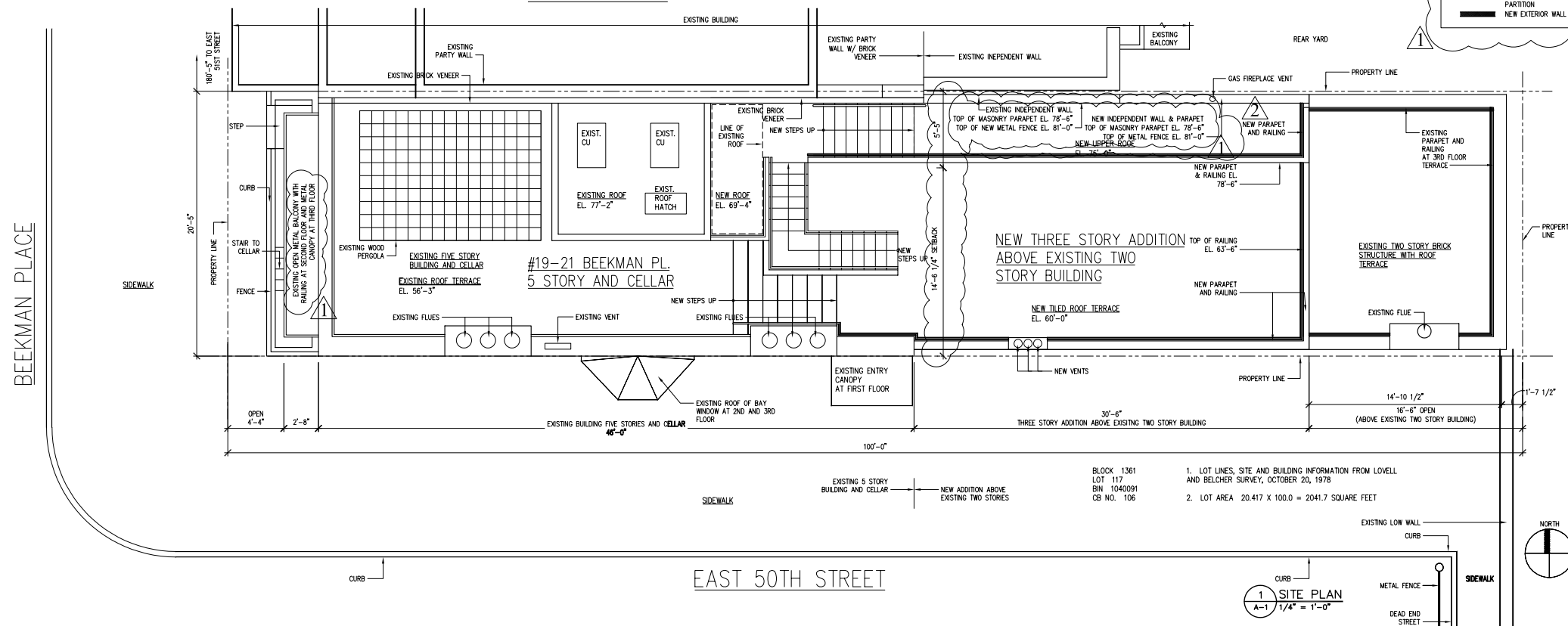
2.3 Exterior wall with an exterior separation of 30 ft or more: Bear Non-Bearing 0 Hr.

2.4 Columns, girders: 0 Hr.

2.5 Floor construction including beams: 0 Hr.

NOTES AND SYMBOLS:
SEE A-11 FOR SCHEDULES

	WALL TYPE
	DOOR NUMBER
	WINDOW TYPE
	NEW MASONRY WALL
	NEW PARAPET W/ RAILING
	NEW INTERIOR PARTITION
	NEW EXTERIOR WALL



DATE: 11-15-2006	
REVISION <u>1</u> 1-10-07	
REVISION <u>2</u> 4-20-07	
DONALD LUCKENBILL ARCHITECT 89 SIMCOE ST OYSTER BAY, NY 11771	

SITE PLAN, DRAWING
SCHEDULE, NOTES

ALTERATIONS TO:
19-21 BEEKMAN PLACE
NEW YORK, NEW YORK

11-15-200

AJH

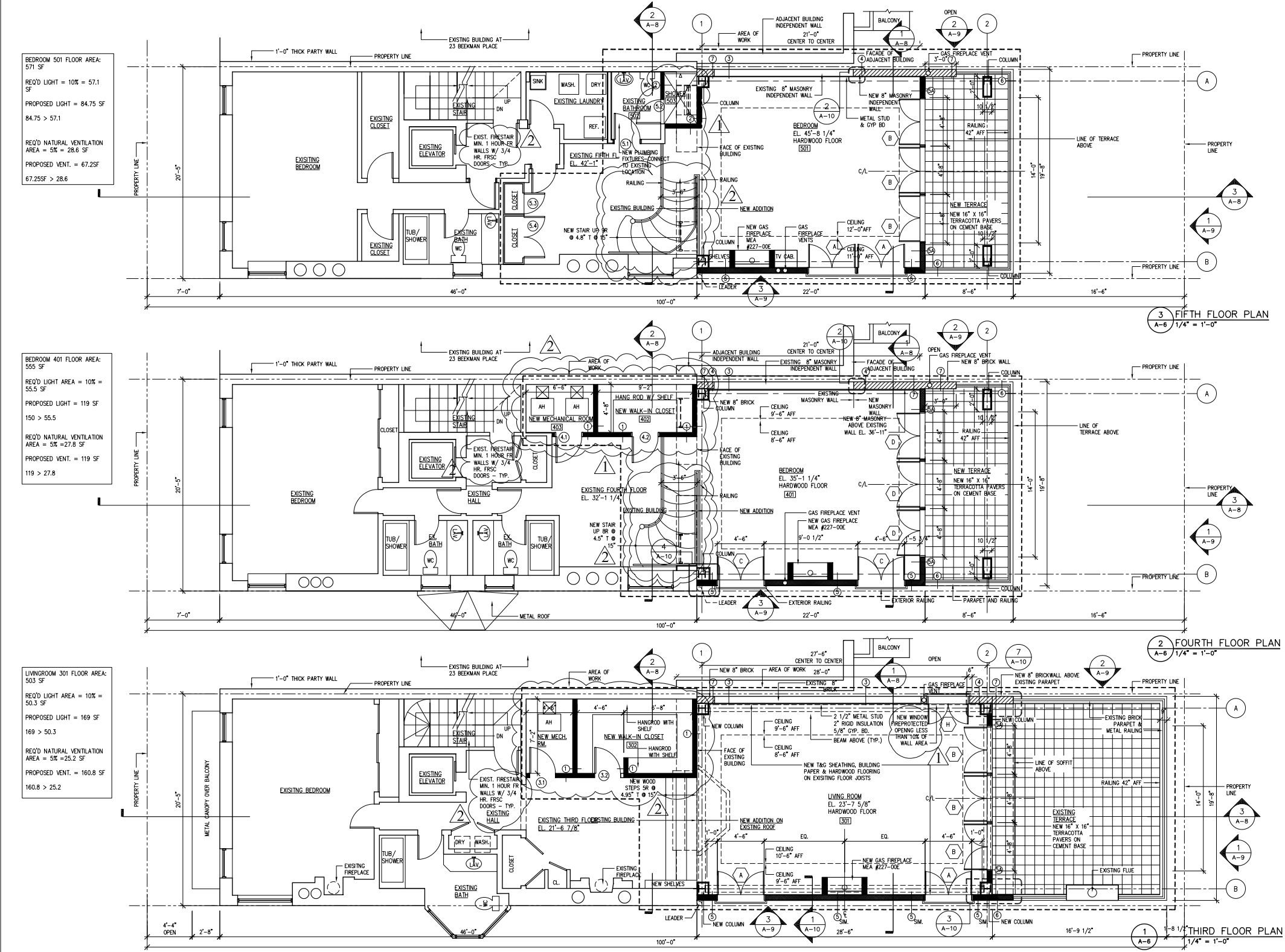
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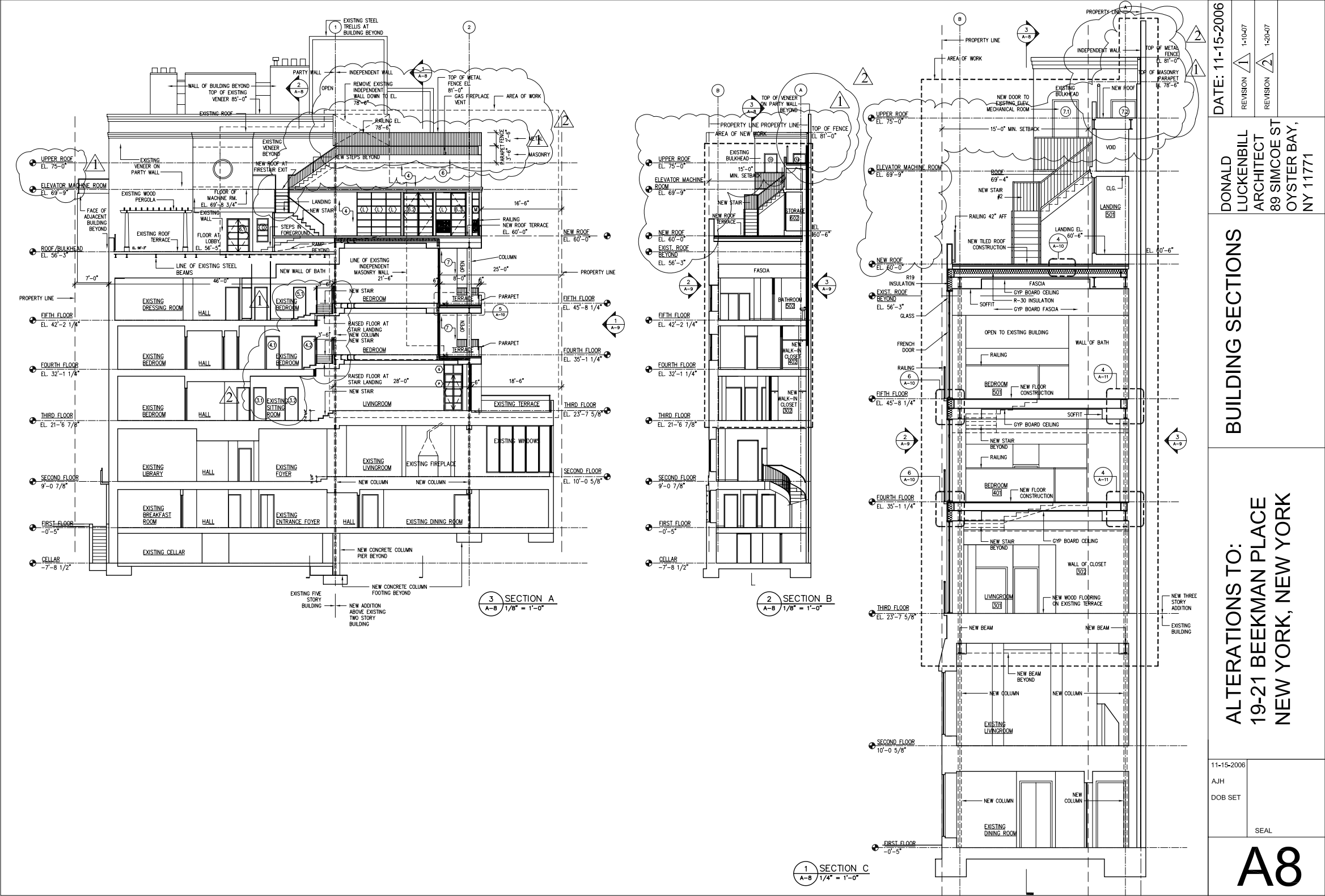
- BEEKMAN PLACE TOWNHOUSE

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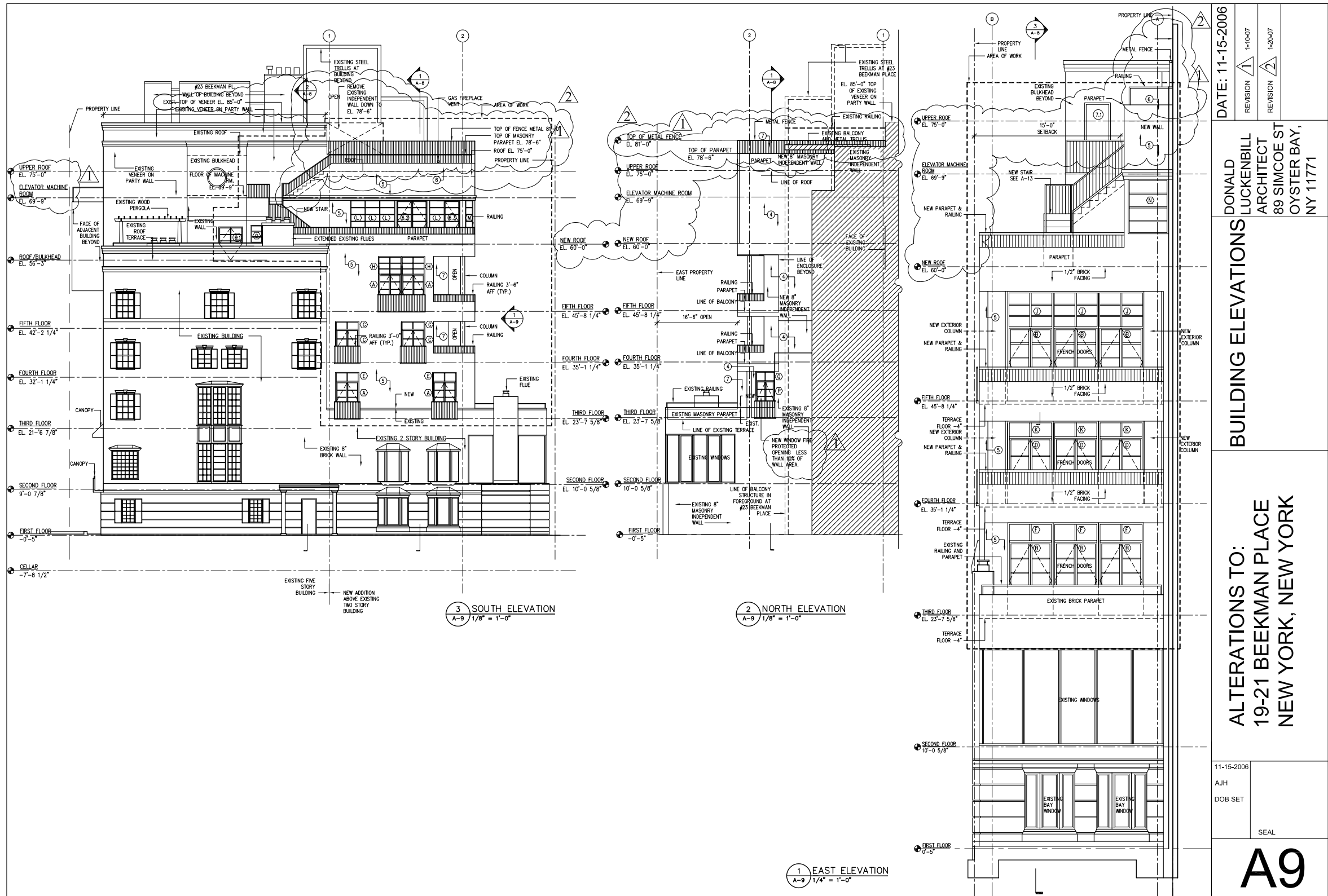


DATE: 11-15-2006	REVISION 1 1-10-07	REVISION 2 1-20-07
DONALD LUCKENBILL ARCHITECT 89 SIMCOE ST OYSTER BAY, NY 11771		
FLOOR PLANS		
ALTERATIONS TO: 19-21 BEEKMAN PLACE NEW YORK, NEW YORK		
11-15-2006 AJH DOB SET	SEAL	
A6		

• BEEKMAN PLACE TOWNHOUSE



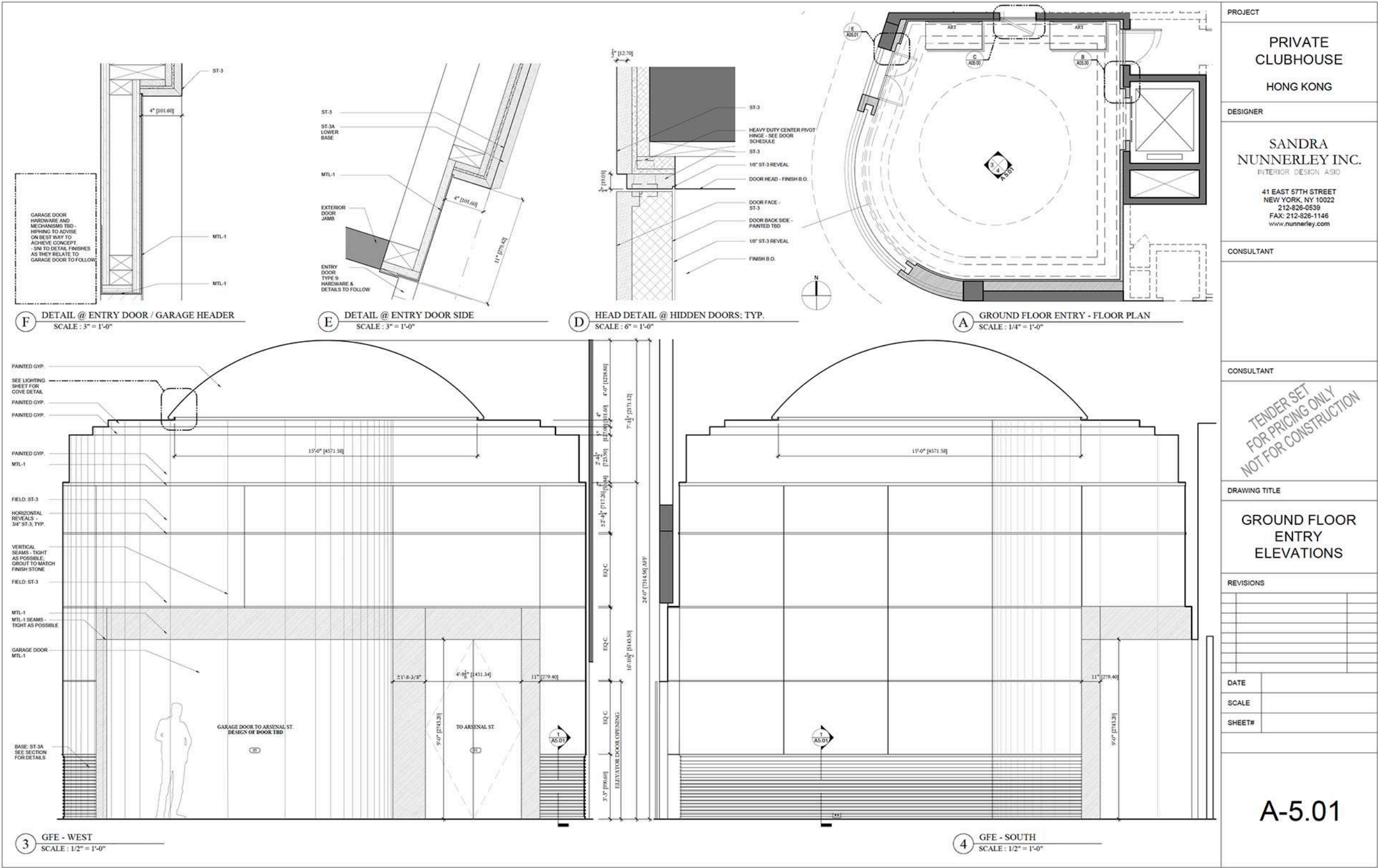
• BEEKMAN PLACE TOWNHOUSE



• BEEKMAN PLACE TOWNHOUSE

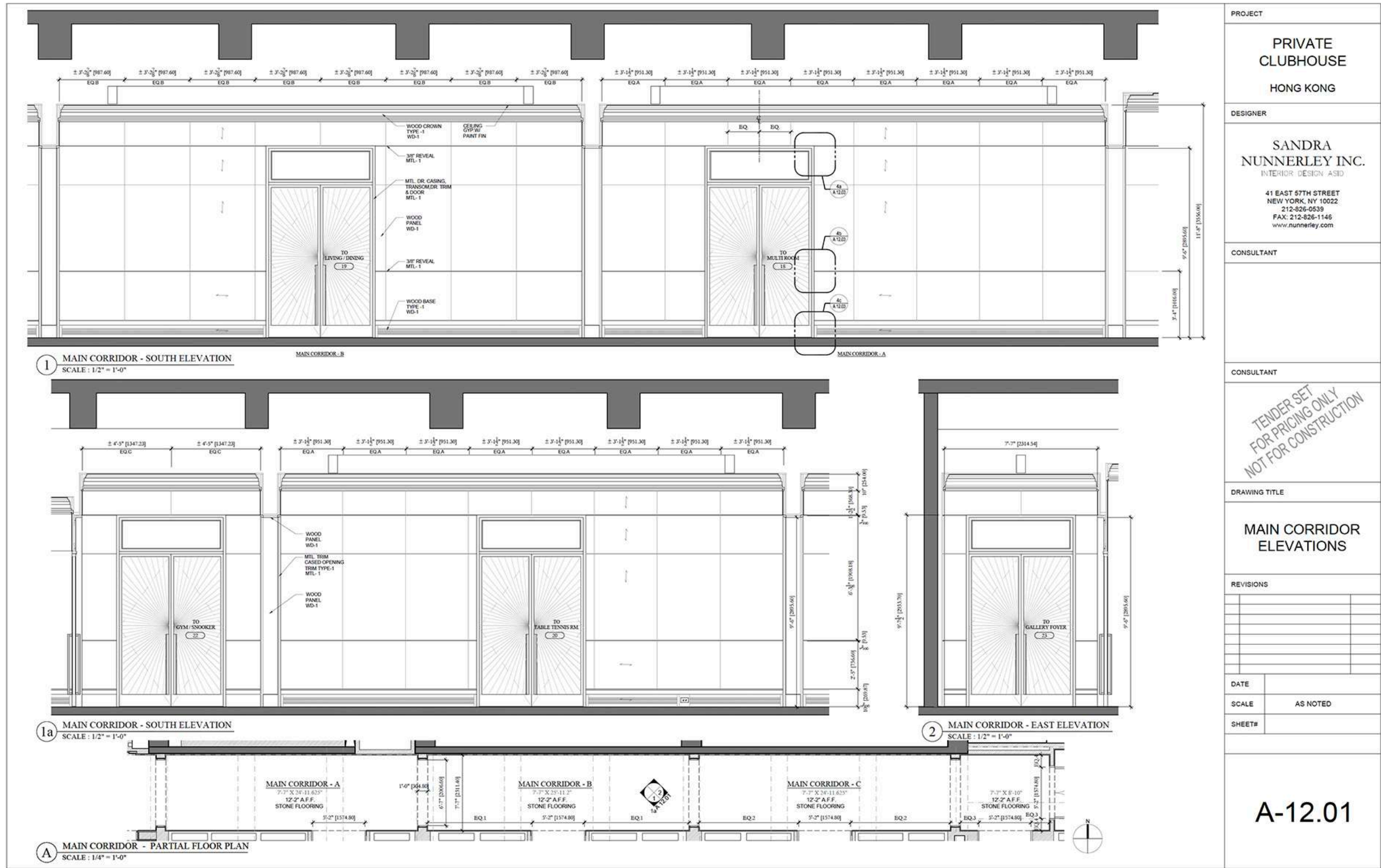
HONK KONG PRIVATE CLUB/SPA

PRIVATE CLUB/SPA WITH MEETING FACILITIES IN EXISTING STRUCTURE IN CENTRAL HONG KONG
SD AND DESIGN DEVELOPMENT TO GUT RENOVATED COMMERCIAL SPACE
DESIGN DEVELOPMENT USING 3D RENDERINGS AS REFERENCE
SD AND DD DESIGN DRAWINGS
CD SET FOR PRICING AND GC SUBMISSION
EXTENSIVE WET SPA FACILITIES WITH LUXURY AMENITIES
RESTAURANT BAR AREA WITH CUSTOM WINE CELLAR
LUXURY MEETING FACILITIES
CUSTOM MILLWORK, DOORS AND BUILT-INS
DESIGN COORDINATION WITH INTERNATIONAL CLIENT



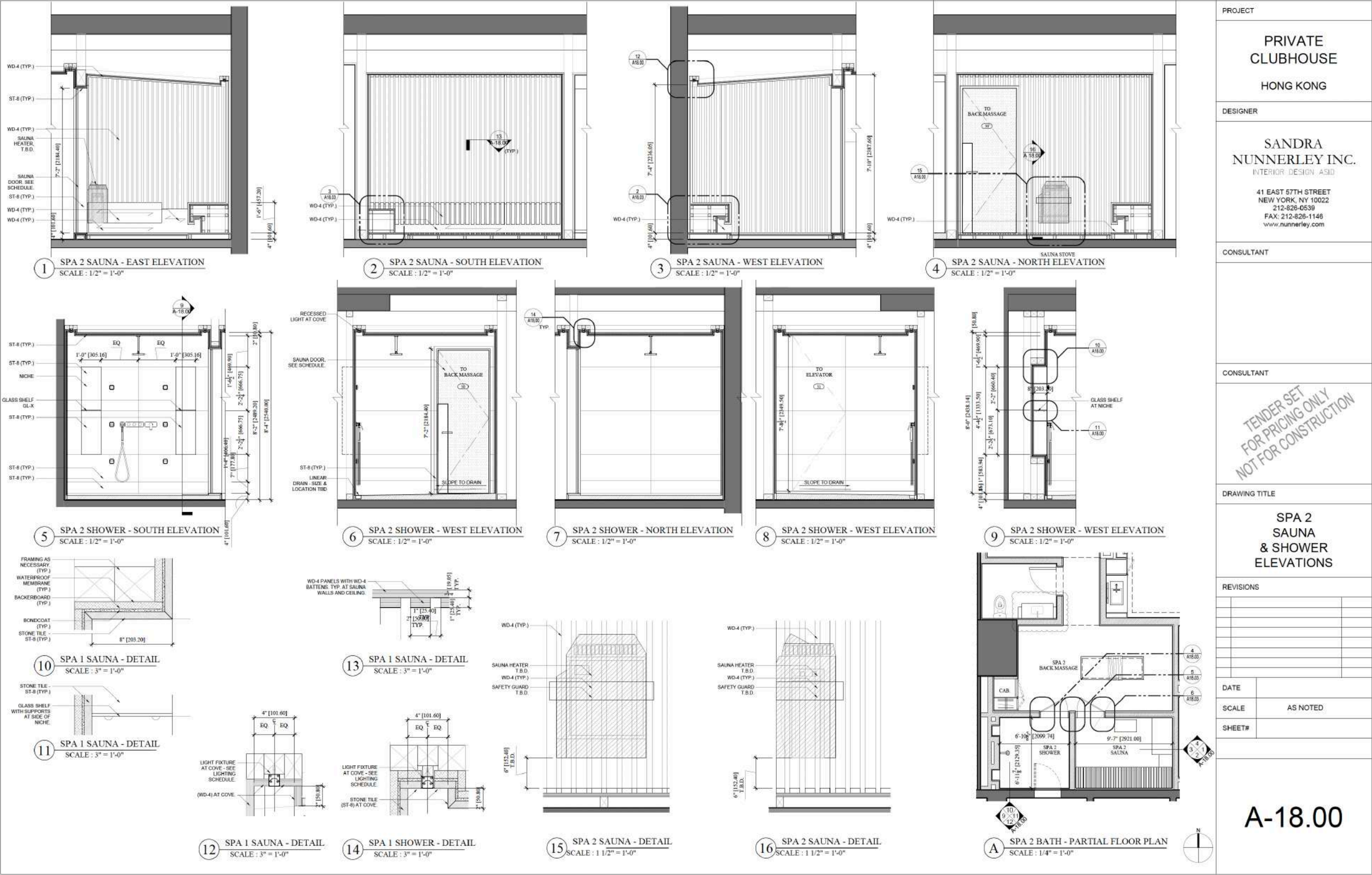
PROJECT	PRIVATE CLUBHOUSE HONG KONG
DESIGNER	SANDRA NUNNERLEY INC. INTERIOR DESIGN ASD 41 EAST 57TH STREET NEW YORK, NY 10022 212-826-0539 FAX: 212-826-1146 www.nunnerley.com
CONSULTANT	
CONSULTANT	TENDER SET FOR PRICING ONLY NOT FOR CONSTRUCTION
DRAWING TITLE	GROUND FLOOR ENTRY ELEVATIONS
REVISIONS	
DATE	
SCALE	
SHEET#	
	A-5.01

• HONG KONG PRIVATE CLUB/SPA



• HONG KONG PRIVATE CLUB/SPA

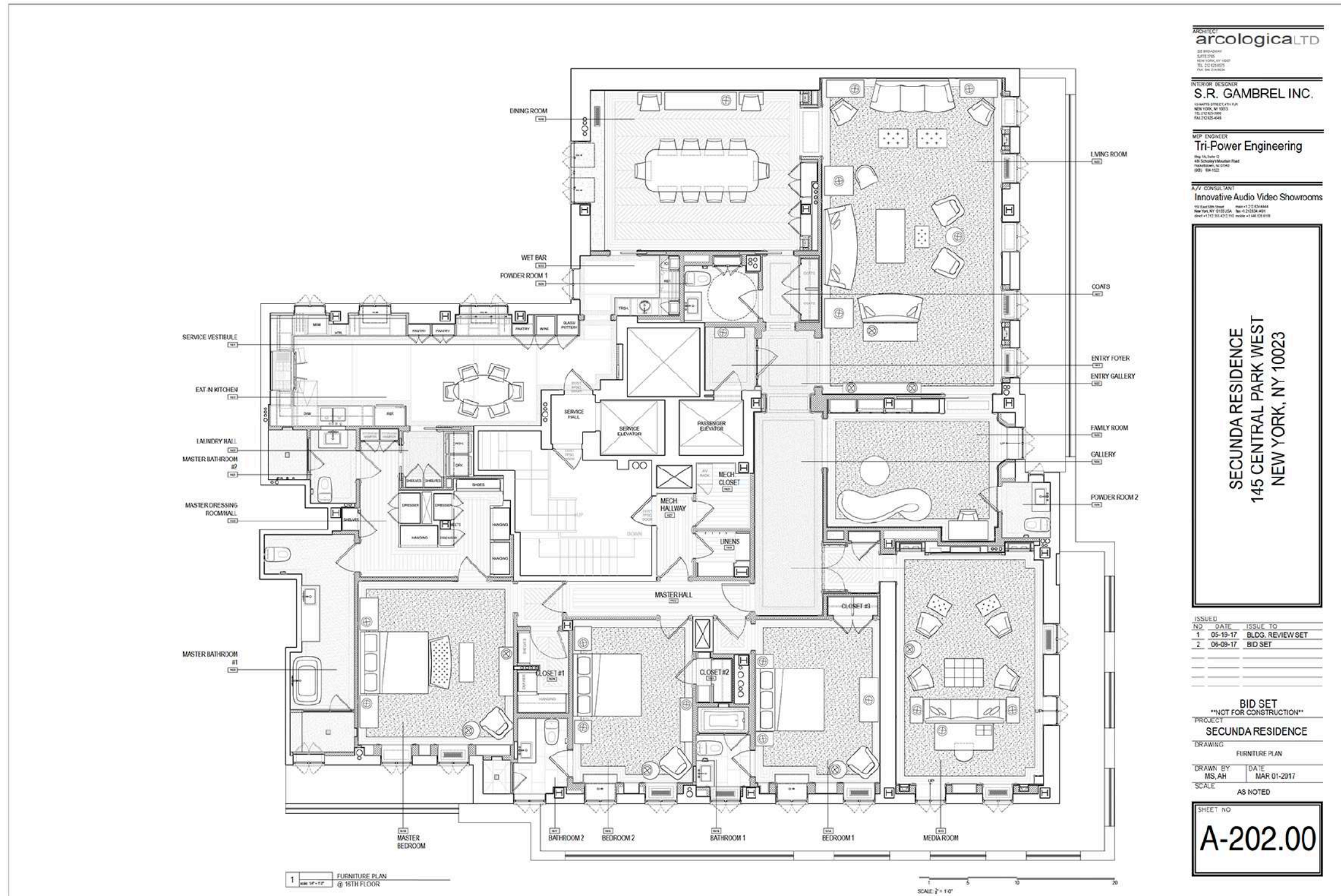
ANTHONY HELLER - PORTFOLIO



• HONG KONG PRIVATE CLUB/SPA

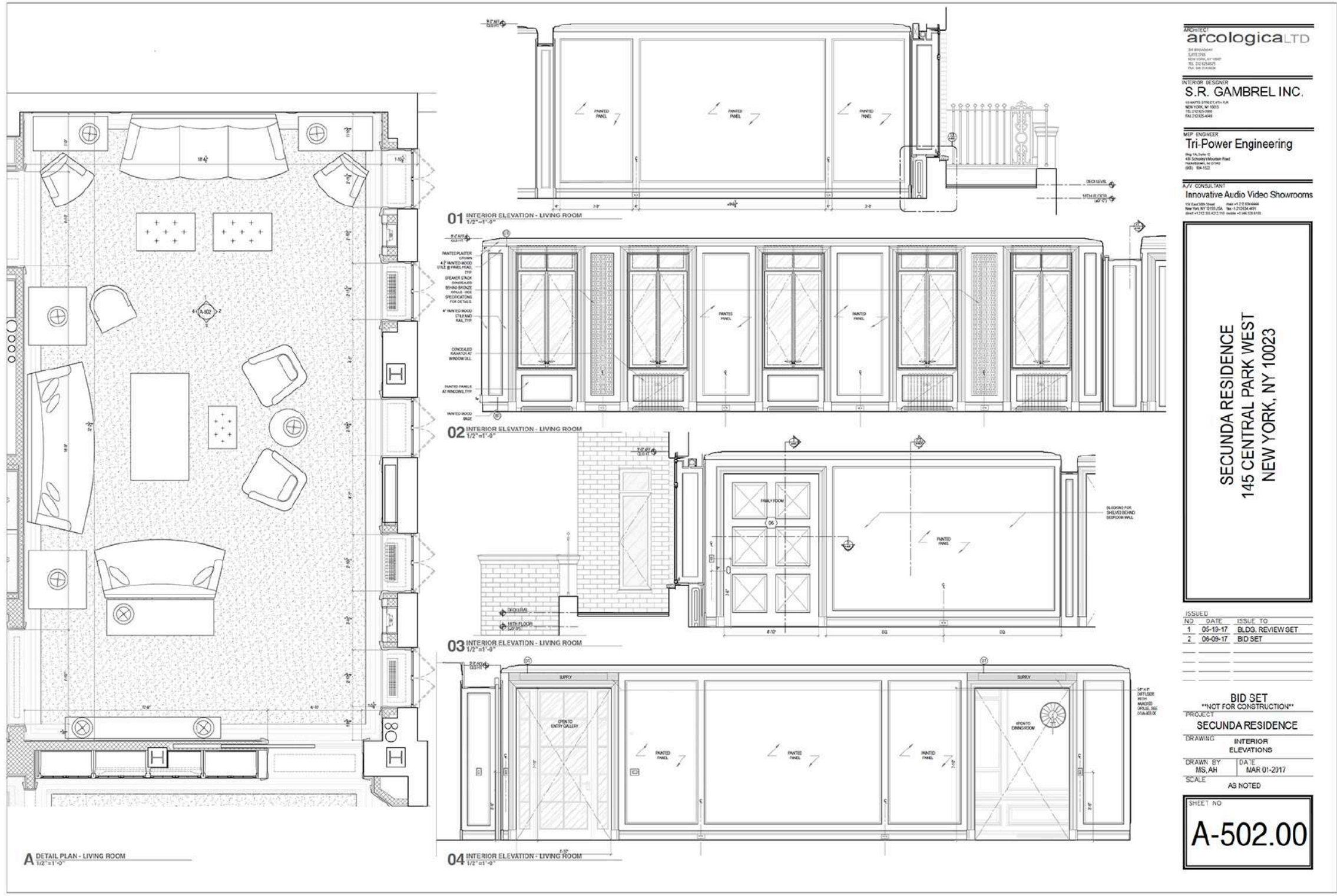
LUXURY APARTMENT - SAN REMO BUILDING

LARGE TERRACED APARTMENT IN LANDMARKED LUXURY HIGHRISE ON CENTRAL PARK WEST
SOUTH AND WEST VIEWS OF MANHATTAN
SD AND DESIGN DEVELOPMENT FOR INTERIORS
COORDINATION WITH SOHO BASED INTERNATIONALLY PUBLISHED INTERIOR DESIGNER
CD SET FOR DOB PERMITS, GC PRICING, LPC
CUSTOM MILLWORK AND BUILT-INS
CUSTOM PLASTERWORK, CUSTOM BRONZE WORK
CUSTOM LIGHTING, ENTERTAINMENT AND AUDIO SYSTEMS
CUSTOM INSTALLATION FOR A/C EQUIPMENT
SUBMITTALS WITH BUILDING ARCHITECT, DOB / COORDINATION WITH EXPEDITOR, LPC



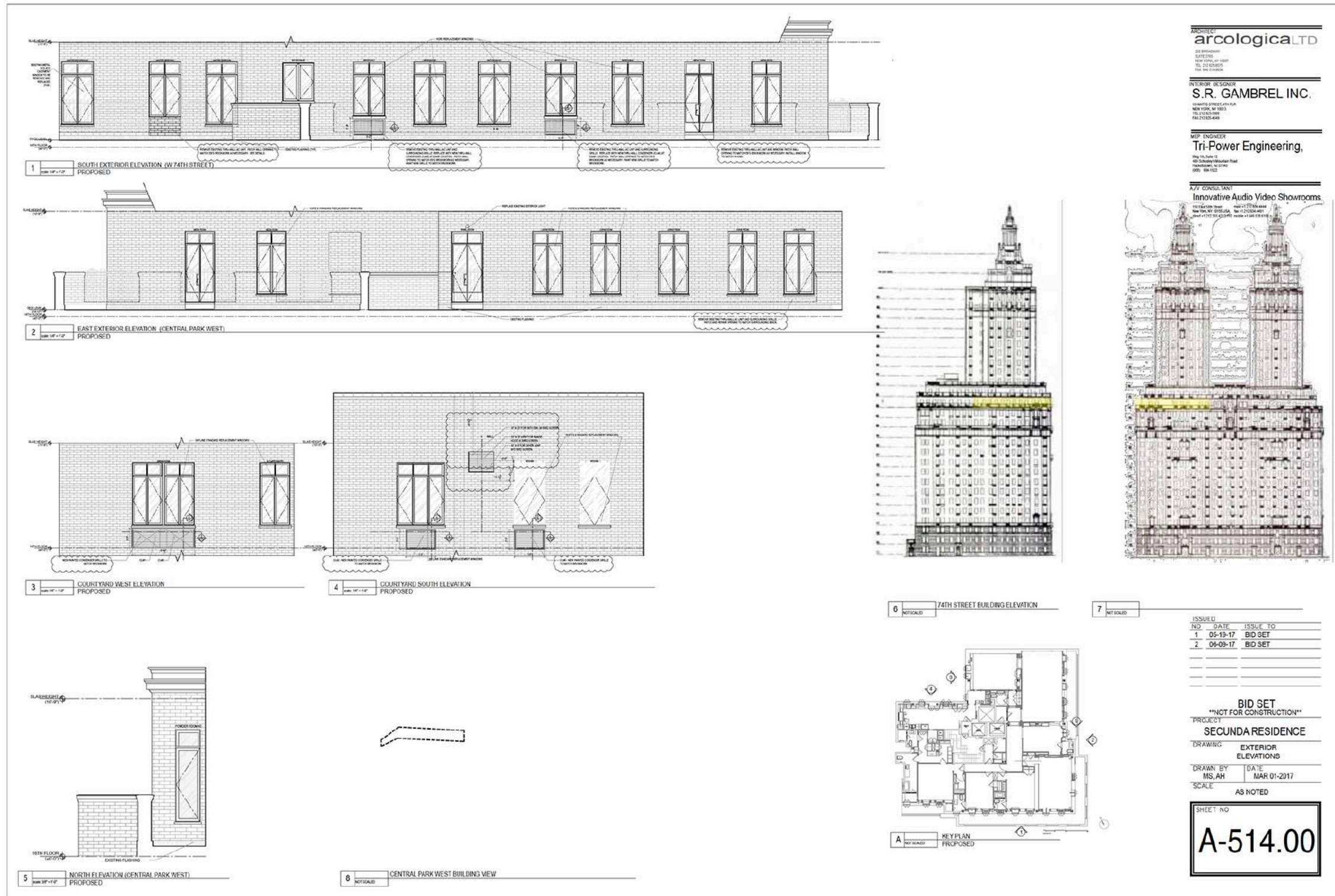
- LUXURY APARTMENT - SAN REMO BUILDING

ANTHONY HELLER - PORTFOLIO



• LUXURY APARTMENT - SAN REMO BUILDING

ANTHONY HELLER - PORTFOLIO



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Fax: 212 625-6576

INTERIOR DESIGNER
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150 W. 25th St. 4th Fl.
New York, NY 10001
Tel: 212 625-6580
Fax: 212 625-6581

M/E/P ENGINEER
Tri-Power Engineering,

800 1st Ave. 12th Fl.
New York, NY 10003
Tel: 212 625-6580
Fax: 212 625-6581

AVV CONSULTANT
Innovative Audio Video Showrooms

100 E. 10th St. 10th Fl.
New York, NY 10003
Tel: 212 625-6580
Fax: 212 625-6581

ISSUED	NO.	DATE	ISSUE TO
1	05-19-17	BID SET	
2	06-09-17	BID SET	

BID SET
"NOT FOR CONSTRUCTION"
PROJECT
SECUNDA RESIDENCE
DRAWING
EXTERIOR ELEVATIONS
DRAWN BY
MS, AH
DATE
MAR 01-2017
SCALE
AS NOTED

SHEET NO
A-514.00

- LUXURY APARTMENT - SAN REMO BUILDING

ANTHONY HELLER - PORTFOLIO

TOKYO MULTI FAMILY NEW CONSTRUCTION

GROUND UP NEW CONSTRUCTION ON VARIOUS SITES IN METROPOLITAN TOKYO

POURED IN PLACE STEEL REINFORCED CONCRETE

SD DESIGN DRAWINGS, PRESENTATION DRAWINGS

REVIT BASED PRODUCTION WITH ADOBE SUITE AND 3D RENDERING SOFTWARE

FLOOR PLANS, INTERIOR ELEVATIONS, SECTIONS, 3D MOCKUPS

3D RENDERINGS

ENGLISH LANGUAGE ASSISTANCE FOR PRESENTATIONS, AWARD APPLICATIONS, PUBLICATIONS



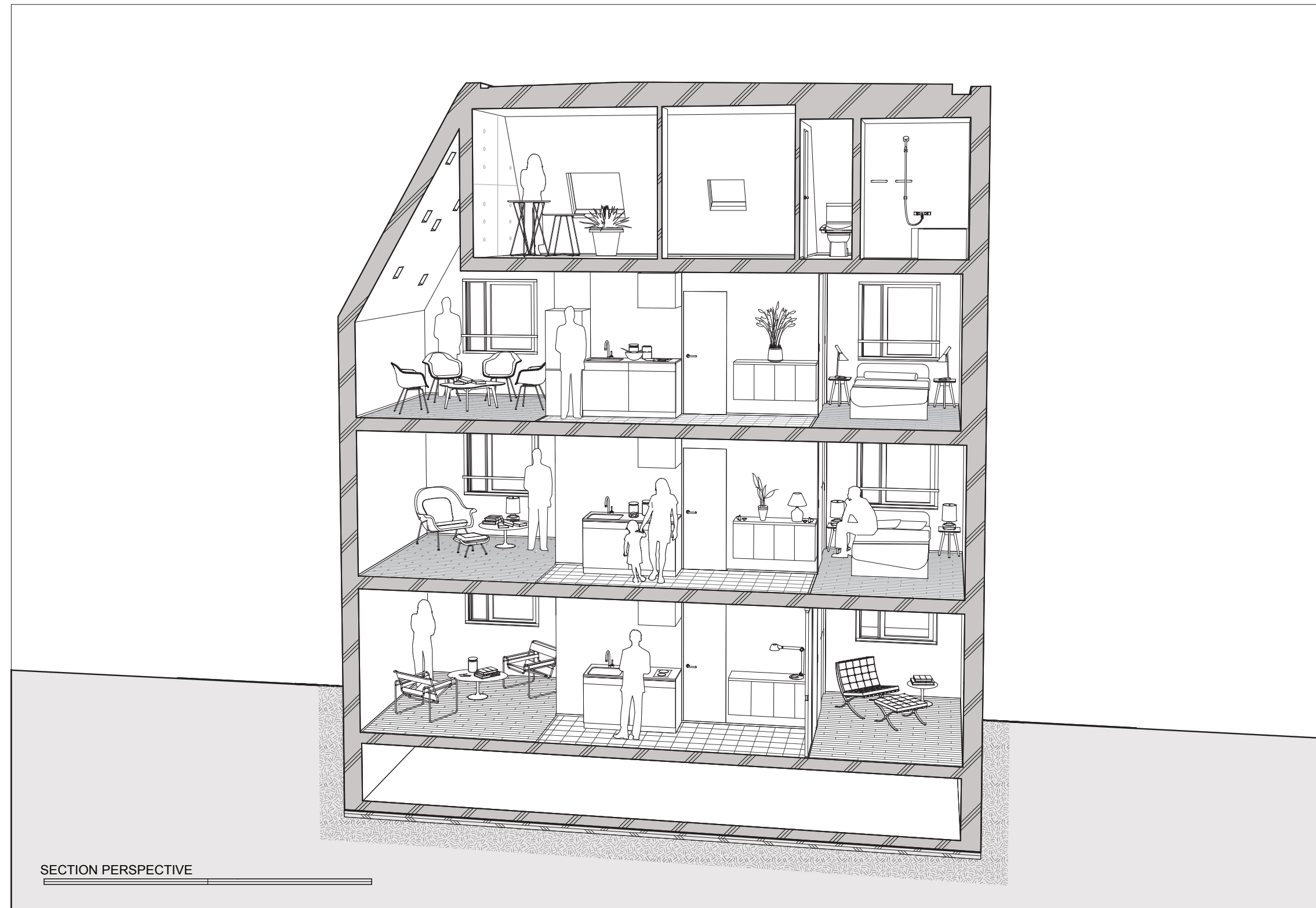
- TOKYO MULTI-FAMILY NEW CONSTRUCTION

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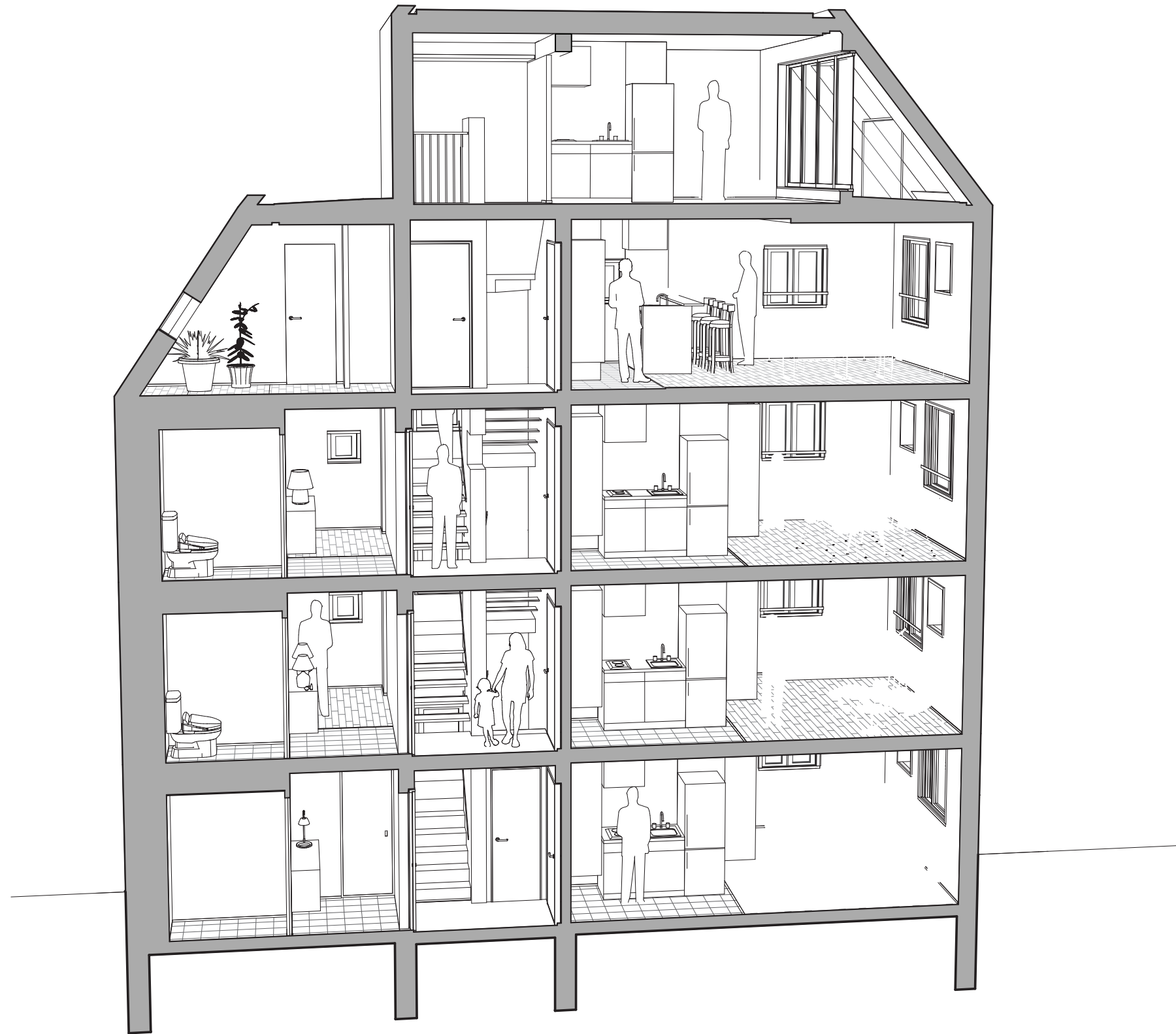
- TOKYO MULTI-FAMILY NEW CONSTRUCTION

ANTHONY HELLER - PORTFOLIO



- TOKYO MULTI-FAMILY NEW CONSTRUCTION

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- TOKYO MULTI-FAMILY NEW CONSTRUCTION

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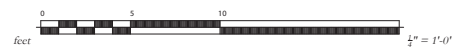
CUSTOM RESIDENCE EAST HAMPTON NEW YORK

GROUND UP NEW CONSTRUCTION ON OCEAN FRONT SITE IN EAST HAMPTONS
SD DESIGN DRAWINGS, PRESENTATION DRAWINGS
SD TO DD DESIGN DEVELOPMENT
FLOOR PLANS, INTERIOR ELEVATIONS, SECTIONS, 3D MOCKUPS
CONSTRUCTION DRAWINGS DEVELOPMENT AND PRODUCTION
SUBMITTAL OF DOCUMENTS WITH LOCAL DEPARTMENT OF BUILDINGS
SITE VISITATION, CLIENT MEETINGS, COORDINATION WITH GC'S



SOUTH ELEVATION
April 23, 2021

BEACH HOUSE
7 WEST END ROAD
EAST HAMPTON, NY



MALLOCH TAYLOR
mallochtaylor.com

- CUSTOM RESIDENCE EAST HAMPTON NEW YORK

ANTHONY HELLER - PORTFOLIO



- CUSTOM RESIDENCE EAST HAMPTON NEW YORK

ANTHONY HELLER - PORTFOLIO



- CUSTOM RESIDENCE EAST HAMPTON NEW YORK

ANTHONY HELLER - PORTFOLIO

HOLBROOK HOUSE BAR/RESTAURANT, SAN FRANCISCO

INITIAL CONCEPT SKETCHES/DESIGN DRAWINGS
INTERNATIONAL TRAVEL FOR DESIGN INSPIRATION IN PARIS AND LONDON
SD TO DD DESIGN DEVELOPMENT
FLOOR PLANS, INTERIOR ELEVATIONS, SECTIONS, 3D MOCKUPS
CUSTOM DESIGNED STONE FLOOR WITH UNIQUE RADIATING TILE PATTERN
COLLABORATION WITH PROFESSIONAL 3D RENDERER FOR PRESENTATION QUALITY INTERIOR VIEWS
CLIENT PRESENTATIONS/COLLABORATION
COLLABORATION WITH PROJECT ARCHITECT/INTERIOR DESIGNER
SUBMITTAL OF DOCUMENTS WITH LOCAL DEPARTMENT OF BUILDINGS
SITE VISITATION, CLIENT MEETINGS, COORDINATION WITH GC,KITCHEN/BAR DESIGNER

RENDERING



- HOLBROOK HOUSE BAR/RESTAURANT, SAN FRANCISCO

ANTHONY HELLER - PORTFOLIO

RENDERING



JEFF SCHLART Artistic representation, the final deliverability may vary based on natural materials.

- HOLBROOK HOUSE BAR/RESTAURANT, SAN FRANCISCO

ANTHONY HELLER - PORTFOLIO

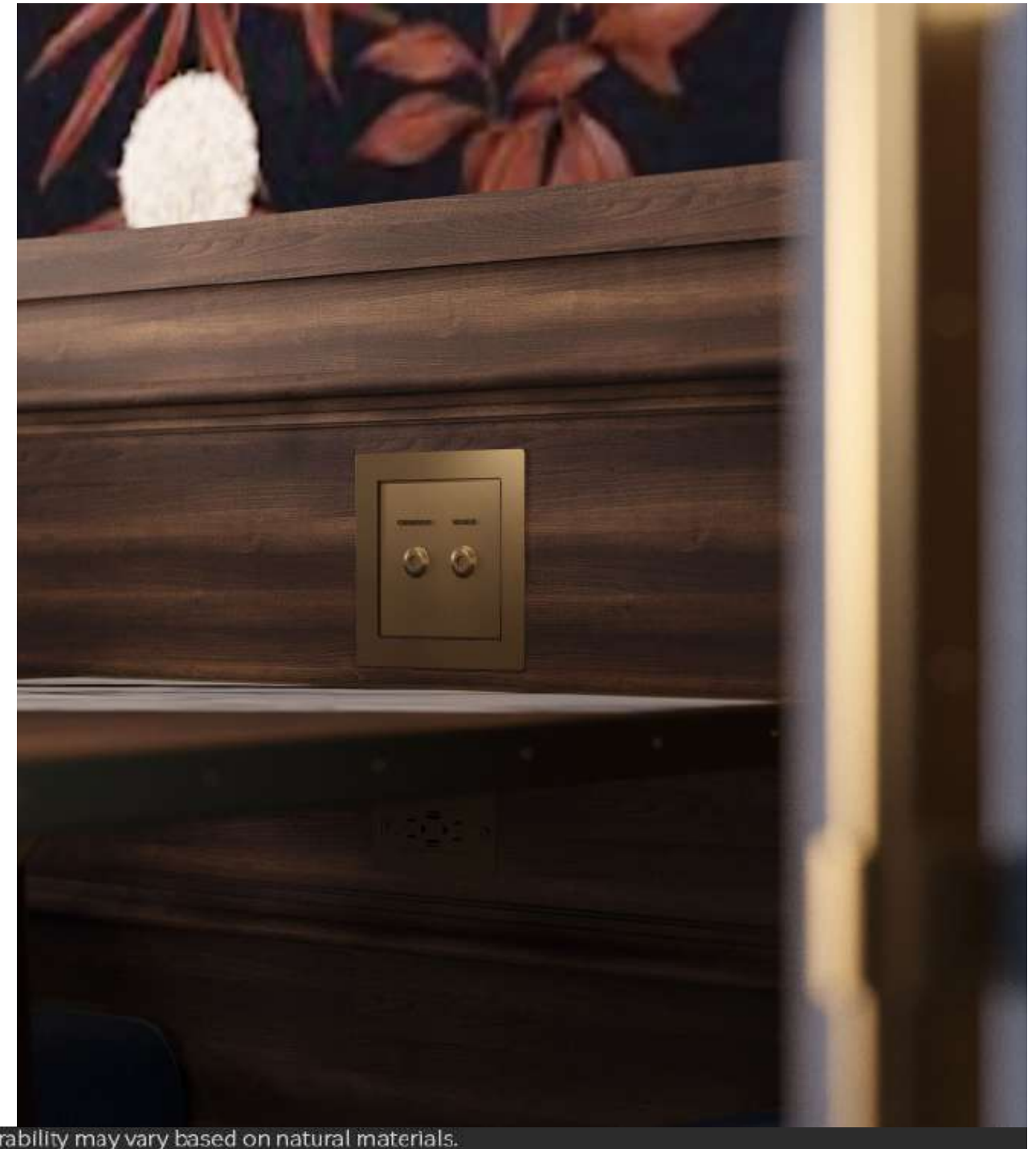
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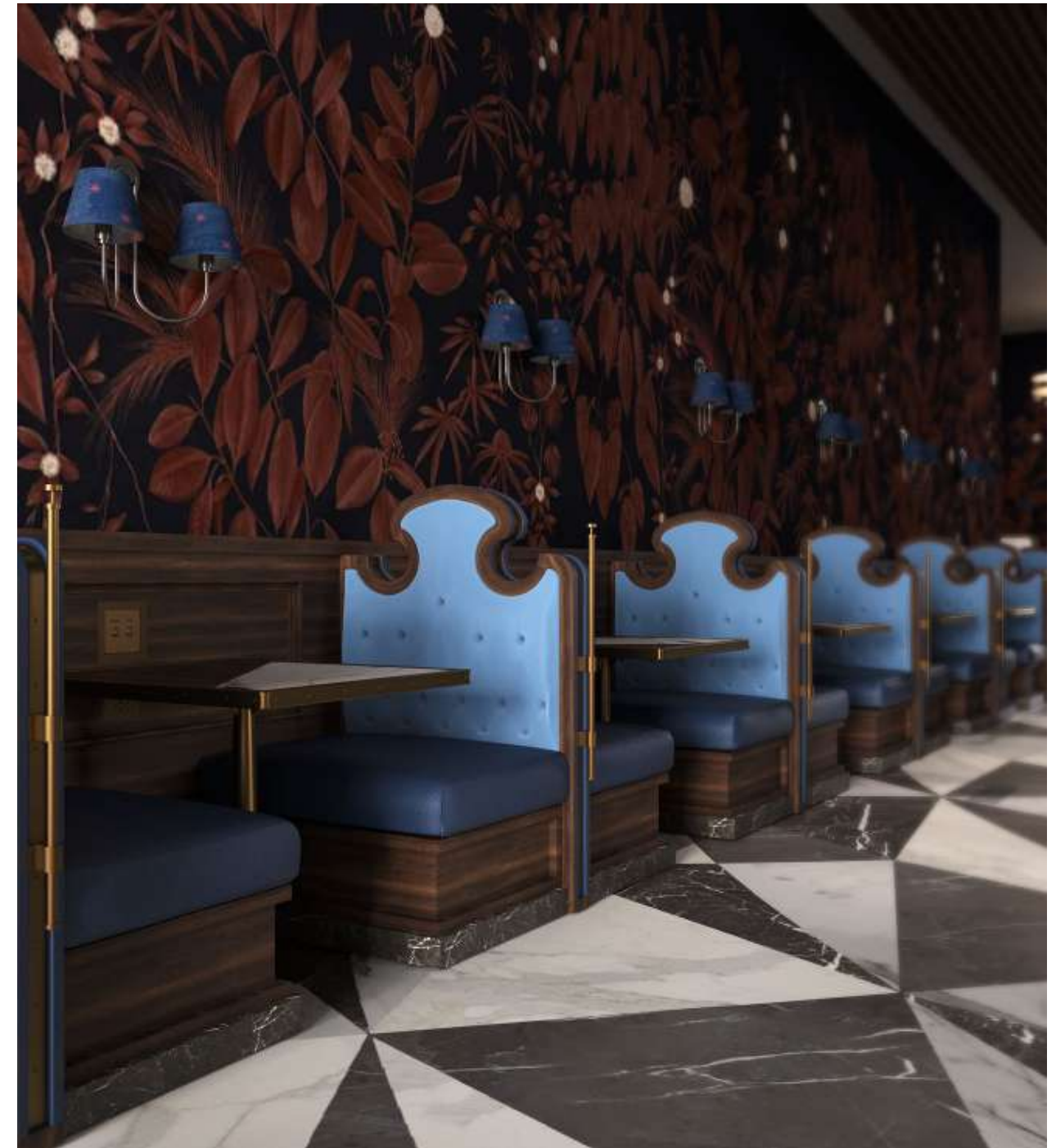
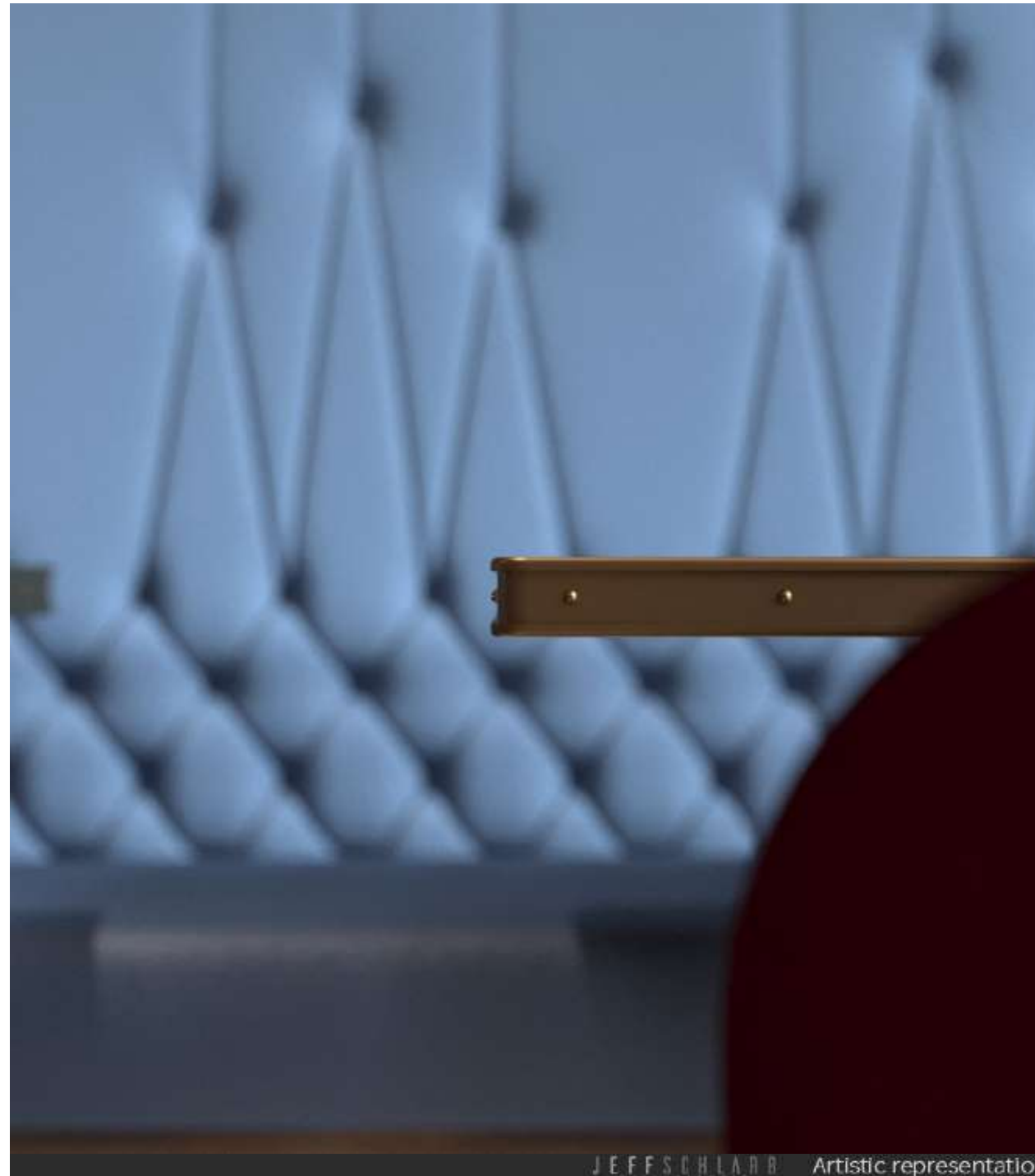


JEFFSCHLARB Artistic representation, the final deliverability may vary based on natural materials.

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