



Hailey Stanley
Architectural Designer

PORTFOLIO



Hailey Stanley

Project Designer

Contact Info



3 Meadowsweet Trail,
Attleboro MA ,02703



413-977-2972



haileystanley19@gmail.com

Software

Revit

AutoCad

Adobe Creative Suite

Sketch-Up

Microsoft Office

Procore

Newforma

BlueBeam

Education



2014-2018 – Boston Architectural College- Masters of Architecture

Thesis: Balancing Conflict; Architecture in Relation to Domestic Violence

-An investigative study on how proxemics and human relationships define methods of defining space, and using this as a systematized method to integrate into trauma informed design to balance conflict and to create architecture that helps heal it's occupants.

2008-2012 -Mount Ida College- Bachelor's of Science, Concentration in Interior Design

-Thesis: How community and culture shape our environment through the renovation of a historical building in Northampton, Massachusetts into a community theater and restaurant.

Work Experience



Feb 2018 – Present -Margulies Perruzzi Architects-Project Designer

Notable Projects include:

-Boston Scores- Design services Boston Scores' new headquarters. The space will provide staff offices and areas for youth programs and a coach training room. Additionally, services include placing several high end soccer fields nearby, complete with restrooms, a playground, outdoor classroom, walking path, and parking.

-Davis Companies- Design and construction documentation of 10,000 sq. ft. headquarters in transition from private offices to an open environment

-Ropes and Gray- Schematic, design development, and construction documentation of renovation of existing three floors and fourth floor expansion within Prudential towers.

-National Development- Schematic fit plans, BOMA calculations, marketing drawings, and tenant fit outs ranging from 2,000-20,000 sq. ft.

-Signify- Programming of new 50,000 sq ft. lab/office fit out.

Project Responsibilities include: Research and documentation from schematic design through construction administration

Nov 2017 – Jan 2018 -Dakota DesignStaff, Inc.-Architectural Designer

-Worked in conjunction with the firm's project managers and job captains, to create digital renderings and 3D rotational models of our designs to give clients a realistic vision of their facility.

-Helped to exceed client's expectations regarding schedule, budget, and project quality.

Jul 2015 – Dec 2017 -Caolo & Bieniek Associates, Inc.-Architectural Designer

-Attended site investigations and perform code research to document existing conditions and create a plan of action to meet 521 CMR and ADA requirements.

- Assisted with production of construction documentation from schematic design to construction administration.

-Created digital renderings and physical/digital finish presentations to aid clients in making design decisions.

Nov 2013 – Apr 2015 -Feinmann, Inc-Administration/Project Design Assistant

-Attended site visits, and weekly client meetings to document existing conditions and construction progress.

-Utilized various software to create drafted floor plans for design and project documentation.

-Created digital renderings and finish presentations using Sketch-Up and Power-Point design.

-Ran weekly job and payroll reports

Achievements



LEED Green Associate-March 2023 - Credential ID- 0011359928

NCIDQ – October 2019 -Credential ID: 35292

BIM Certificate – December 2014 -Wentworth Institute of Technology

Table Of Contents

Science

- Confidential Client- Bedford, MA - Approx 4,500 SF. PG, 4-7
Schematics, Design Development, Construction Documentation, Construction Administration
- Confidential Client-Lawrence, MA - Approx 2,200 SF. PG, 8-9
Schematics, Design Development, Construction Documentation, Construction Administration



Healthcare

- Brigham & Women's- Needham, MA - Approx 41,000 SF PG 10-13
Schematics, Design Development, Presentations, Construction Documentation, Construction Administration
- Maine Health- Biddeford, ME- Approx 24,000 SF PG 14-19
Schematics, Design Development, Presentations, Construction Documentation, Construction Administration



Workplace

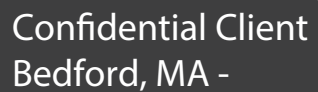
- CIEE- Boston, MA- approx 45,000 SF. PG 20-25
Schematics, Programming, Design Development, Construction Documentation, Presentations
- 15 Winter- Boston, MA- approx 3,500 SF. PG 26-32



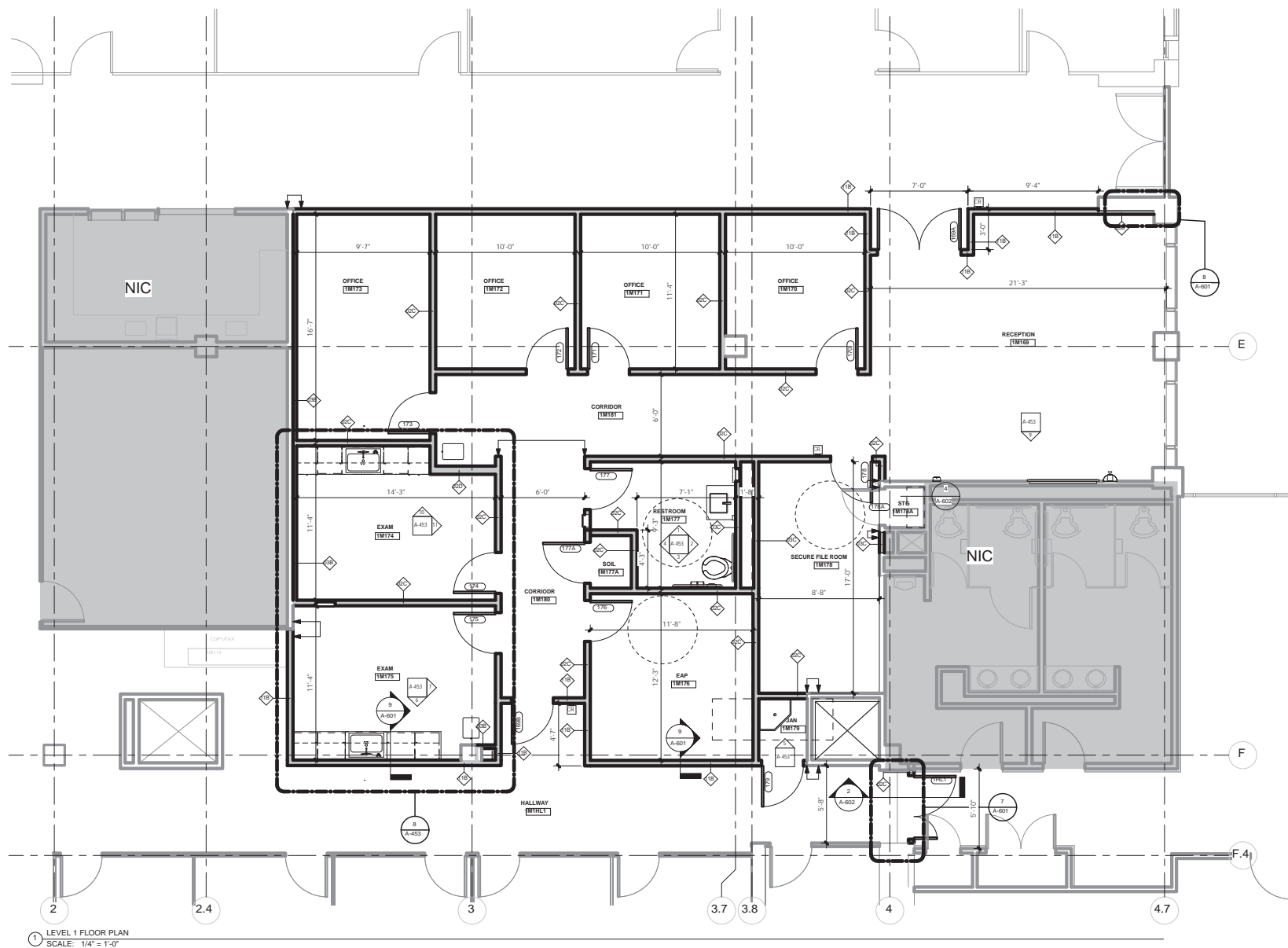
Sports & Recreation

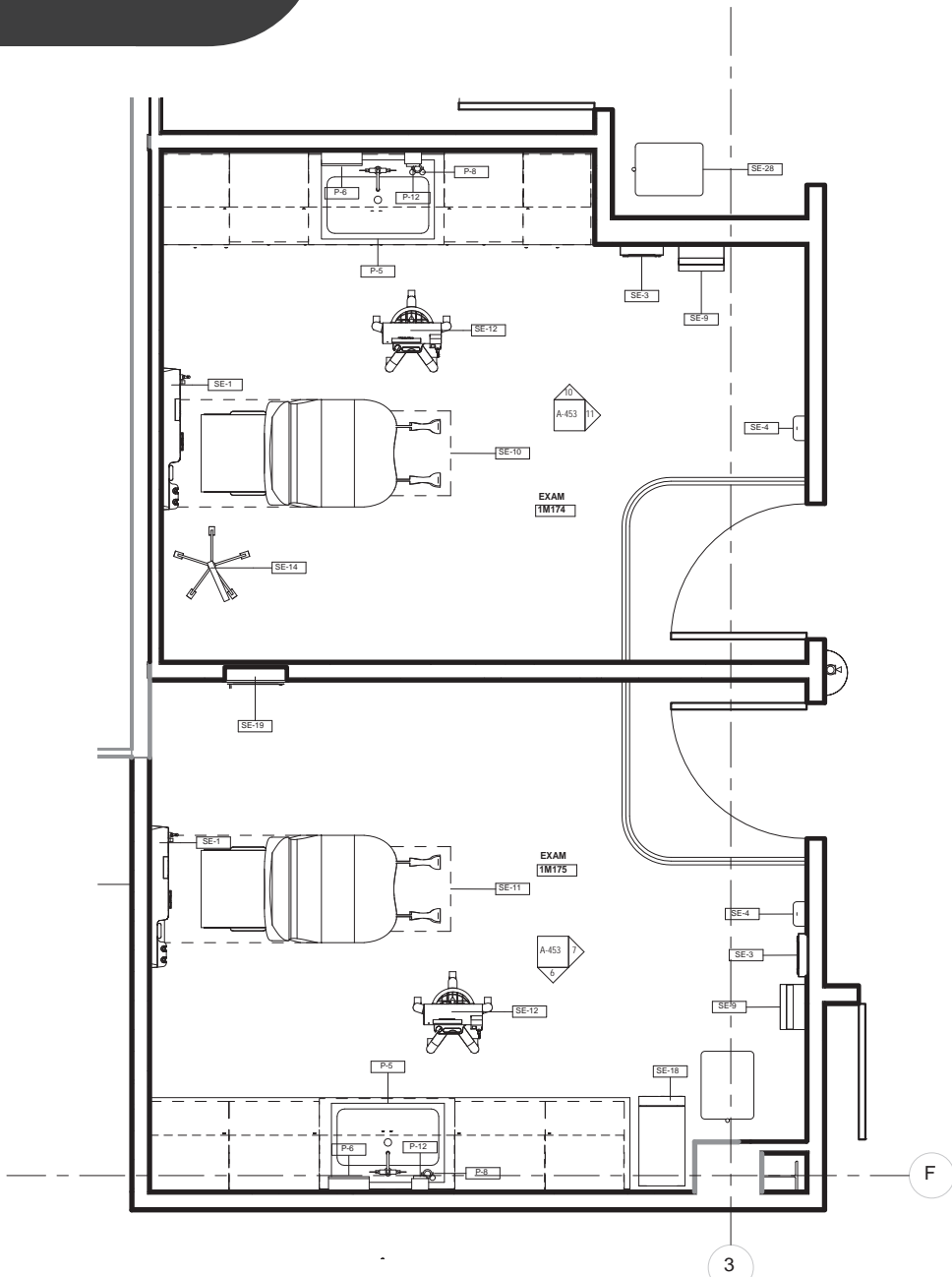
- Boston Scores- Boston, MA- approx PG 33-38
Schematics, Design Development, Construction Documentation, Construction Administration



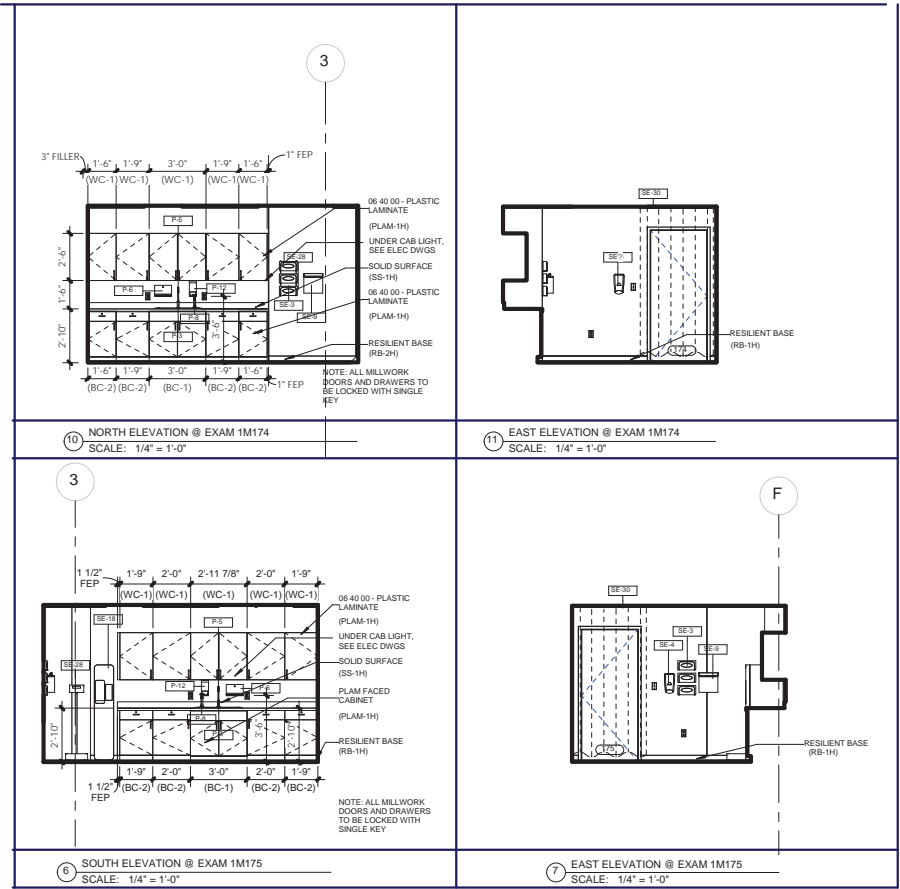


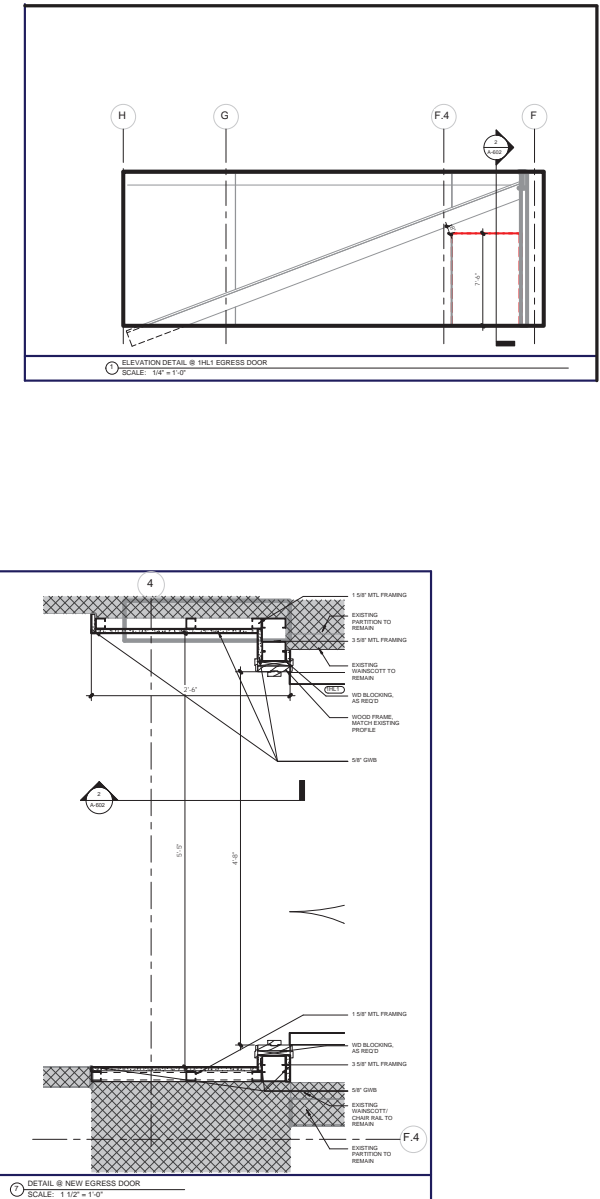
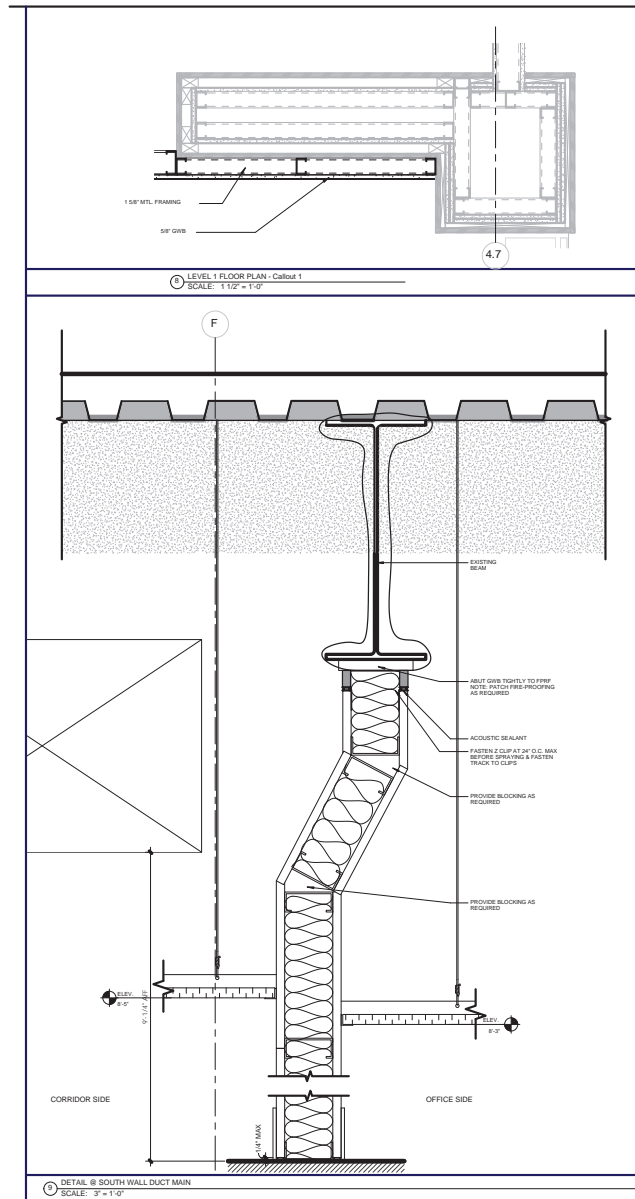
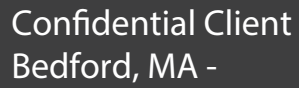
Revamp an existing office area into health services offices aimed at enhancing the well-being of the entire campus staff. The facility will include exam rooms, offices, and support areas strategically positioned to ensure swift rear-door access for emergency medical services (EMS) teams when required. The design must prioritize revitalization while seamlessly integrating modern technology and development. Given the center's reputation for innovation and holistic improvement, it's imperative that the space reflects a forward-thinking ethos synonymous with its mission.





PLUMBING EQUIPMENT SCHEDULE										
TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL	FURNISHED & INSTALLED BY	BLK'G REQ'D	ELEC REQ'D	TEL/DATA REQ'D	PLUMBING REQ'D	CUT SHEET PROVIDED	COMMENTS
Plumbing Fixtures										
P-14	BUMPER GUARDS	E. L. MUSTEE	63.401	CFCI	-	-	-	-	SEE SPEC	JAN
Specialty Equipment										
P-1	RESTROOM SINK	KOHLER	K-2031	CFCI	YES	-	-	YES		RESTROOM
P-2	TOILET	KOHLER	K-96057	CFCI	-	-	-	YES		RESTROOM
P-3	SINK FAUCET	CHICAGO FAUCET	118.719.AB.1	CFCI	-	-	-	-		EXAM ROOMS
P-4	AUTOMATIC FAUCET	SLOAN	EBF-85	CFCI	-	YES	-	-		ALL SINKS
P-5	EXAM ROOM SINK	JUST	SL-ADA-1751 9-A-GR	CFCI	YES	-	-	YES		EXAM ROOMS
P-6	PAPER TOWEL DISPENSER - SMALL	AMERICAN SPECIALTIES	0215	CFCI	YES	YES	-	-	SEE SPEC	EXAM ROOMS
P-7	PAPER TOWEL DISPENSER/WASTE RECEPTACLE	BOBRICK	B-3803	CFCI	YES	YES	-	-		RESTROOM
P-8	EYEWASH STATION	SPEAKMAN	SEF-1000-8	CFCI	-	-	-	YES	SEE SPEC	EXAM ROOMS
P-9	GRAB BAR SET (42")	BOBRICK	B-5806	CFCI	YES	-	-	-		RESTROOM
P-10	TOILET PAPER DISPENSER - SURFACE MOUNT	BOBRICK	B-6377	CFCI	YES	-	-	-		RESTROOM
P-11	SANITARY NAPKIN DISPOSAL - WALL MOUNTED	BOBRICK	B-270	CFCI	-	-	-	-		RESTROOM
P-12	SOAP DISPENSER	BOBRICK	B-2013	CFCI	-	-	-	-		EXAM ROOMS/RESTROOM
P-13	FRAMED MIRROR	KOHLER	K-26050-BLL	CFCI	YES	-	-	-		RESTROOM
P-15	DURAGUARD WALL GUARDS	DURAGUARD	67.244	CFCI	-	-	-	-	SEE SPEC	JAN
P-16	MOP HANGER	E. L. MUSTEE	65.660	CFCI	YES	1	1	1		JAN

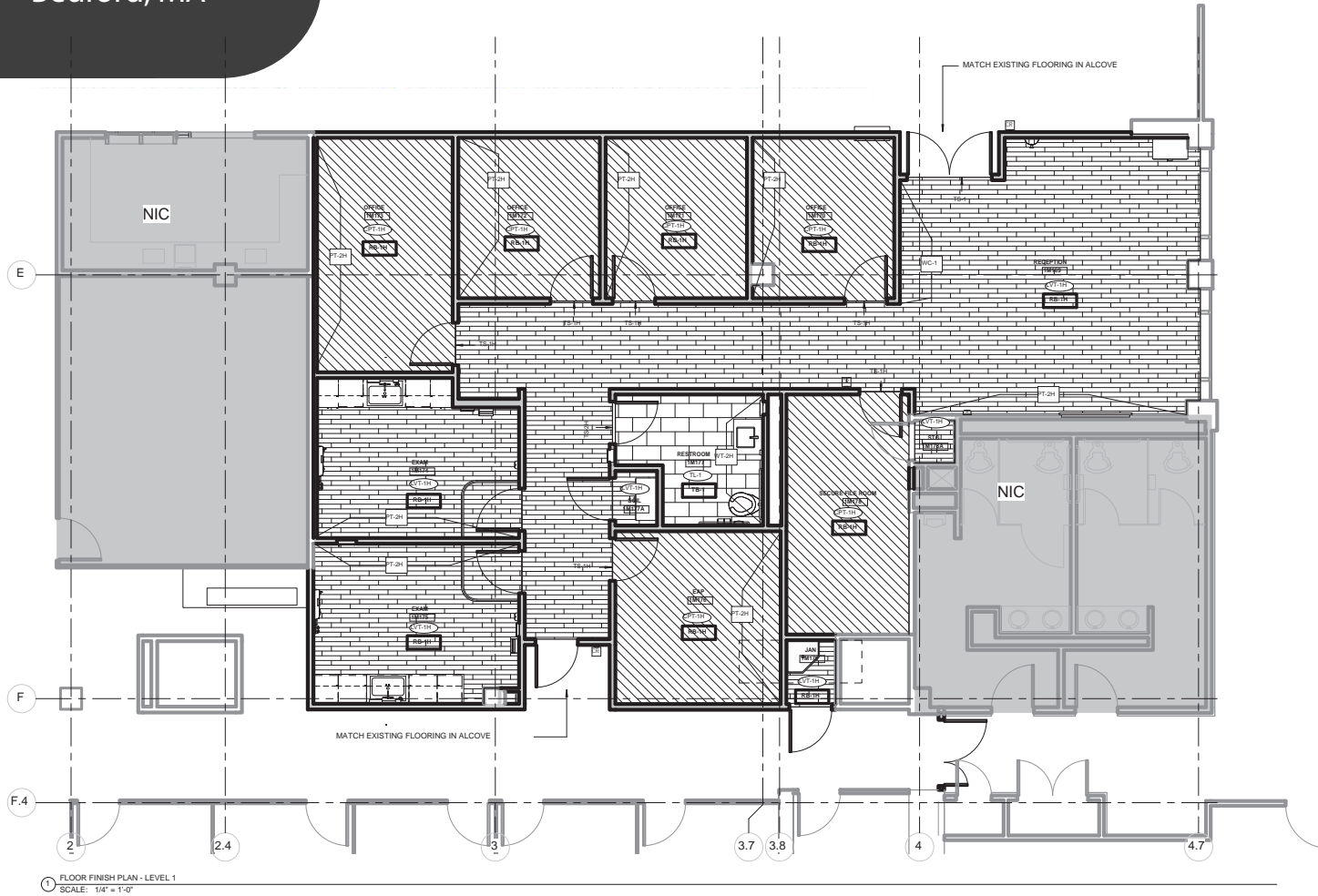




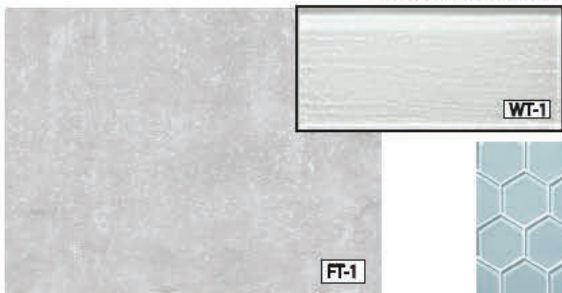
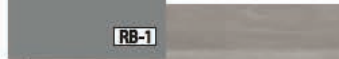
Conflict resolution became necessary upon the discovery that an existing cross-beam would disrupt the planned placement of the new wall/emergency egress. The proposed resolution involved adjusting the wall's position to accommodate the beam and relocating the HVAC system above the proposed ceiling to conceal it from view

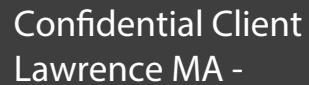


Confidential Client Bedford, MA -

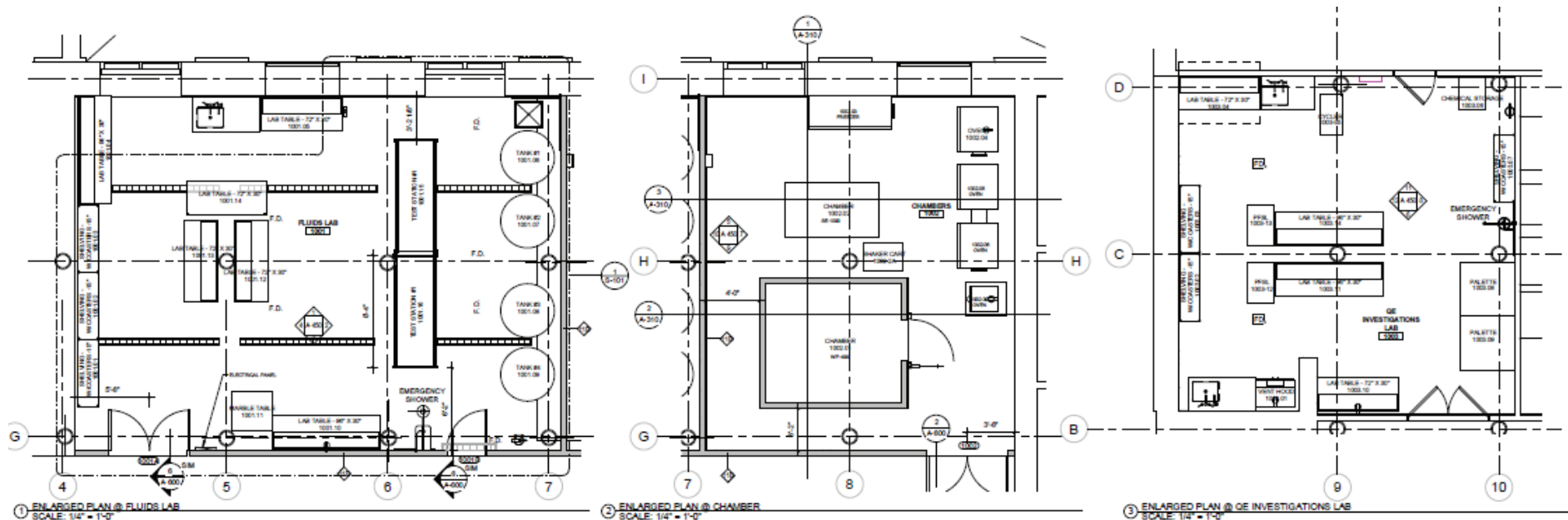
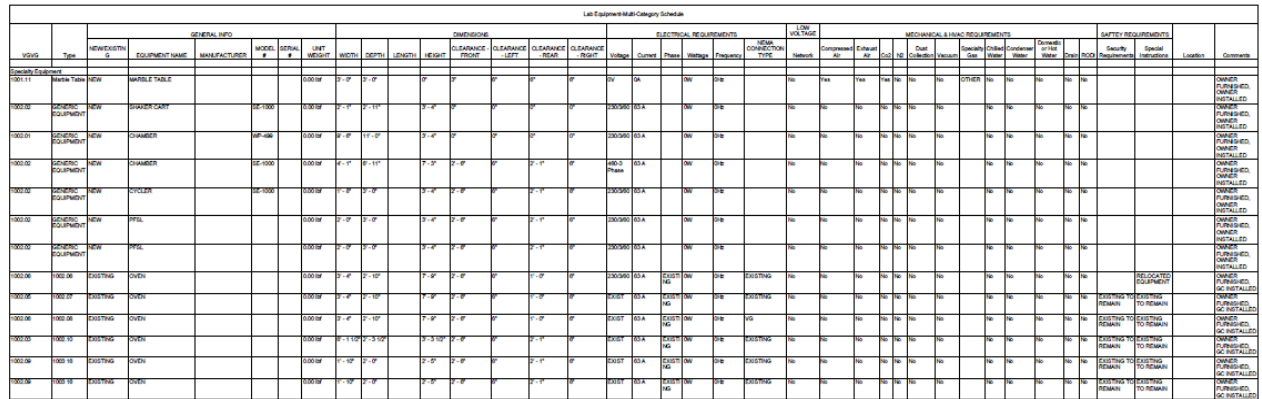


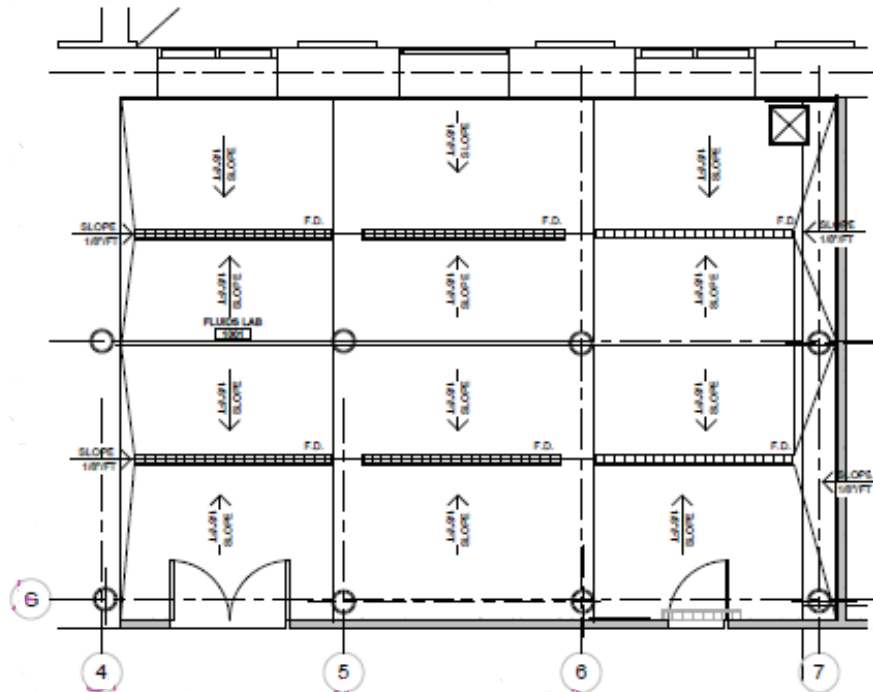
PENDANT OPTION





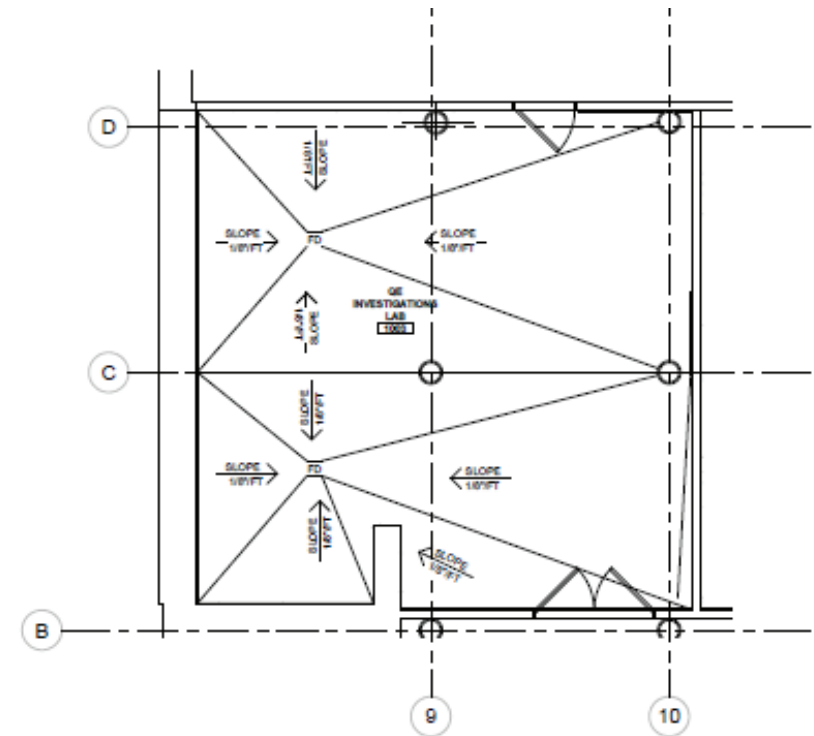
A prominent medical innovation laboratory specializing in dialysis underwent a transformation, re-purposing its current workrooms into additional laboratory space. The renovation encompassed repairs to the sub-floor and structural components, alongside a overhaul of the existing drainage systems, complemented by the installation of a new epoxy floor system. These enhancements were designed to accommodate the integration of supplementary tanks and advanced equipment, reinforcing the lab's commitment to pioneering research.





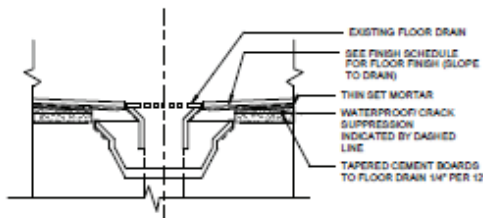
① DRAINAGE PLAN @ FLUIDS LAB
SCALE: 1/4" = 1'-0"

NOTE:
-CONFIRM EXISTING FLOORING
SUBSTRATE PRIOR TO POURING EPOXY.
-COORDINATE DRAINS WITH
STRUCTURAL DRAWINGS

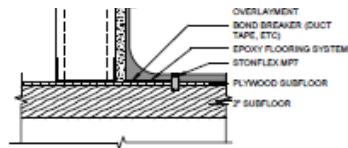


③ DRAINAGE PLAN @ QE INVESTIGATIONS LAB
SCALE: 1/4" = 1'-0"

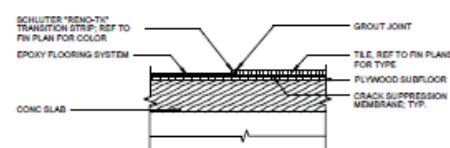
NOTE: VERIFY DEPTH IN FIELD, ASSUME 2" MAX.



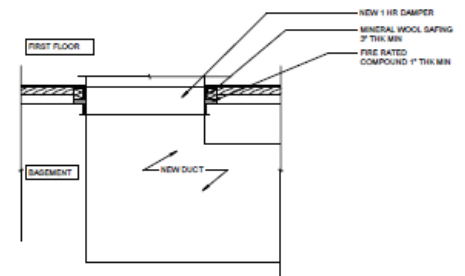
② NEW FLOOR DRAIN DETAIL
SCALE: 3" = 1'-0"



⑤ TYPICAL EPOXY SYSTEM 6\"/>



⑥ TRANSITION - RESILIENT PL. TO EPOXY (RENO-TK)
SCALE: 3" = 1'-0"



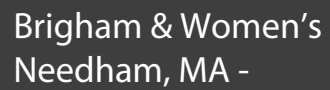
⑦ SECTION @ FLOOR DUCT PENETRATION
SCALE: 3/4" = 1'-0"



Headquarter Relocation:

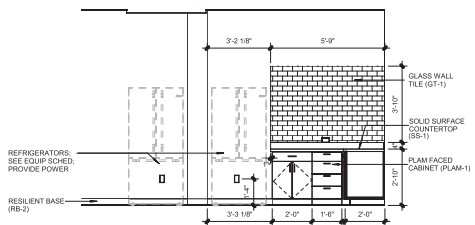
Driven by regulatory requirements in the healthcare landscape, this initiative mandated the transfer of senior administration and administrative support services of Brigham & Women's Physician Organization (BWPO) from the Village of Brookline to Needham. This relocation facilitated the consolidation of staff from disparate locations into a unified office space, streamlining operations. The project incorporated a versatile training center designed to adapt to various educational needs, offering flexibility by allowing the space to be divided into a large classroom setting or two smaller classrooms. Additionally, a multipurpose collaboration hub was introduced, which will serve as a dynamic space for spontaneous team meetings, staff gatherings, and hosting catered events, fostering enhanced teamwork and engagement.



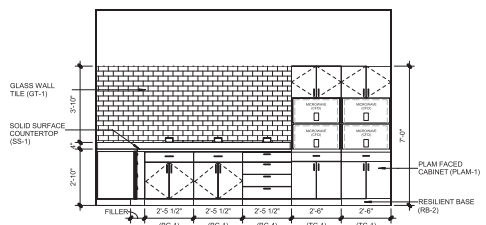




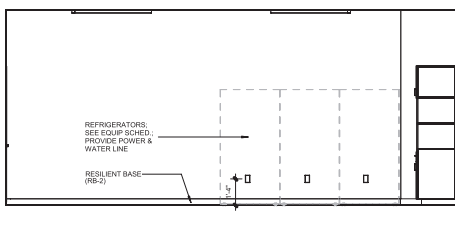
Brigham & Women's
Needham, MA -



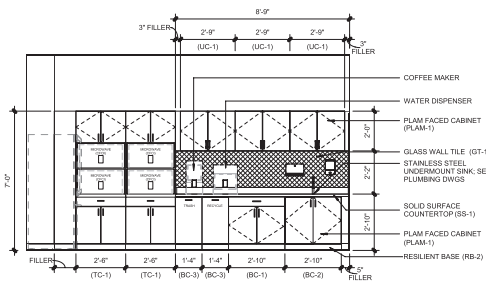
4 LOUNGE 151 ELEVATION B
SCALE: 3/8" = 1'-0"



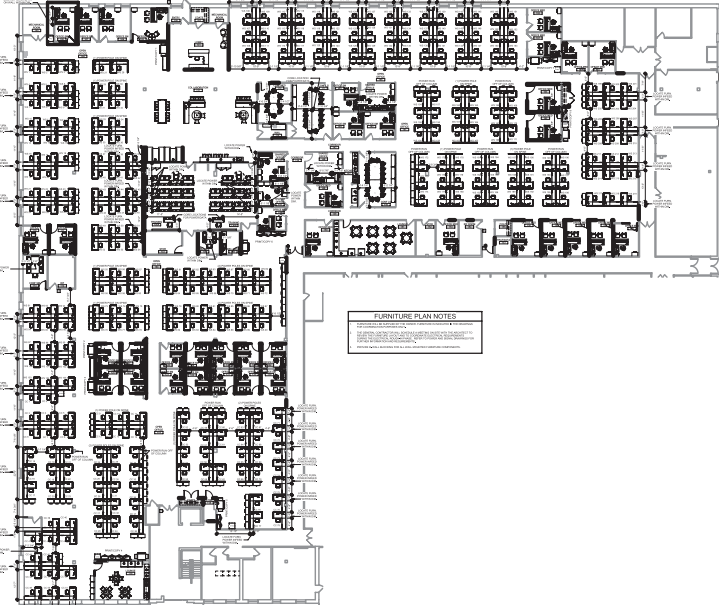
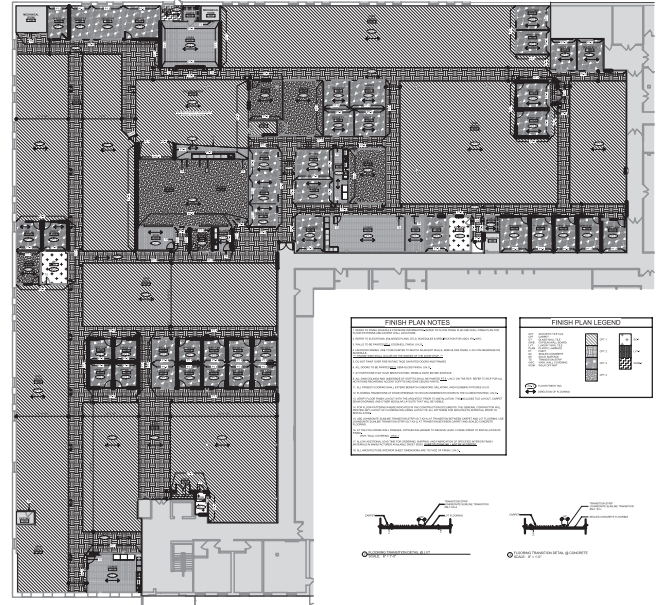
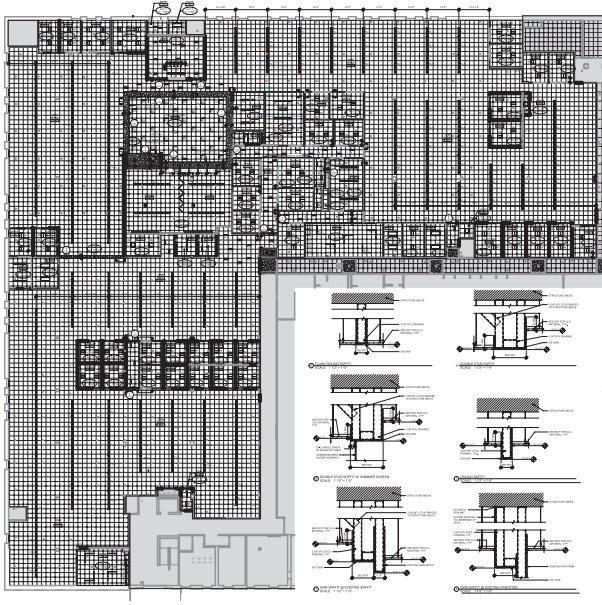
3 LOUNGE 151 ELEVATION A
SCALE: 3/8" = 1'-0"



5 LOUNGE 116 ELEVATION B
SCALE: 3/8" = 1'-0"



1 LOUNGE 116 ELEVATION A
SCALE: 3/8" = 1'-0"







CPT-1



CPT-2



CPT-3



CPT-4



RB-1 &
TS-1/2



RB-2



LVT-1



WOM-1



SC-1



PT-1



PT-2



PT-3



PT-4



PT-5



SP-1



VWC-1



GT-1



GT-2



PLAM-1



SS-1



SS-2



MPA MARGULIES PERRUZZI ARCHITECTS

BWPO 254 SECOND AVE. - FINISH BOARD



BRIGHAM AND
WOMEN'S HOSPITAL



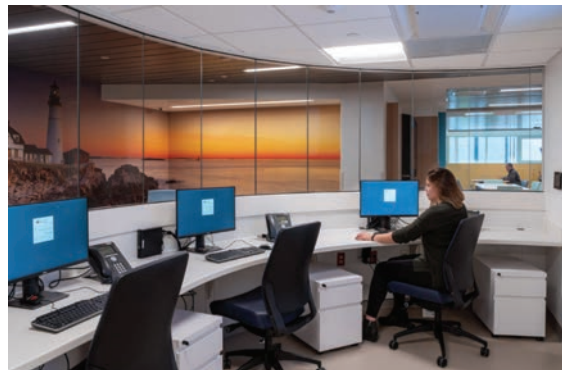
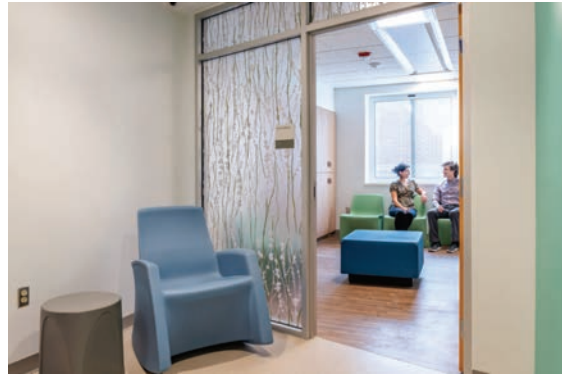
Behavioral Health

Southern Maine Health Care (SMHC) embarked on a transformative journey to enhance its behavioral healthcare facilities in collaboration with Maine Behavioral Healthcare. This ambitious project aimed to refurbish a 24,000 square foot unit, expanding its capacity with 40 new beds across two floors. In addition, a specialized five-bed Emergency Department Acute Psychiatric (EDAP) unit was introduced to address acute psychiatric cases.

The project placed paramount importance on ensuring the safety and security of patients. Innovative design solutions, such as interlocking sally ports and anti-ligature fixtures, were integrated to create a secure and serene environment conducive to healing and recovery.

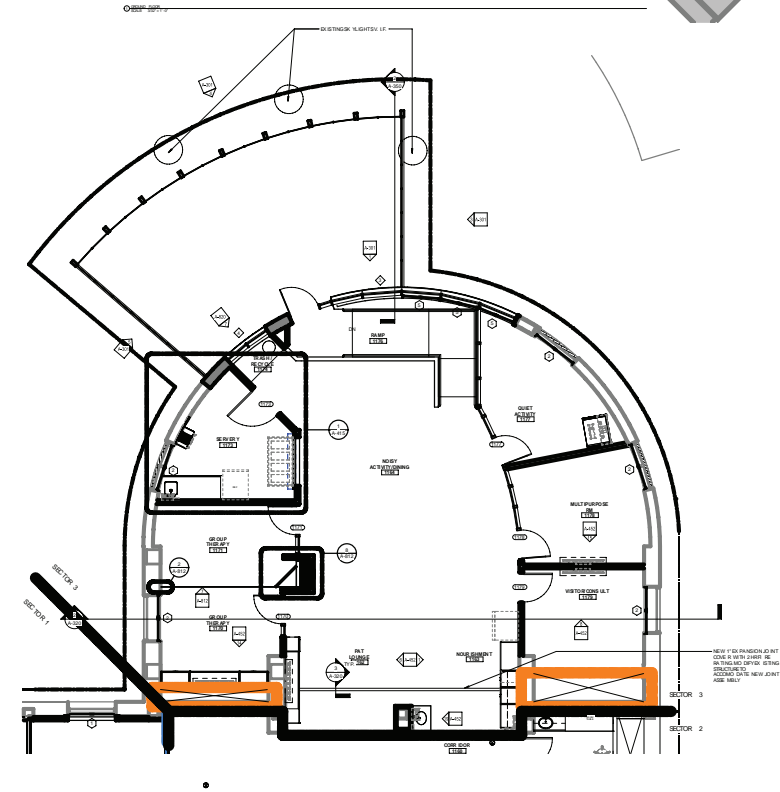
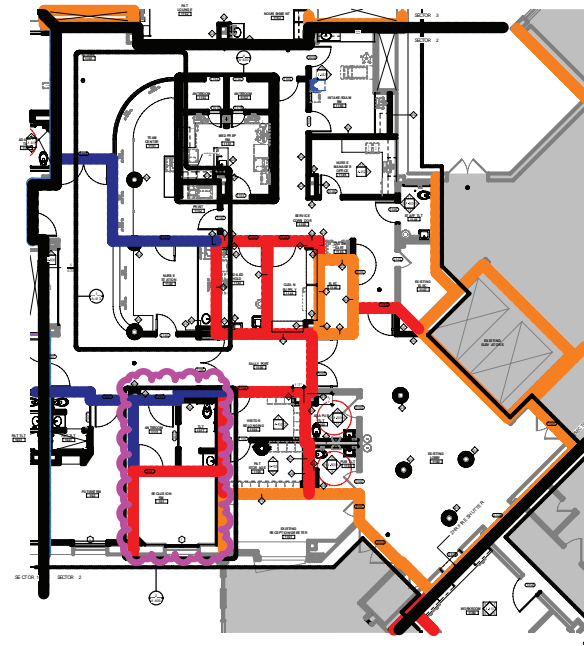
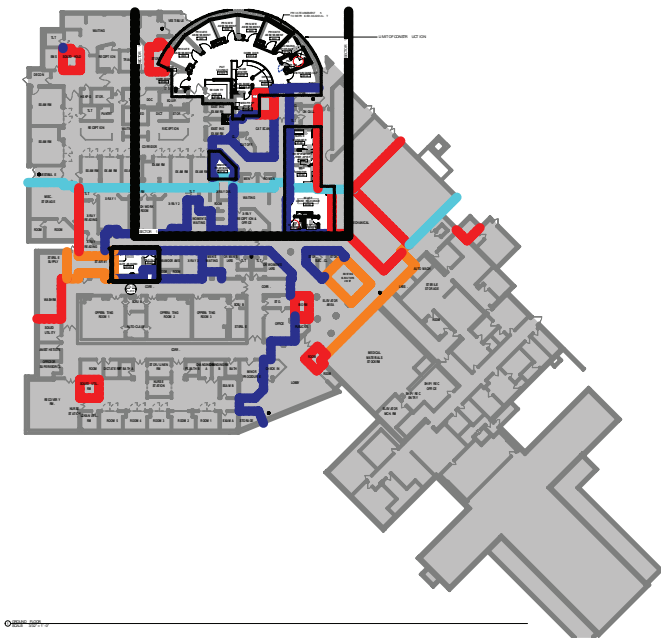
Emphasizing sustainability and comfort, the project incorporated cutting-edge HVAC technology, including highly efficient chilled beams. This focus on environmental consciousness was complemented by a commitment to patient comfort, with the design philosophy centered around maximizing natural light and scenic views. Activity rooms and common areas were strategically positioned along exterior walls, providing both patients and staff with therapeutic vistas of Maine's serene landscape.

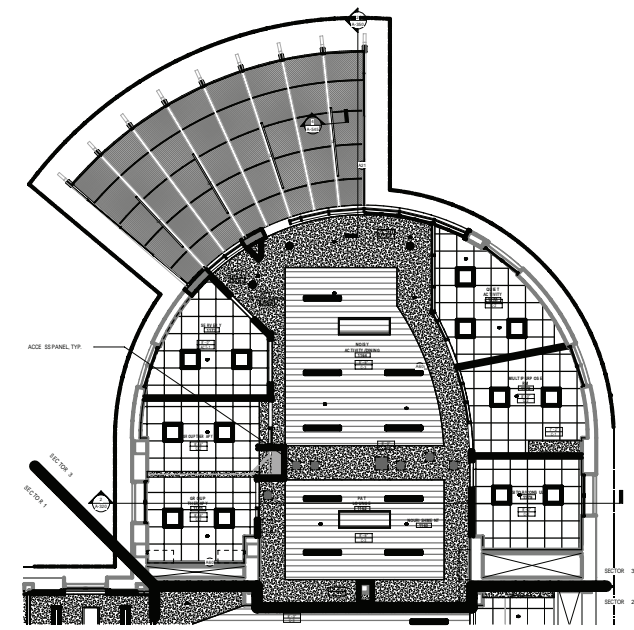
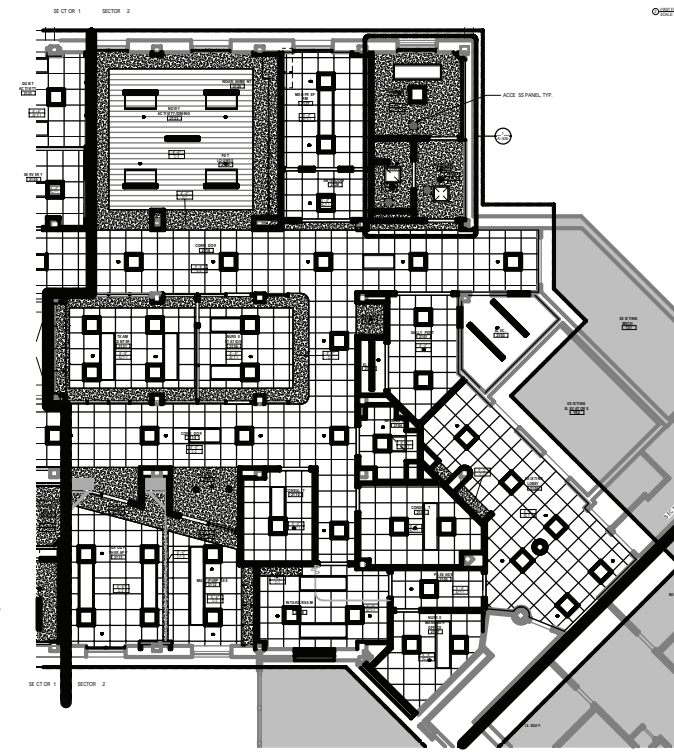
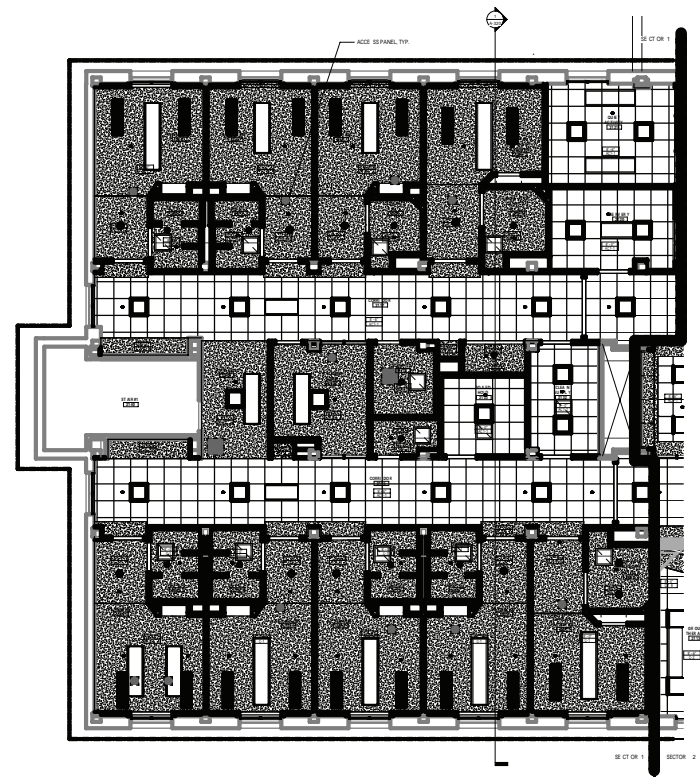
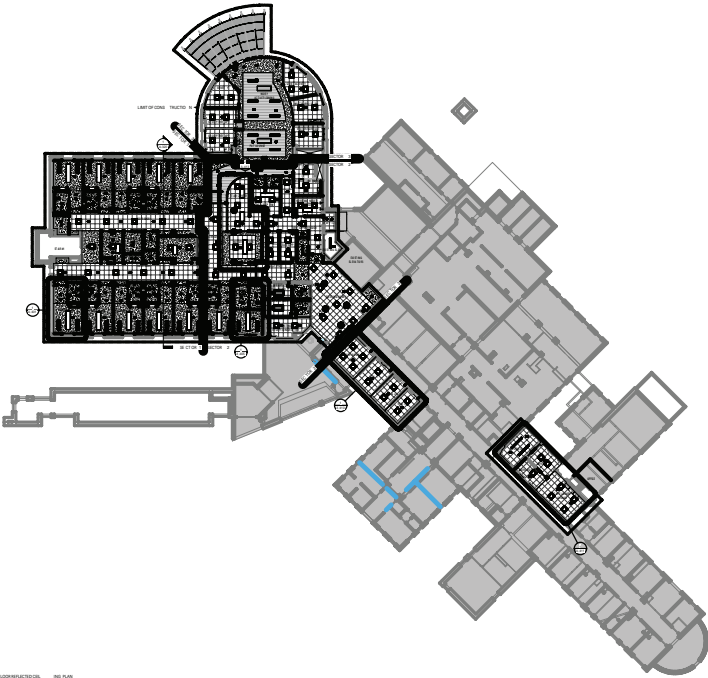
Through meticulous planning and collaboration, the transformation of SMHC's behavioral healthcare facilities stands as a testament to the organization's dedication to providing high-quality care in a safe, sustainable, and patient-centric environment. This project not only enhances the capacity to serve the community but also embodies SMHC's commitment to fostering holistic well-being and recovery for individuals facing behavioral health challenges





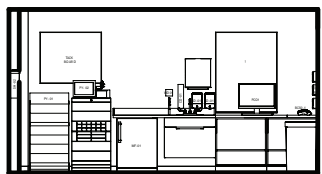
Maine Health Biddeford, ME -



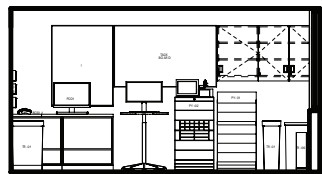




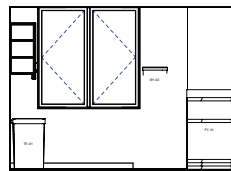
Maine Health
Biddeford, ME -



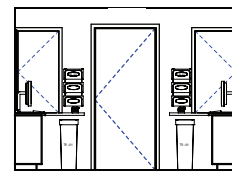
2 MED PREP ROOM EAST OPTION 2
SCALE: 3/8" = 1'-0"



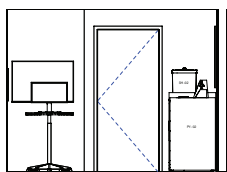
2 MED PREP ROOM WEST OPTION 2
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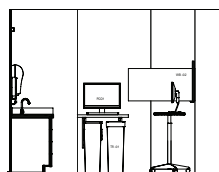
2 MED PREP ROOM NORTH OPTION 2
SCALE: 3/8" = 1'-0"



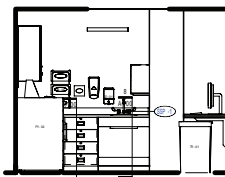
2 MED PREP ROOM SOUTH OPTION 2
SCALE: 3/8" = 1'-0"



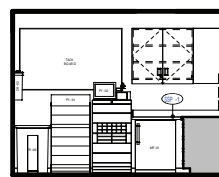
G MED PREP ROOM NORTH OPTION 2
SCALE: 3/8" = 1'-0"



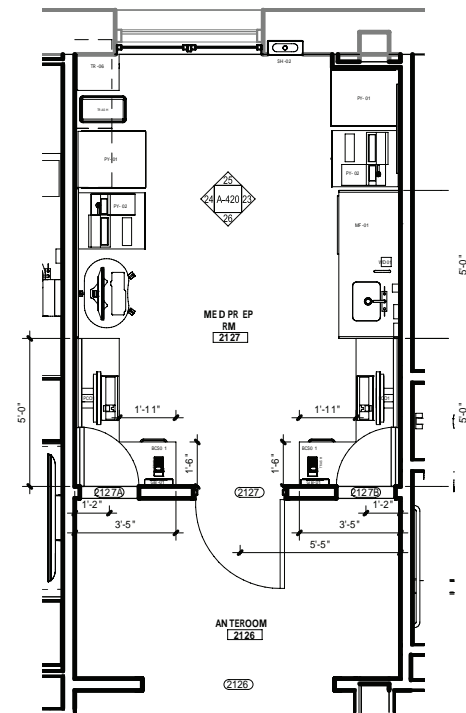
G MED PREP ROOM WEST OPTION 2
SCALE: 3/8" = 1'-0"



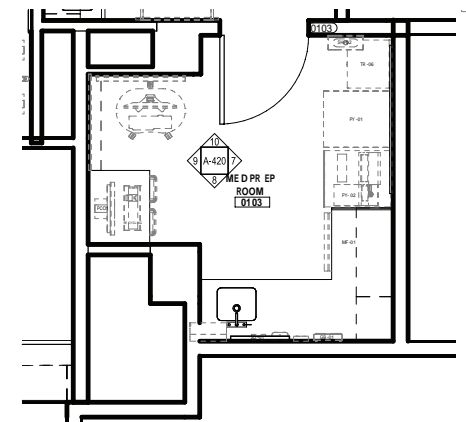
G MED PREP ROOM SOUTH OPTION 2
SCALE: 3/8" = 1'-0"



G MED PREP ROOM EAST OPTION 2
SCALE: 3/8" = 1'-0"



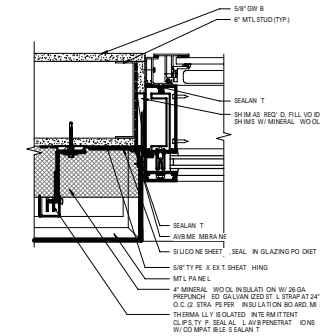
LVL 2 - MED PREP OPTION 2
SCALE: 3/8" = 1'-0"



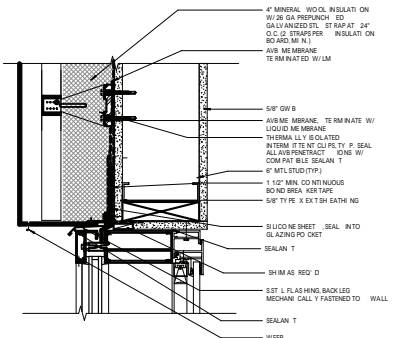
LVL G - MED PREP OPTION 2
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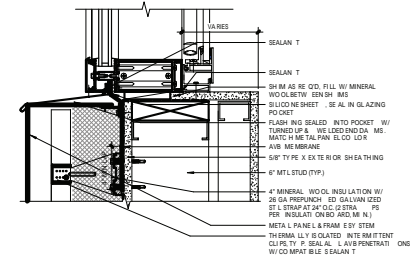
Maine Health Biddeford, ME -



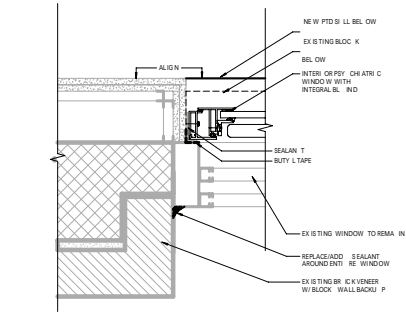
3 WINDOW JAMB DETAIL @ MULLION LEVEL
SCALE: 3\"/>



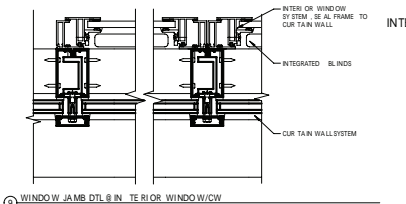
4 WINDOW HEAD DETAIL @ MULLION LEVEL
SCALE: 3\"/>



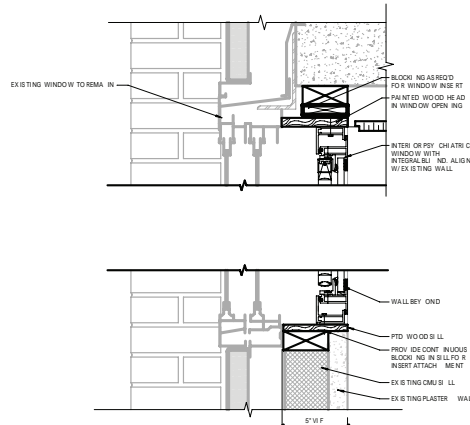
5 WINDOW SILL DETAIL @ MULLION LEVEL
SCALE: 3\"/>



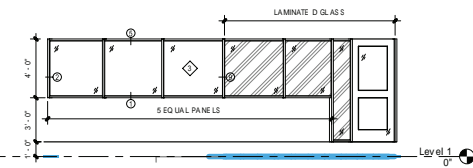
6 EXISTING WINDOW JAMB DETAIL @ SILL LEVEL
SCALE: 3\"/>



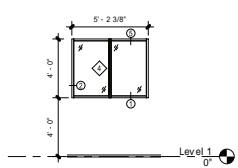
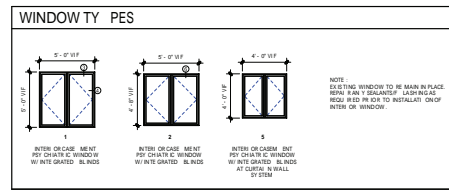
7 WINDOW JAMB DETAIL @ INTERIOR WINDOW/CURTAIN WALL
SCALE: 3\"/>



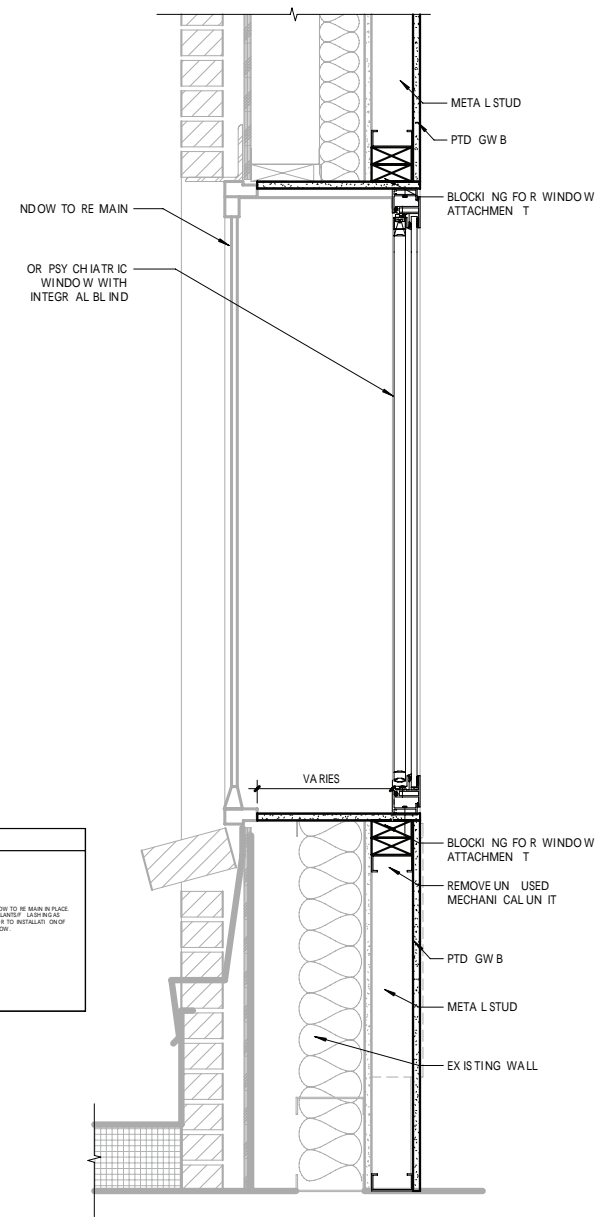
8 EXISTING WINDOW DETAIL @ BLOCK LEVEL
SCALE: 3\"/>



9 CURTAIN WALL ELEVATION
SCALE: 1/4\"/>



10 CURTAIN WALL ELEVATION 2
SCALE: 1/4\"/>



11 EXISTING WINDOW DETAIL @ BLOCK WALL
SCALE: 1 1/2\"/>



Maine Health
Biddeford, ME -





CIEE
Boston, MA -

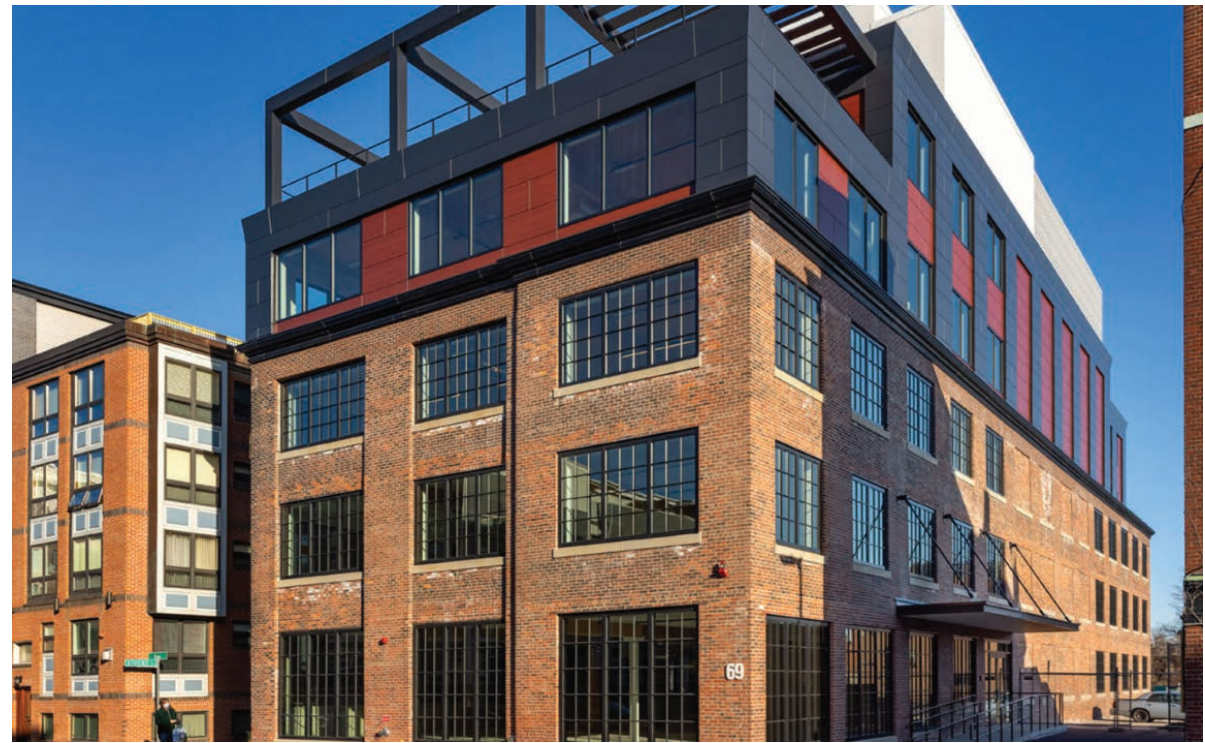
Modern Renovation:

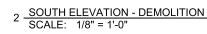
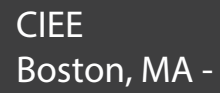
The historic 1920s structure at 69 A Street in South Boston, once the bustling headquarters of the esteemed Standard Rivet Company, embodies an industrial legacy woven into its very essence. Originally comprising three floors and an unfinished basement, its distinctive single-pane windows adorned with steel framing stand as a testament to its storied past.

In our endeavor to honor this rich heritage, our project embraced the transformative potential of cross-laminated timber (CLT). Seamlessly integrating two additional stories, we breathed new vitality into the building, culminating in a striking five-story, 45,000 square foot structure that harmoniously blends its historical roots with contemporary construction methodologies.

Central to our mission was navigating the intricate landscape of permitting procedures, a testament to our team's expertise in orchestrating a seamless journey from concept to realization. The design of the building was meticulously tailored to accommodate either a single tenant or multiple occupants, showcasing its versatility and adaptability to a myriad of usage scenarios.

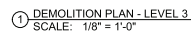
Drawing inspiration from the building's original architectural elements, our team skillfully orchestrated the integration of core volumes while strategically optimizing the placement of windows. This meticulous approach not only preserved the integrity of the original design but also enhanced functionality and aesthetics, ensuring a symbiotic relationship between past and present.





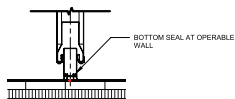
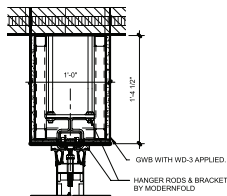
	EXISTING PARTITION TO BE REMOVED
	EXISTING <u>PORION</u> OF PARTITION TO BE REMOVED
	EXISTING PARTITION TO REMAIN
	EXISTING FLOOR TO BE REMOVED
	EXISTING ACT CEILING TO BE REMOVED
	EXISTING GWB CEILING TO BE REMOVED
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR AND HARDWARE TO BE SALVAGED
	EXISTING DOOR TO REMAIN
	DEMO KEY NOTE SYMBOL

0.01	REMOVE ALL FINISH FLOORING AND WALL BASE
0.02	REMOVE ALL HEAVY TIMBER W/ STRUCTURE & STORE FOR RE-USE
0.03	REMOVE DOOR/ WINDOW AND FRAME
0.04	REMOVE PARTITION ASSEMBLY UP TO DECK
0.05	REMOVE CEILING SYSTEM INCLUDING LIGHT FIXTURES & CEILING MOUNTED DEVICES
0.06	REMOVE PIPING/PLUMBING EQUIP. SEE PLUMBING DWG FOR ADDITIONAL INFO
0.07	REMOVE ALL STAIRS IN MILLWORK AND FURNITURE
0.08	REMOVE STARTS AND ASSOCIATED STRUCTURAL COMPONENTS
0.09	REMOVE ELEVATOR/LIFT AND ALL ASSOCIATED EQUIPMENT
0.10	REMOVE BRICK & STORE BEST 90% OF PIECES FOR RE-USE
0.11	REMOVE ELECTRICAL EQUIP. SEE ELECT. DWG FOR ADDITIONAL INFO
0.12	REMOVE HVAC EQUIP. SEE HVAC DWGS FOR ADDITIONAL INFO
0.14	REMOVE PLYED, FINISH FLOOR AND WOOD T&B SUBFLOOR. PREP FOR NEW FLOOR OPENING. REFER TO ARCHITECTURAL DWG FOR WALL LOCATIONS. ALL NEW FLOOR OPENINGS TO BE REASUED TO FACE OF STRUCTURE
0.15	REMOVE PLYED, FINISH FLOOR AND WOOD T&B SUBFLOOR. V.I.F. SCOPE OF EXISTING CONDITIONS TO BE DEMOED AND REFER TO STRUCTURAL DWGS FOR NEW INFILL
0.16	REMOVE WINDOW. REFER TO STRUCTURAL DWGS FOR NEW INFILL

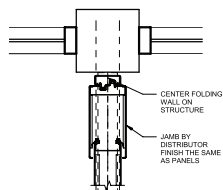




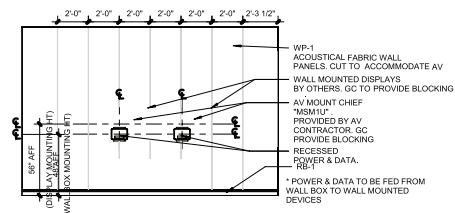
CIE Boston, MA -



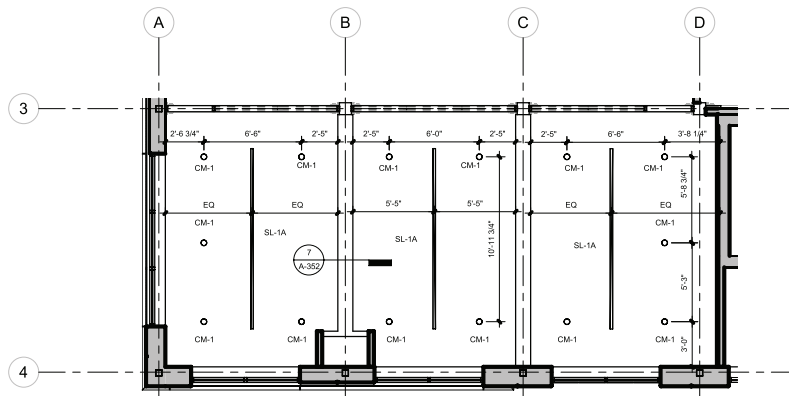
7 SOFFIT DETAIL @ PARTITION SUPPORT TRACK
SCALE: 1 1/2" = 1'-0"



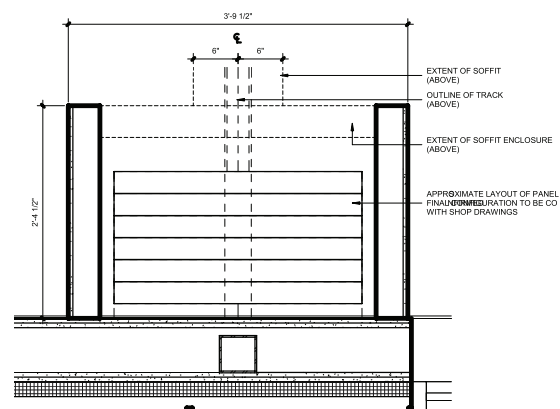
8 PLAN DETAIL @ PARTITION ENDCAP
SCALE: 1 1/2" = 1'-0"



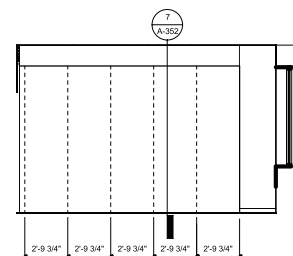
12 ELEVATION @ BOARDROOM 401 - EAST
SCALE: 1/4" = 1'-0"



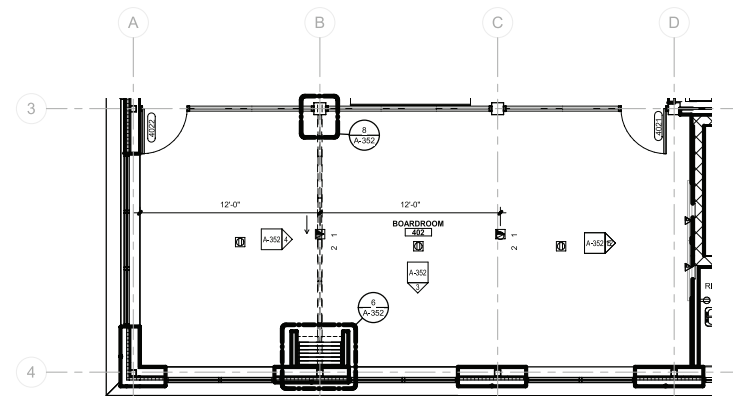
2 ENLARGED RCP - BOARDROOM 402, LEVEL 4
SCALE: 1/4" = 1'-0"



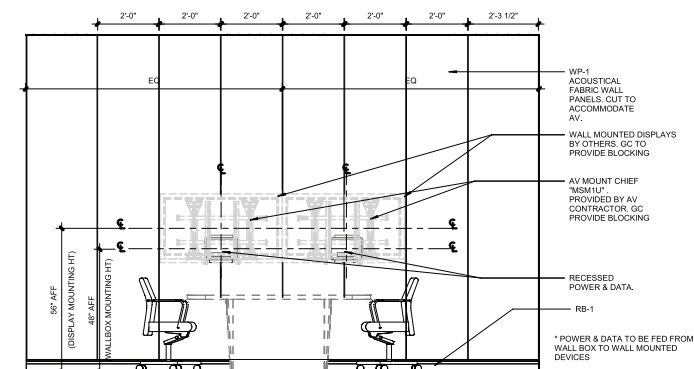
6 PLAN DETAIL @ PARTITION ENCLOSURE
SCALE: 1 1/2" = 1'-0"



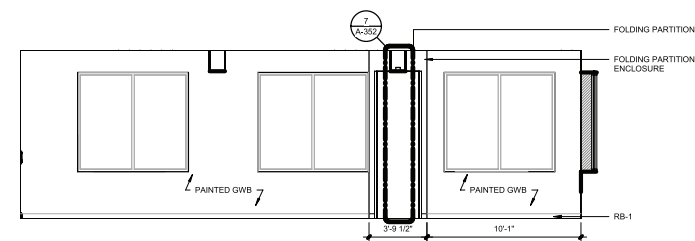
4 ELEVATION @ BOARDROOM 401 - PARTITION TRACK
SCALE: 1/4" = 1'-0"



1 ENLARGED PLAN - BOARDROOM 402, LEVEL 4
SCALE: 1/4" = 1'-0"



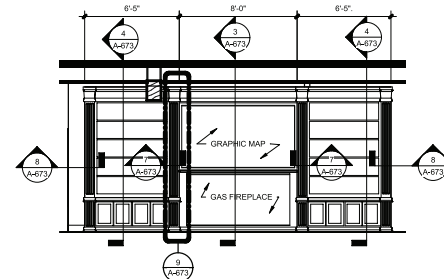
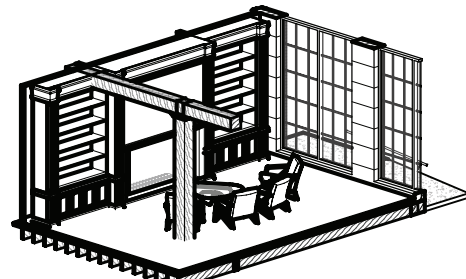
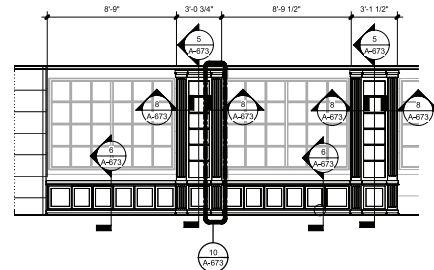
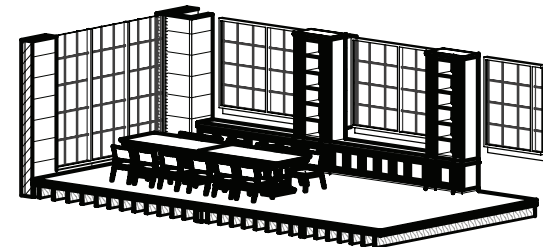
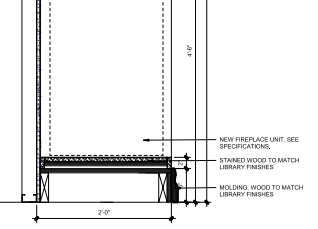
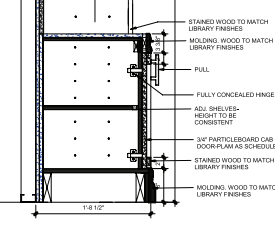
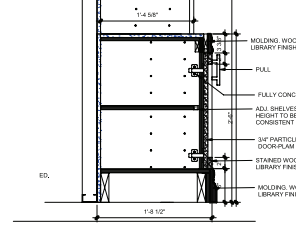
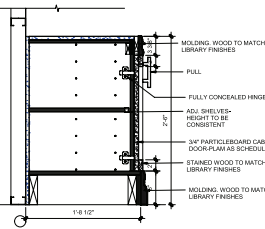
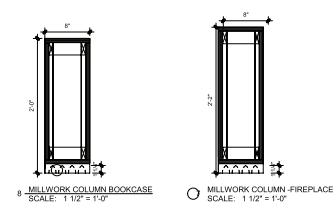
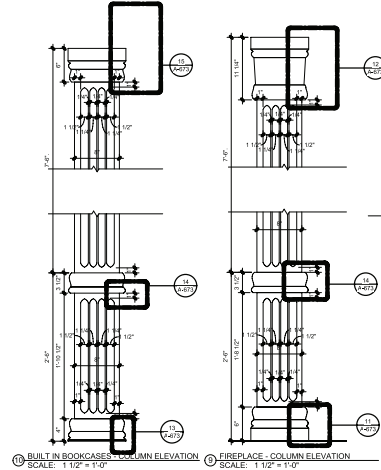
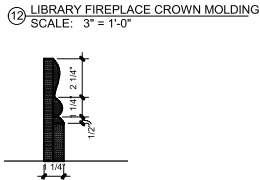
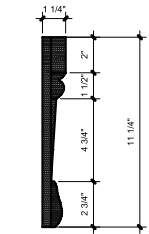
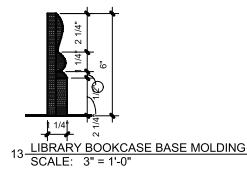
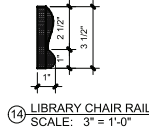
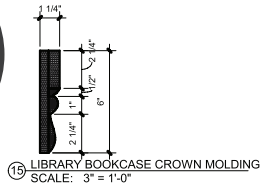
5 ELEVATION @ BOARDROOM 401 - EAST Copy 1
SCALE: 1/2" = 1'-0"



3 ELEVATION @ BOARDROOM 401 - EXTERIOR WALL (SOUTH)
SCALE: 1/4" = 1'-0"



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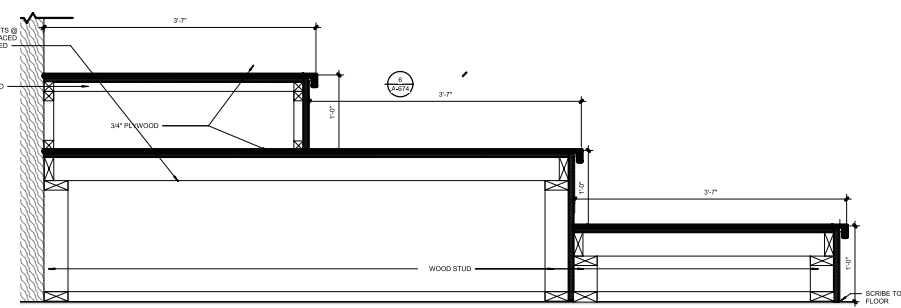
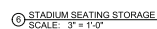
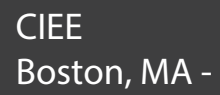


2A LIBRARY BOOCASE MILLWORK
SCALE:

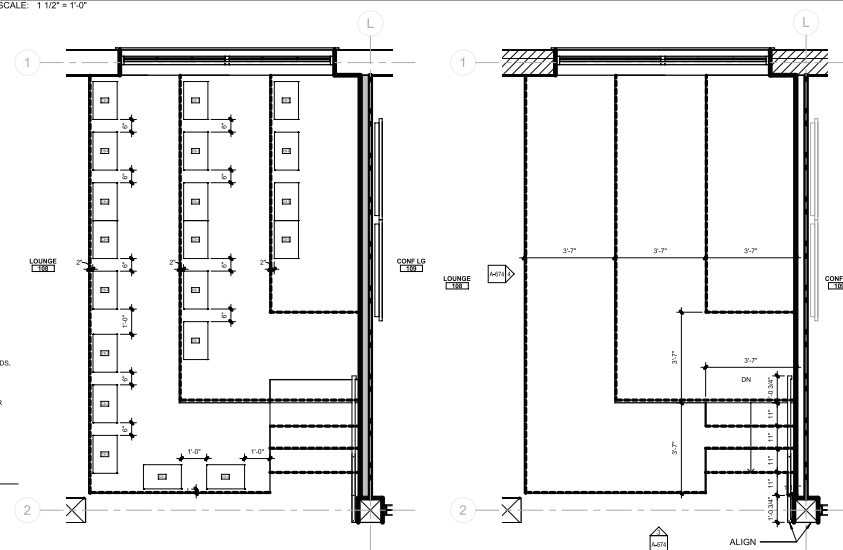
2 LIBRARY - BUILT IN BOOKCASES
SCALE: 1 1/4" = 1'-0"

1A LIBRARY FIREPLACE MILLWORK
SCALE:

1 LIBRARY - FIREPLACE CORNER
SCALE: 1 1/4" = 1'-0"



15 STADIUM SEATING - STEPPED SEATS
SCALE: 1 1/2" = 1'-0"



② ENLARGED LOUNGE 108 STADIUM SEAT CUSHIONS
SCALE: 1/2" = 1'-0"

① ENLARGED LOUNGE 108 STADIUM SEATING
SCALE: 1/2" = 1'-0"



CIEE
Boston, MA -





15 Winter St
Cambridge, MA -

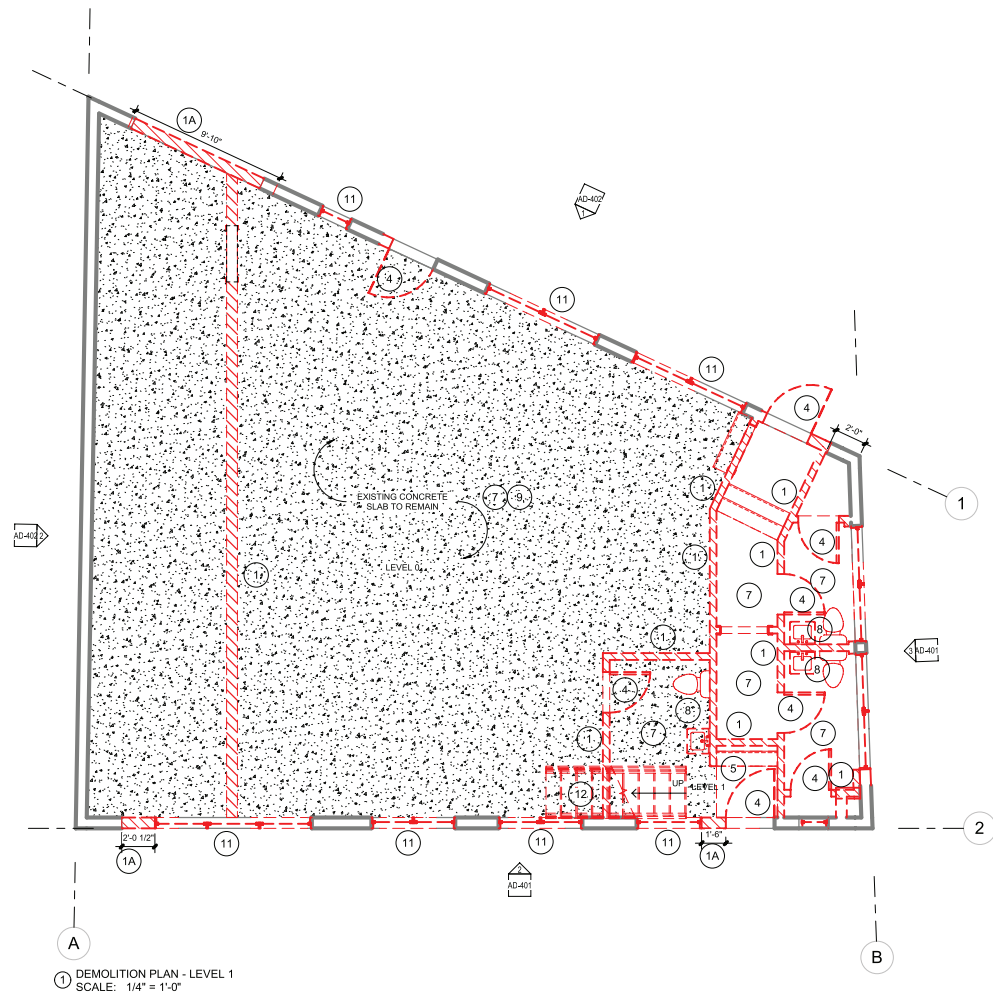
Gut-Renovation:

Renovating an existing building situated on a corner lot, ideal for a new company headquarters. The project involves restoring the property and adding a new second-story rain-screen to seamlessly integrate with the surrounding environment and enhance visual appeal. Interior enhancements include ADA upgrades like a two-and-a-half-story elevator and accessible restrooms. Additionally, security measures have been implemented for two tenants, one per floor, with built-in casework storage/kitchenettes. The space is furnished with vibrant colors to evoke youthful energy, making it an ideal fit for modern startups.





15 Winter St
Cambridge, MA -



1 DEMOLITION PLAN - LEVEL 1
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN LEGEND			
	EXISTING PARTITION TO BE REMOVED		EXISTING DOOR TO BE REMOVED
	EXISTING PARTITION TO REMAIN		EXISTING DOOR TO REMAIN
	EXISTING FLOOR FINISH TO BE REMOVED		

DEMOLITION KEYNOTE LEGEND	
NOTE #	DEMO NOTE
1	REMOVE WALLS
1A	<varies>
2	REMOVE CEILING
3	REMOVE EXISTING FLOOR JOIST FLOOR FRAMING AND CEILING BELOW AS SHOWN
4	REMOVE DOOR & FRAME
5	REMOVE MILLWORK
6	REMOVE EQUIPMENT
7	REMOVE ALL LIGHT FIXTURES & CEILING MOUNTED DEVICES
8	REMOVE PLUMBING AND/OR FIXTURE
9	<varies>
11	<varies>
12	REMOVE EXISTING STAIRWELL
13	CUT NEW OPENING IN DECK, COORD. SIZE W/ NEW CONSTRUCTION DWGS, REINFORCE OPENING AS REQ'D. REFER TO STRUCTURAL DWGS.

- ### ARCHITECTURAL DEMOLITION NOTES
- THESE DEMOLITION DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF THE WORK. THE GENERAL CONTRACTOR SHALL VERIFY THE SITE PRIOR TO DEMOLITION AND VERIFY THE INFORMATION HEREIN SUPPLIED.
 - DEMOLITION IS INTENDED TO REMOVE EVERYTHING NECESSARY TO ALLOW NEW CONSTRUCTION TO BE ACCOMPLISHED. SEE DRAWINGS SHOWING PROPOSED NEW CONSTRUCTION.
 - THE GENERAL CONTRACTOR WILL HAVE THE SOLE RESPONSIBILITY FOR VERIFYING CONDITIONS AT THE PROJECT SITE TO PROVIDE FOR A SAFE AND ORDERLY PERFORMANCE OF THE WORK.
 - ALL DEMOLITION OPERATIONS SHALL BE PERFORMED SO AS TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE.
 - DISPOSAL OF ALL DEMOLITION DEBRIS IS TO BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 - PRIOR TO COMMENCING DEMOLITION WORK INVOLVING STRUCTURAL SUPPORT MEMBERS OF ANY KIND, THE GENERAL CONTRACTOR MUST NOTIFY THE ARCHITECT/ENGINEER IN ORDER TO INSPECT EXISTING CONDITIONS.
 - INsofar AS CONSTRUCTION OPERATIONS MAY REQUIRE IT, THE GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR DETERMINING THE NEED FOR DESIGNING AND INSTALLING TEMPORARY SUPPORTS.
 - UNDER NO CIRCUMSTANCES SHALL ANY EXISTING FOUNDATION BE UNDERMINED OR ANY STRUCTURAL MEMBER ALTERED IN ANY WAY THAT WILL ADVERSELY EFFECT THE EXISTING WORK TO REMAIN.
 - LOCATIONS OF NEW OPENINGS ARE SHOWN ON NEW DRAWINGS. THE GENERAL CONTRACTOR WILL REVIEW SUCH LAYOUT FOR COORDINATION WITH NEW CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO DEMOLITION.
 - THE GENERAL CONTRACTOR SHALL TAKE APPROPRIATE AND REASONABLE MEASURES TO MINIMIZE NOISE, DUST AND OTHER OBSTRUCTIONS TO BUILDING OCCUPANTS AND NEIGHBORS.
 - SEE FLOOR PLANS AND GENERAL NOTES FOR ITEMS TO BE SALVAGED. ITEMS OF SALVAGEABLE VALUE TO THE GENERAL CONTRACTOR AND NOT IDENTIFIED IN THE FLOOR PLAN OR GENERAL NOTES MAY BE REMOVED FROM THE PREMISES AS WORK PROGRESSES.
 - DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
 - THE GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR ALL SAFETY MEASURES, INCLUDING BUT NOT LIMITED TO THOSE REQUIRED BY THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE.
 - CAP ALL ABANDONED UTILITY SERVICES INCLUDING PLUMBING, GAS AND ELECTRICAL IN ACCORDANCE WITH CODES.
 - REMOVE EXISTING ADHESIVE AS REQUIRED TO ALLOW PROPER INSTALLATION OF NEW FLOORING, PER MANUFACTURER'S REQUIREMENTS.
 - ALL EXISTING SUBFLOOR UTILITIES TO BE REMOVED AND CAPPED AS REQUIRED.
 - SOME OF THE NEW OPENINGS MAY BE UNDER CURRENT JOIST & BEAM BEARING LOCATIONS. ALL FLOOR & ROOF FRAMING SHOULD BE SHORED ACCORDINGLY BY THE G.C.



15 Winter St
Cambridge, MA -

LIGHTING FIXTURE SCHEDULE

TYPE	FIXTURE TYPE	MANUFACTURER	Description	FINISH	Model	Initial Color Temperature	MOUNTING INSTRUCTIONS	REMARKS
L1	INTERIOR WALL WASH	PINNACLE	8" WALL WASH STRIP	-	EDGE SERIES: EW-1T5-F-GS-120-1D-W	4200 K		
L2	UNDER CABINET LIGHT	ACUTY BRANDS LIGHTING	SHALLOW UNDER CABINET LIGHT	-	RAZ-24-30K-80CRI	3200 K		
L3	EXTERIOR WALL WASH	ACUTY BRANDS LIGHTING	SURFACE MOUNTED EXTERIOR WALL WASH STRIP	BKT	MARKLINE S01 SERIES: MKS001-LLP-MSL3-M500FMC-650LMF-WW-WV-D1-TBLK	3200 K		
P1	PORTAL PENDANT	FLUXWERX	DECORATIVE PENDANT 9"	WHITE	TC1-P-DS-S-03-W-W-M2-2-9-35	3500 K	<varies>	<varies>
P2	LINEAR PENDANT	LUMENWERX	SUSPENDED LINEAR PENDANT - DIRECT/INDIRECT, 72 INCH LENGTH	WHITE	VIA1-5P-DI-HLO-FH-WDQ-SW-8-0-35-UNVAL	3500 K	SUSPENSION LENGTH TO BE DETERMINED IN FIELD W/ ARCHITECT	<varies>
P3	MICRO RING I	BETA-CALCO	SUSPENDED CIRCULAR PENDANT - DIRECT/INDIRECT, 84 INCH DIAMETER	SILVER METALLIC	95-3150-D35-N35-S1-M5	3500 K	SUSPENSION LENGTH TO BE DETERMINED IN FIELD W/ ARCHITECT	DIMMED TO 25% OF STANDARD LUMEN OUTPUT
P4	MICRO RING I	BETA-CALCO	SUSPENDED LINEAR PENDANT - DIRECT/INDIRECT, 72 INCH LENGTH	SILVER METALLIC	95-3140-D35-N35-S1-M5	3500 K	<varies>	DIMMED TO 25% OF STANDARD LUMEN OUTPUT
P5	MICRO RING I	BETA-CALCO	SUSPENDED LINEAR PENDANT - DIRECT/INDIRECT, 60 INCH LENGTH	SILVER METALLIC	95-3140-D35-N35-S1-M5	3500 K	SUSPENSION LENGTH TO BE DETERMINED IN FIELD W/ ARCHITECT	DIMMED TO 25% OF STANDARD LUMEN OUTPUT
RC1	RECESSED CAN	FLUXWERX	RECESSED CAN LED DOWNLIGHT	WHITE	TC1-R-DS-G-K1-W-W-W1-9-35	3500 K		<varies>
RC2	LED DOWNLIGHT	LUMENWERX	RECESSED CAN LED DOWNLIGHT	WHITE	VOXLA-V04MR1-TM1-SW-OF-ASS-UNV-D1-V04	3500 K		<varies>
RL1	WHISPER LED	MARK ARCHITECTURAL LIGHTING	TRACER 2 X 2	WHITE	AVANTE-2AVL2-3500	3500 K		<varies>

REFLECTED CEILING PLAN NOTES

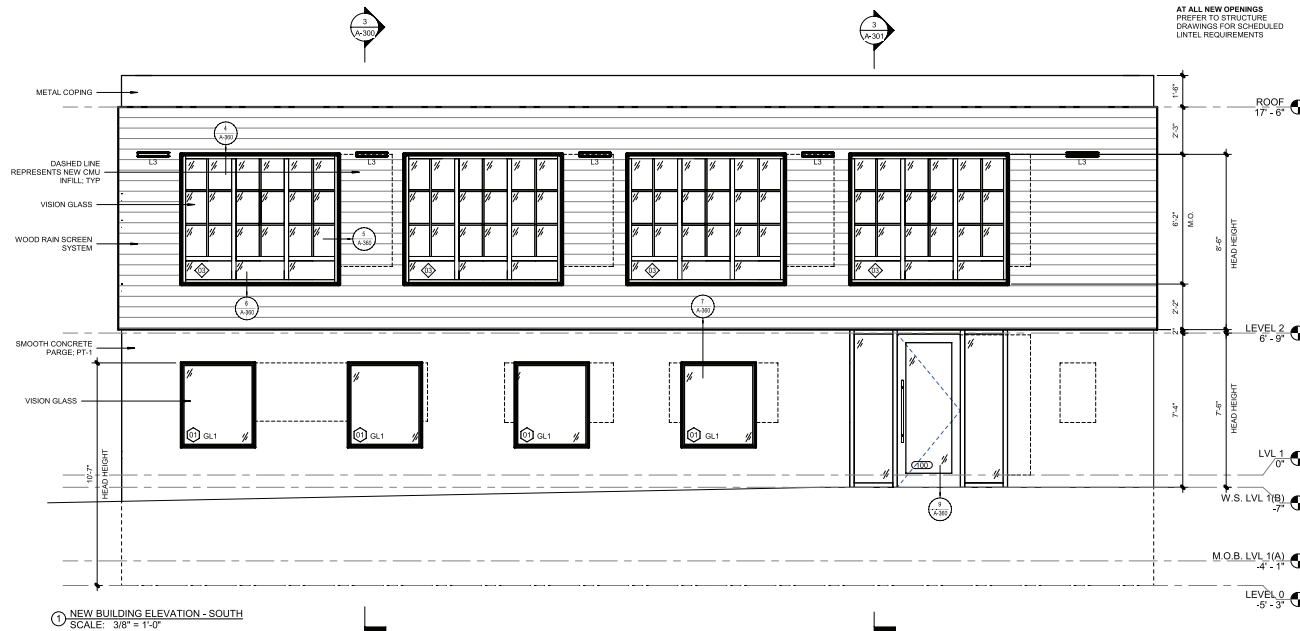
- EXISTING GYPSUM WALLBOARD CEILINGS ARE TO BE PATCHED AND REPAIRED TO A FINISH LEVEL CONSISTENT WITH NEW WORK.
- DOWN LIGHTS, WALL WASHERS, SMOKE DETECTORS, EXIT SIGNS, AND OTHER CEILING MOUNTED DEVICES ARE TO BE CENTERED IN CEILING TILES AND GYPSUM WALLBOARD SOFFITS, UNLESS OTHERWISE NOTED.
- ANY MECHANICAL AND ELECTRICAL DEVICES, SUCH AS BUT NOT LIMITED TO SPRINKLER HEADS, LIGHTING FIXTURES, AND LIFE SAFETY DEVICES, MOUNTED ON THE CEILING ARE TO BE CENTERED IN CEILING TILES AND GYPSUM WALLBOARD SOFFITS IN BOTH DIRECTIONS, UNLESS OTHERWISE NOTED.
- DIMENSIONS OF FIXTURES, DEVICES, ETC. ARE REFERENCED TO THE CENTERLINE OF FIXTURE, UNLESS OTHERWISE NOTED. WHERE ITEMS ARE IN LINE, ALIGN THE CENTERLINE OF ITEMS OR GROUP OF ITEMS, UNLESS OTHERWISE NOTED. WHERE DIMENSIONS ARE NOT PROVIDED, REFER TO ENLARGED PLANS FOR TYPICAL DIMENSIONS.
- THE LAYOUT OF ACOUSTICAL TILE CEILINGS IS TO BE CENTERED IN ROOMS, UNLESS OTHERWISE NOTED. REFER TO REFLECTED CEILING PLAN FOR LAYOUT OF GRID LINE OR TILE TO BE CENTERED. CUT CEILING TILES TO BE 3 INCHES MINIMUM. NOTIFY THE ARCHITECT IF LESS, PRIOR TO CONSTRUCTION.
- SPRINKLER HEADS ARE SHOWN IN ARCHITECTURAL/INTERIOR DRAWINGS FOR DESIGN INTENT ONLY. SEE FIRE PROTECTION CONTRACT DRAWINGS AND APPROVED SHOP DRAWINGS FOR DISTRIBUTION AND HYDRAULIC CALCULATIONS.
- CEILINGS TO BE OPEN, UNLESS OTHERWISE NOTED.
- ALL HVAC, PLUMBING, FIRE PROTECTION, ELECTRICAL AND LIFE SAFETY DEVICE LOCATIONS NOT SHOWN ON DRAWINGS, OR IN CONFLICT WITH THE HVAC, PLUMBING, FIRE PROTECTION, ELECTRICAL AND LIFE SAFETY DRAWINGS, ARE TO BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION.
- THE GENERAL CONTRACTOR WILL COORDINATE LOCATIONS OF ALL CEILING ELEMENTS AND PROVIDE COMPLETE COORDINATION DRAWINGS FOR REVIEW BY THE ARCHITECT AND ENGINEER FOR APPROVAL.
- NEW CEILINGS ARE TO ALIGN VERTICALLY WITH EXISTING CEILINGS, UNLESS OTHERWISE NOTED.

REFLECTED CEILING PLAN LEGEND

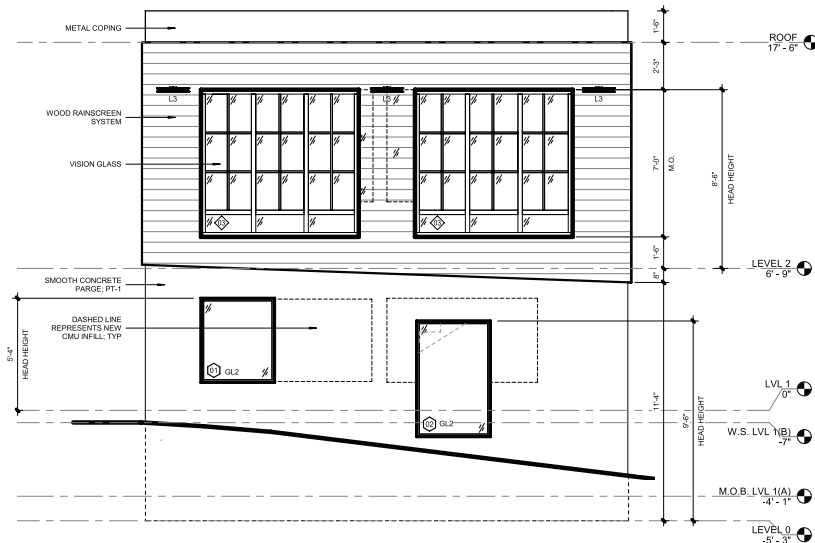
TYP SYMBOL NOMENCLATURE: E: EXISTING FIXTURE XN: NEW LOCATION OF SALVAGED FIXTURE			EXIT SIGN - CEILING MOUNTED
	2x2 ACOUSTIC CEILING TILE		OCCUPANCY SENSOR
	2x4 ACOUSTIC CEILING TILE		JUNCTION BOX
	GYPSUM BOARD CEILING / SOFFIT		OUTLET - DUPLEX CEILING MOUNTED
	CEILING TYPE KEY		OUTLET - TELDATA FLOOR OR CEILING MOUNTED
	CEILING HEIGHT, ABOVE FINISHED FLOOR		POWER POLE
	4' STRIP FIXTURE		SPEAKER
	1' x 4' LAY-IN FIXTURE		PROJECTION SCREEN
	2x2 LAY-IN FIXTURE		WIRE TRAY
	2x4 LAY-IN FIXTURE		SECURITY CAMERA
	RECESSED DOWNLIGHT		SUPPLY DIFFUSER, LINEAR
	DECORATIVE RECESSED DOWNLIGHT		RETURN DIFFUSER, LINEAR
	RECESSED WALL WASHER		SUPPLY DIFFUSER
	DOWNLIGHT, WALL WASHER		RETURN DIFFUSER
	MONOPOINT		SPRINKLER
	4' TRACK LIGHT - TRIANGLES INDICATE # OF FIXTURES		SPRINKLER, CONCEALED
	WALL SCONCE		WINDOW TREATMENT CEILING MOUNTED
	PENDANT FIXTURE		EMERGENCY LIGHT
	LINEAR PENDANT FIXTURE		RECESSED LINEAR STRIP
	UNDER CABINET FIXTURE		LINEAR PERIMETER TROUGH



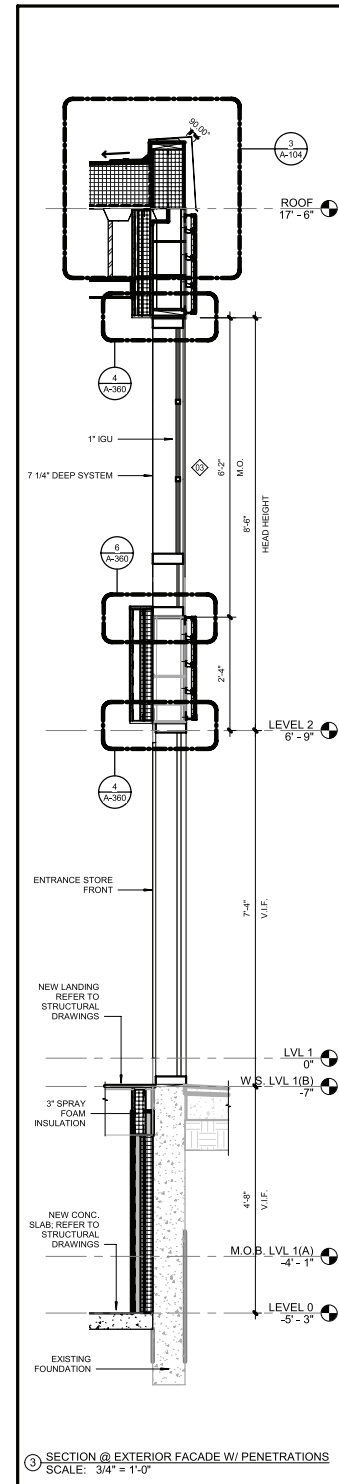
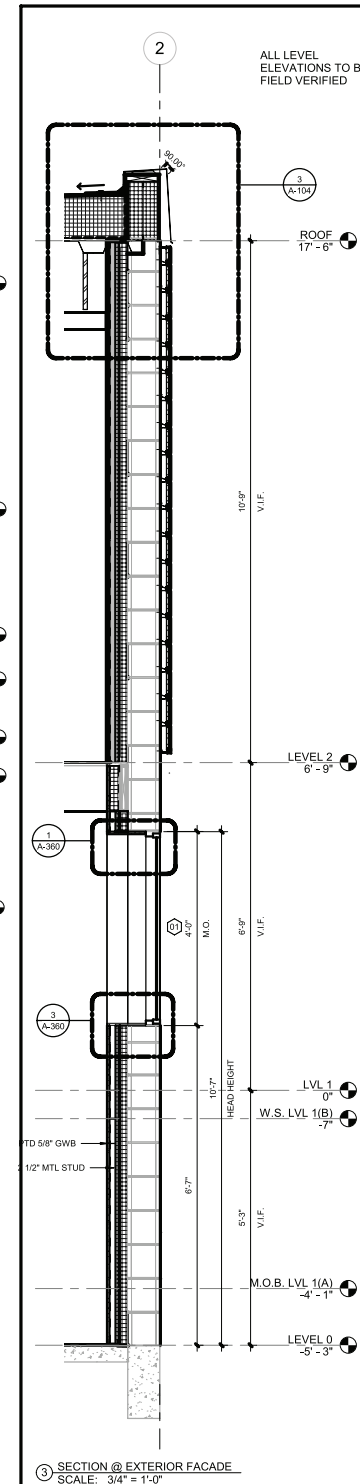
15 Winter St
Cambridge, MA -



AT ALL NEW OPENINGS
PREFER TO STRUCTURE
DRAWINGS FOR SCHEDULED
UNITE REQUIREMENTS

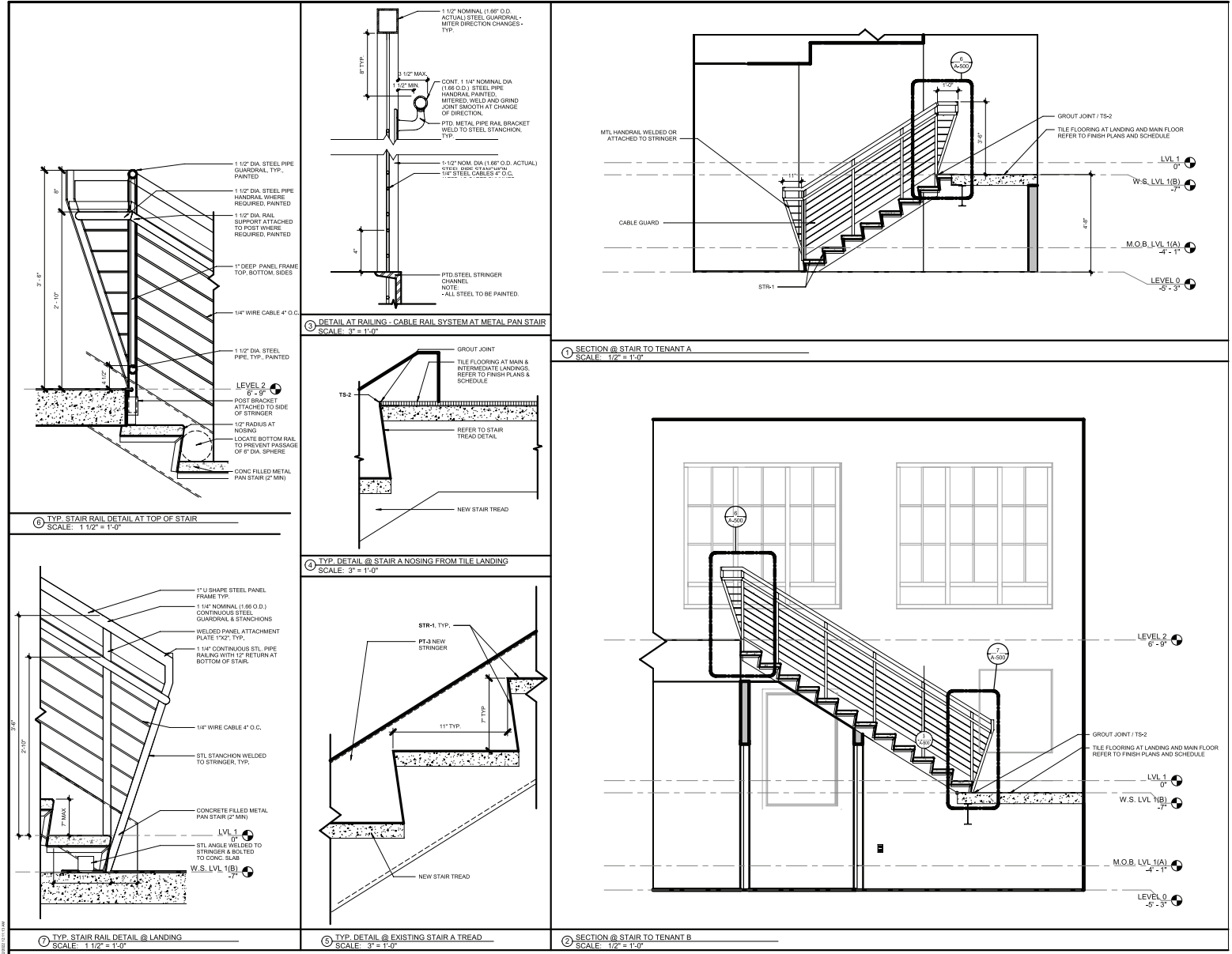
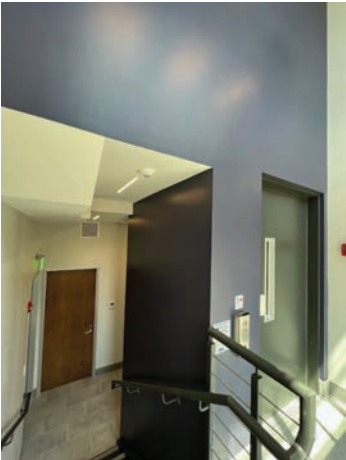


2 NEW BUILDING ELEVATION - EAST
SCALE: 3/8" = 1'-0"





15 Winter St Cambridge, MA -





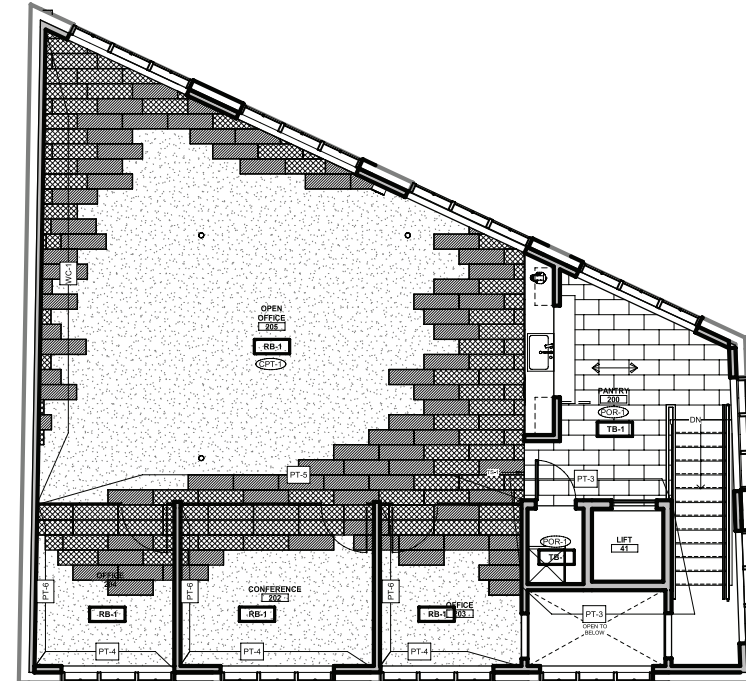
 OUTLET - DUPLEX  OUTLET - DUPLEX, GFI  OUTLET - DUPLEX, DEDICATED  OUTLET - QUADRAPLEX  OUTLET - QUADRAPLEX, DEDICATED  OUTLET - DUPLEX, CEILING MTD  SWITCH	 CARD READER  SECURITY CAMERA  FIRE ALARM HORN STROBE, WALL MOUNTED  SPEAKER  THERMOSTAT  OUTLET - TELDATA
<p>(2) NETWORK & (2) DUPLEX OUTLETS. COORDINATE WITH CLIENT ON HEIGHTS AND LAYOUT. CONNECTIONS TO EXTEND TO TABLE.</p> <p>(2) NETWORK & (2) DUPLEX OUTLETS. COORDINATE WITH CLIENT ON HEIGHTS AND LAYOUT.</p>	<p>(E) EXISTING TO REMAIN</p>

1. FURNITURE WILL BE SUPPLIED BY THE OWNER. FURNITURE IS INDICATED IN THE DRAWINGS FOR COORDINATION PURPOSES ONLY.
2. THE GENERAL CONTRACTOR WILL SCHEDULE A MEETING ON SITE WITH THE ARCHITECT TO REVIEW THE FURNITURE LAYOUT AND TO COORDINATE ELECTRICAL REQUIREMENTS DURING THE ELECTRICAL ROUGH-IN PHASE. REFER TO POWER AND SIGNAL DRAWINGS FOR FURTHER INFORMATION AND REQUIREMENTS.

ACT	ACOUSTIC TILE CLG	
CPT	CARPET	
GWB	GERMANIC TILE	
LAM	GWB	
LIN	PLUM	
PPR	UNGLAZED TILE	
PT	PORCELAIN TILE	
SS	PAINT	
TS	SS	
VB	TRANSITION STRIP	
VCT	VB	
VF	VCT	
WD	VINYL FILM	
WC	WOOD	
WP	WALL COVERING	
WD	WD PANEL	
WD	WD BASE	

	WALL FIN TAG
	FIN TAG

DIRECTION OF CPT



A cross-sectional diagram of a floor assembly. From top to bottom, the layers are: a thin layer of floor tile, a layer of grout, a transition strip, a concrete slab (labeled 'CONC SLAB'), and a base layer. The diagram includes labels with leader lines pointing to the following components:

- FLOOR TILE. REFER TO FINISH PLANS FOR TYPE
- GROUT JOINT AT EDGE
- TS-1 TRANSITION STRIP
- CPT. REFER TO FINISH PLANS FOR TYPE
- CONC SLAB

[illegible]

A cross-sectional diagram of a stone wall base. The diagram shows a concrete slab at the bottom, with a stone setting bed on top of it. The stone setting bed is composed of a layer of stone and a layer of grout. Above the stone setting bed is a layer of stone, followed by a layer of grout. The top of the wall is finished with a stone and a grout joint. The diagram is labeled with various components and their dimensions.

- DR. UC PER DRAWINGS B.O.
- DR. FRAME BEYOND
- STONE THR PER FINISH SCHEDULE
- GROUT JNT
- STONE, RE TO FIN PLANS FOR TYPE
- STONE SETTING BED
- GROUT INT AT EDGE
- TILE F.L.G. RE TO FIN PLANS FOR SPEC
- CONC SLAB

TYPICAL CARPET LAYOUT -
12"x36" TILES: VERTICAL ASHLAR PATTERN

Diagram illustrating the typical carpet layout for 12"x36" tiles in a vertical ashlar pattern. The layout shows a staggered arrangement of rectangular tiles. Key dimensions are indicated:

- Horizontal offset between the start of two rows: 3'-0"
- Vertical offset between the start of two rows: 1'-0"
- Horizontal offset between the start of two rows (for the staggered pattern): 8"
- Horizontal offset between the start of two rows (for the staggered pattern): 8"
- Horizontal offset between the start of two rows (for the staggered pattern): 8"
- Horizontal offset between the start of two rows (for the staggered pattern): 1'-4"

⑤ TYPICAL CPT PATTERN
SCALE: 3/8" = 1'-0"



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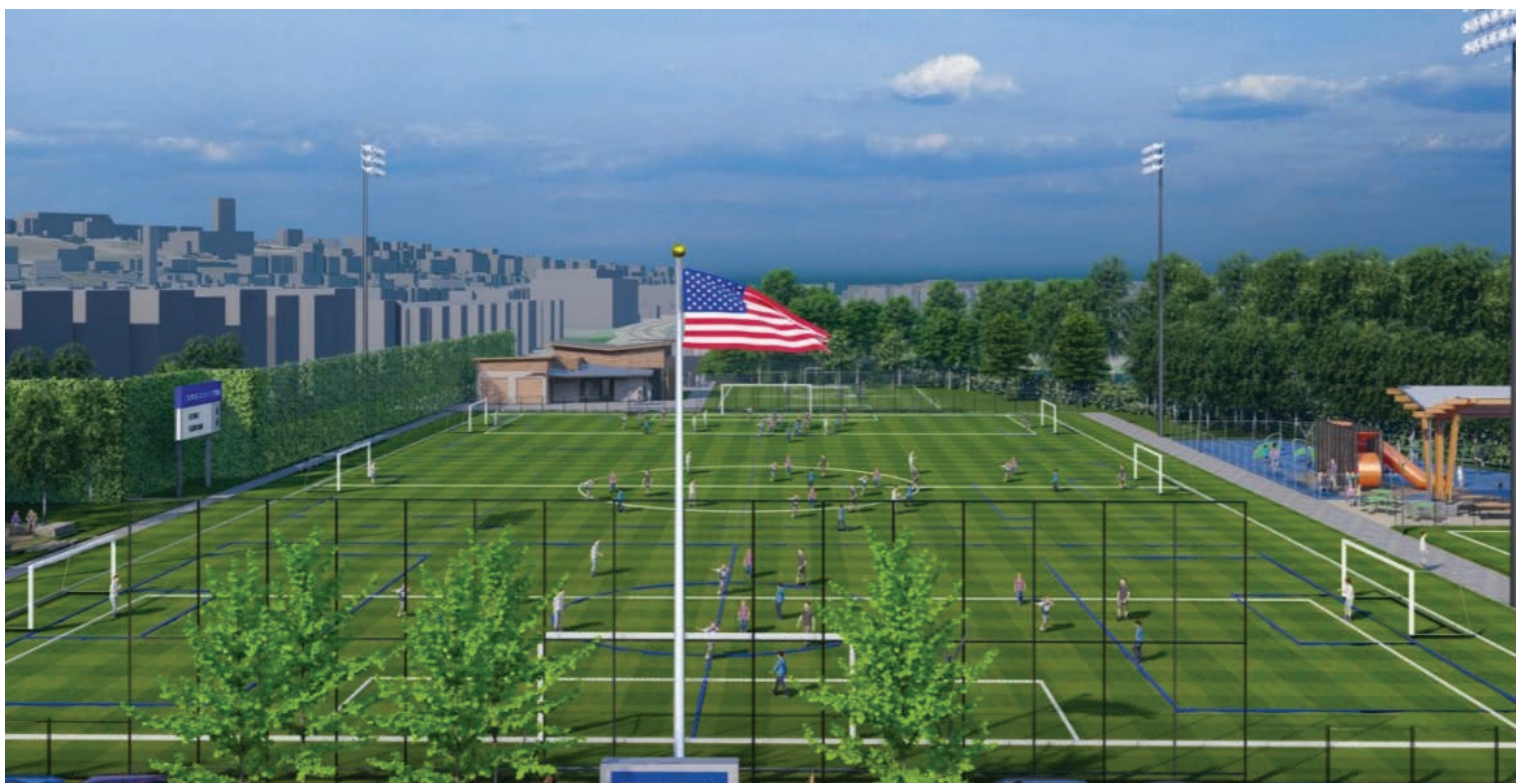


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Sports Structure:

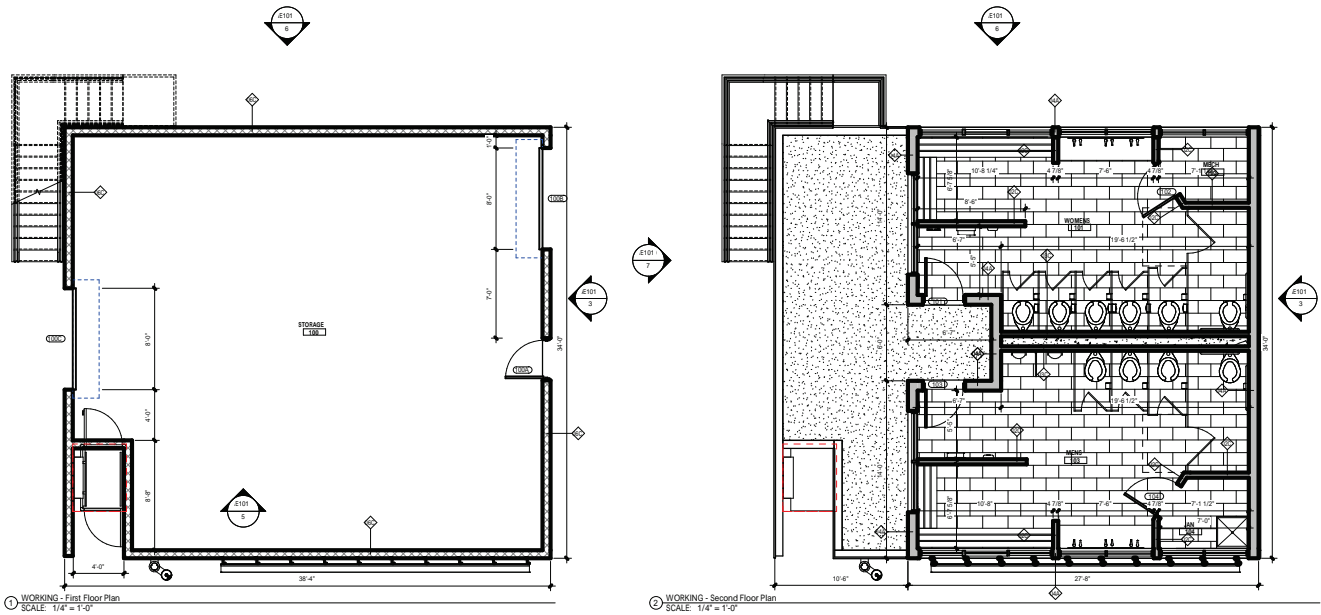
Establishment of a new headquarters dedicated to their youth initiatives and administrative functions. After extensive property exploration, the organization partnered with the Salesian Boys and Girls Club of East Boston to renovate an existing building into a shared space. This renovated facility will house staff offices, youth program areas, and a coach training room. Furthermore, the project encompasses the development of high-quality soccer fields nearby, accompanied by amenities such as restrooms, a playground, outdoor classroom, walking path, and parking facilities.

The new headquarters will facilitate Boston Scores in significantly expanding their youth outreach efforts while enhancing program quality. Additional enhancements include the installation of an elevator for improved accessibility throughout the Boys and Girls Club building and the reconstruction of the parking lot to incorporate eco-friendly stormwater management and more activity spaces for local youth.



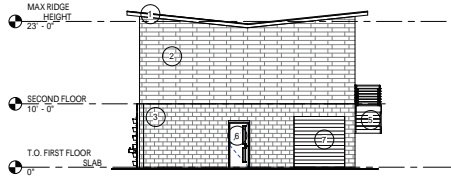


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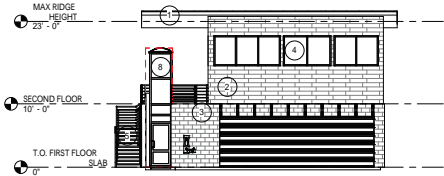


MATERIAL NOTES

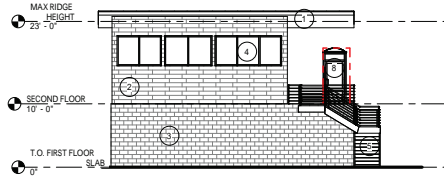
1. STANDING BEAM METAL ROOF
2. HORIZONTAL NICKEL GAP SIDING BY BORAL OR EQUAL
3. SPLIT FACE CMU BLOCK
4. ALUMINUM FRAME DIRECT SET WINDOW OR STOREFRONT
5. EXTERIOR STAIRCASE
6. INSULATED METAL EXTERIOR DOOR
7. INSULATED OVERHEAD DOOR
8. EXTERIOR LIFT BY GARAVENTA OR EQUAL



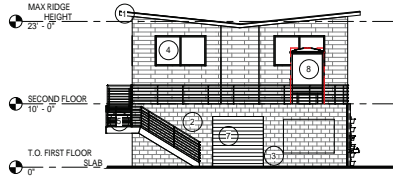
3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



5 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



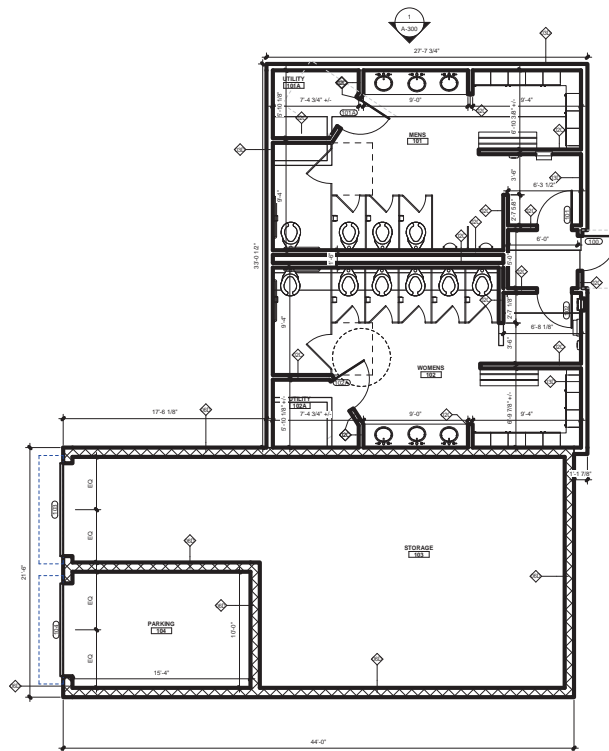
6 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



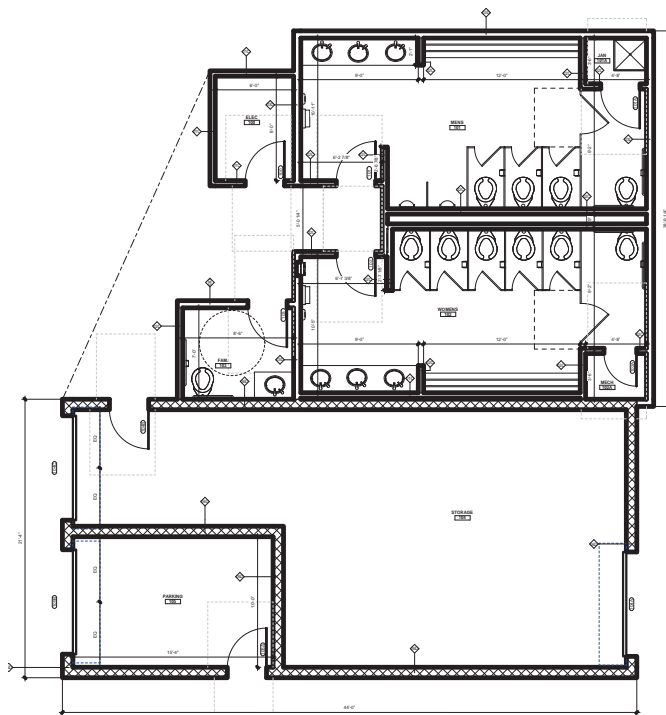
7 WEST ELEVATION
SCALE: 1/8" = 1'-0"



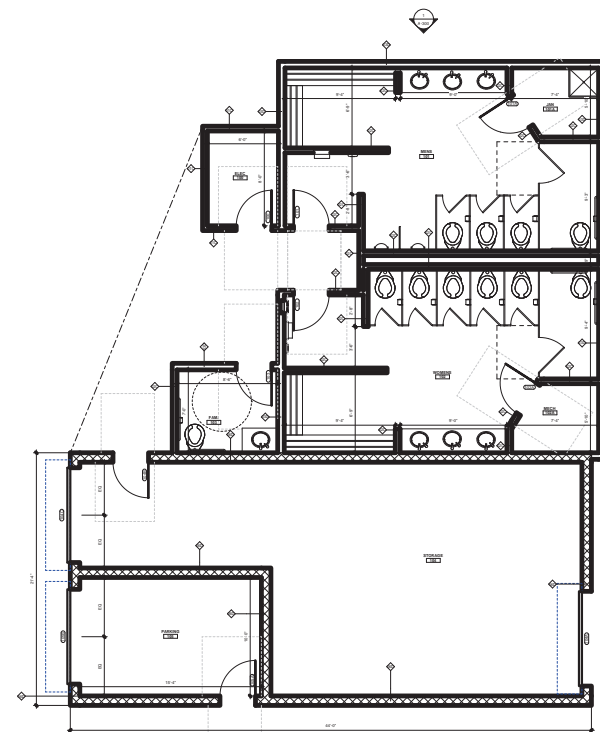
Boston Scores
Boston, MA -



① FIELD HOUSE CONSTRUCTION PLAN LEVEL 1 - OPTION 3
SCALE: 1/4" = 1'-0"



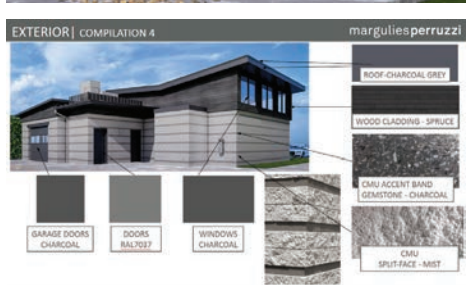
① FIELD HOUSE CONSTRUCTION PLAN LEVEL 1 - OPTION 1
SCALE: 3/8" = 1'-0"



① FIELD HOUSE CONSTRUCTION PLAN LEVEL 1 - OPTION 2
SCALE: 3/8" = 1'-0"



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MATERIAL NOTES

1. STANDING SEAM METAL ROOF
2. HORIZONTAL NICKEL GAP SIDING BY BORAL OR EQUAL
3. SPLIT FACE CMU BLOCK
4. ALUMINUM FRAME DIRECT SET WINDOW OR STOREFRONT
5. VERTICAL WOOD SCREENING FOR MECHANICAL
6. 1" INSULATED GLAZING UNITS W/ LOW-E COATING
7. INSULATED METAL EXTERIOR DOOR
8. INSULATED OVERHEAD DOOR
9. FLAT SEAM METAL CANOPY ROOFING
10. EPDM ROOFING MEMBRANE

04 20 00 MASONRY

04 20 00 CMU BLOCK

CMU-1
TYPE: KINITE
MFR: YORK BUILDING PRODUCT
STYLE: SPLIT FACE
COLOR: MIST
SIZE: 8x8x16
INSTALL: BRICK
NOTE: ---
CONTACT: ---

CMU-2
TYPE: POLISHED CMU BLOCK
MFR: YORK BUILDING PRODUCTS
STYLE: GEMSTONE
COLOR: CHARCOAL
SIZE: 8x8x16
INSTALL: BRICK
NOTE: ---
CONTACT: ---

07 46 00 WOOD SIDING

07 46 00 WOOD SIDING

W/S-1
TYPE: WOOD COLLECTION
MFR: THERMORY
STYLE: KINITE
COLOR: SPRUCE CLADDING - GROOVED C20
SIZE: 1 X 6
INSTALL: BRICK
NOTE: ---
CONTACT: ---

08 00 00 DOORS

08 10 00 DOORS

ALL
MFR: CECO
MODEL: ENCORE
COLOR: RAL 7043

08 30 00 GARAGE DOORS

105A
MFR: CLOPLAY
TYPE: INDUSTRIAL OVERHEAD
MODEL: ENERGY SERIES
COLOR: CHARCOAL

08 50 00 WINDOWS

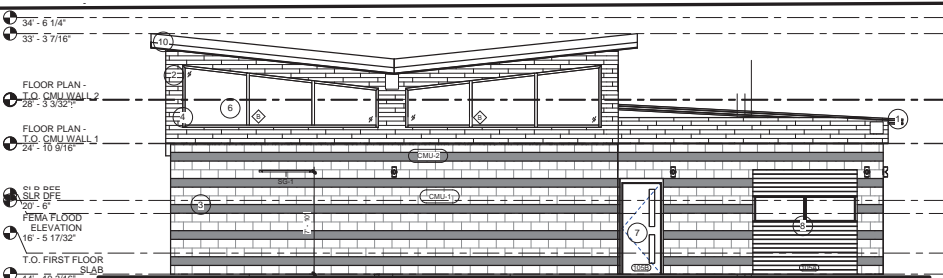
08 50 00 WINDOWS

A-F
MFR: KAWNEER
MODEL: ENCORE
COLOR: SLICK

09 90 00 PAINT & COATINGS

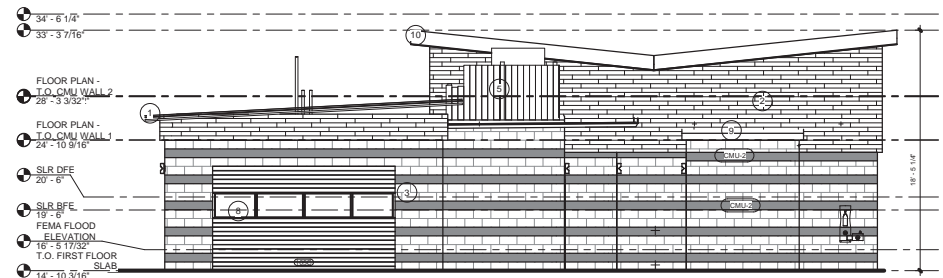
09 91 00 PAINT

P-5
MFR: SHERWIN WILLIAMS
COLOR: CITY SCAPE 7067
FINISH: EGGSHELL
LOCATION: DOWNSPOUTS/OUTTERS



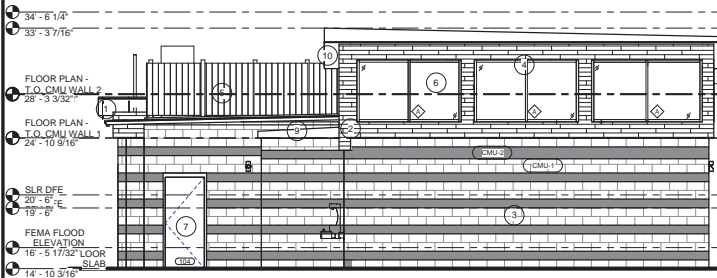
2. EAST ELEVATION @ FIELD HOUSE

SCALE: 1/4" = 1'-0"



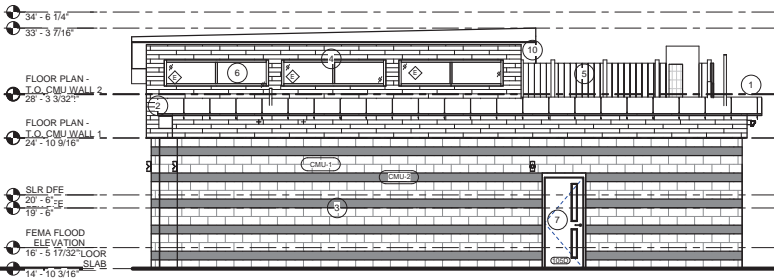
4. WEST ELEVATION @ FIELD HOUSE

SCALE: 1/4" = 1'-0"



1. NORTH ELEVATION @ FIELD HOUSE

SCALE: 1/4" = 1'-0"

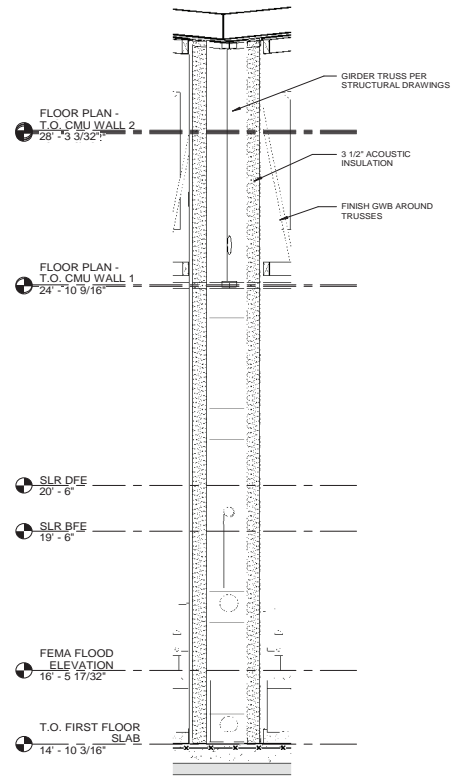


3. SOUTH ELEVATION @ FIELD HOUSE

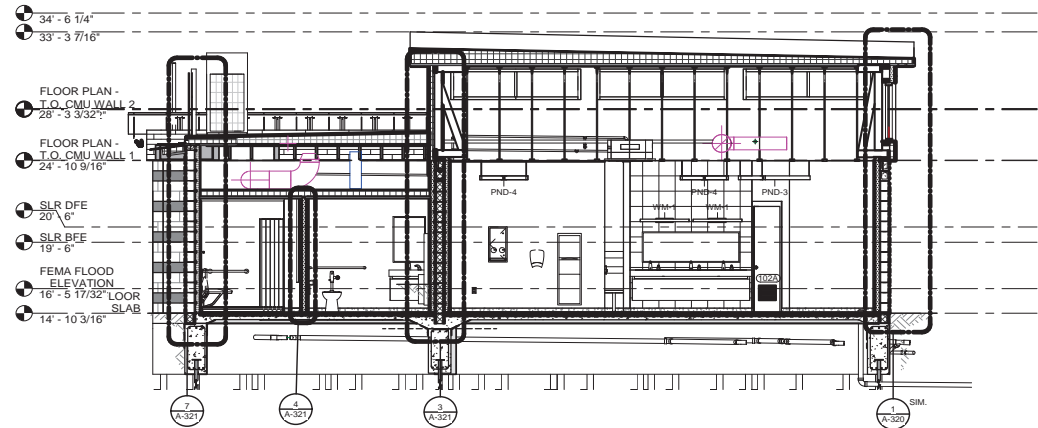
SCALE: 1/4" = 1'-0"



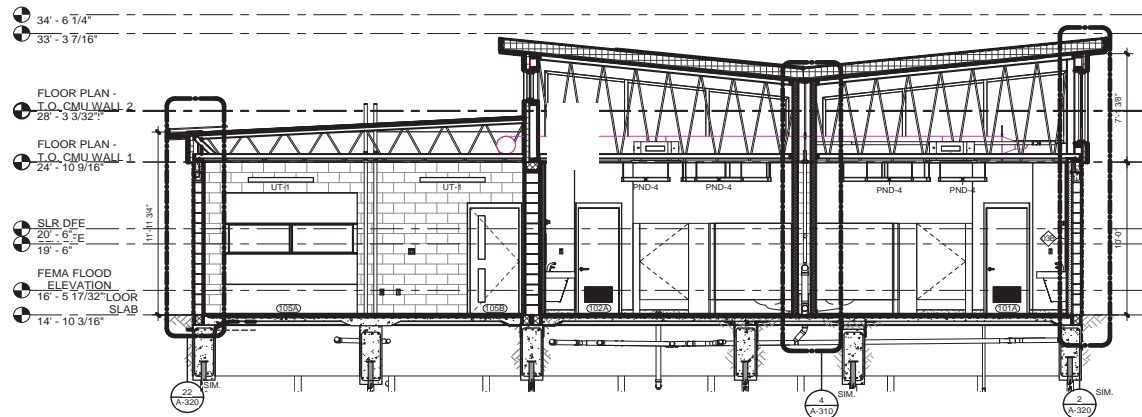
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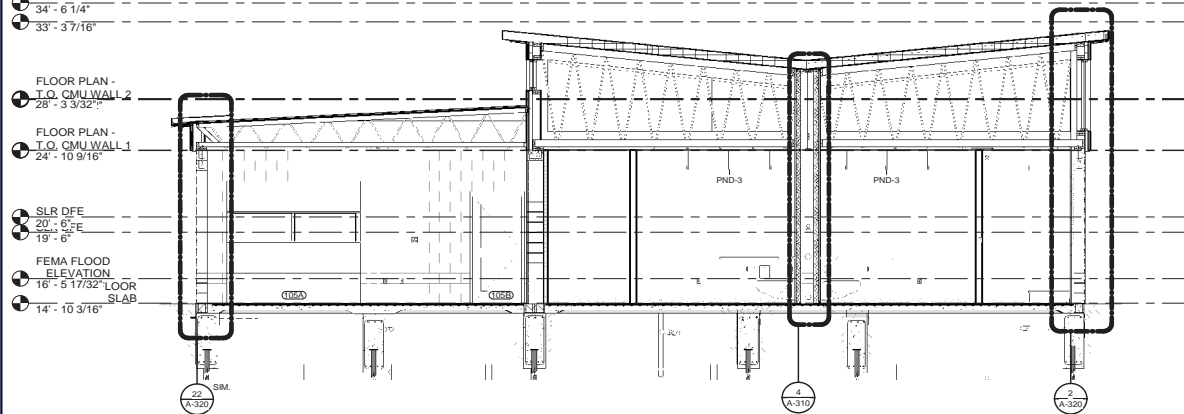
④ SECTION @ CENTRAL PLUMBING WALL
SCALE: 3/4" = 1'-0"



① EASTWEST SECTION THROUGH FIELD HOUSE
SCALE: 1/4" = 1'-0"



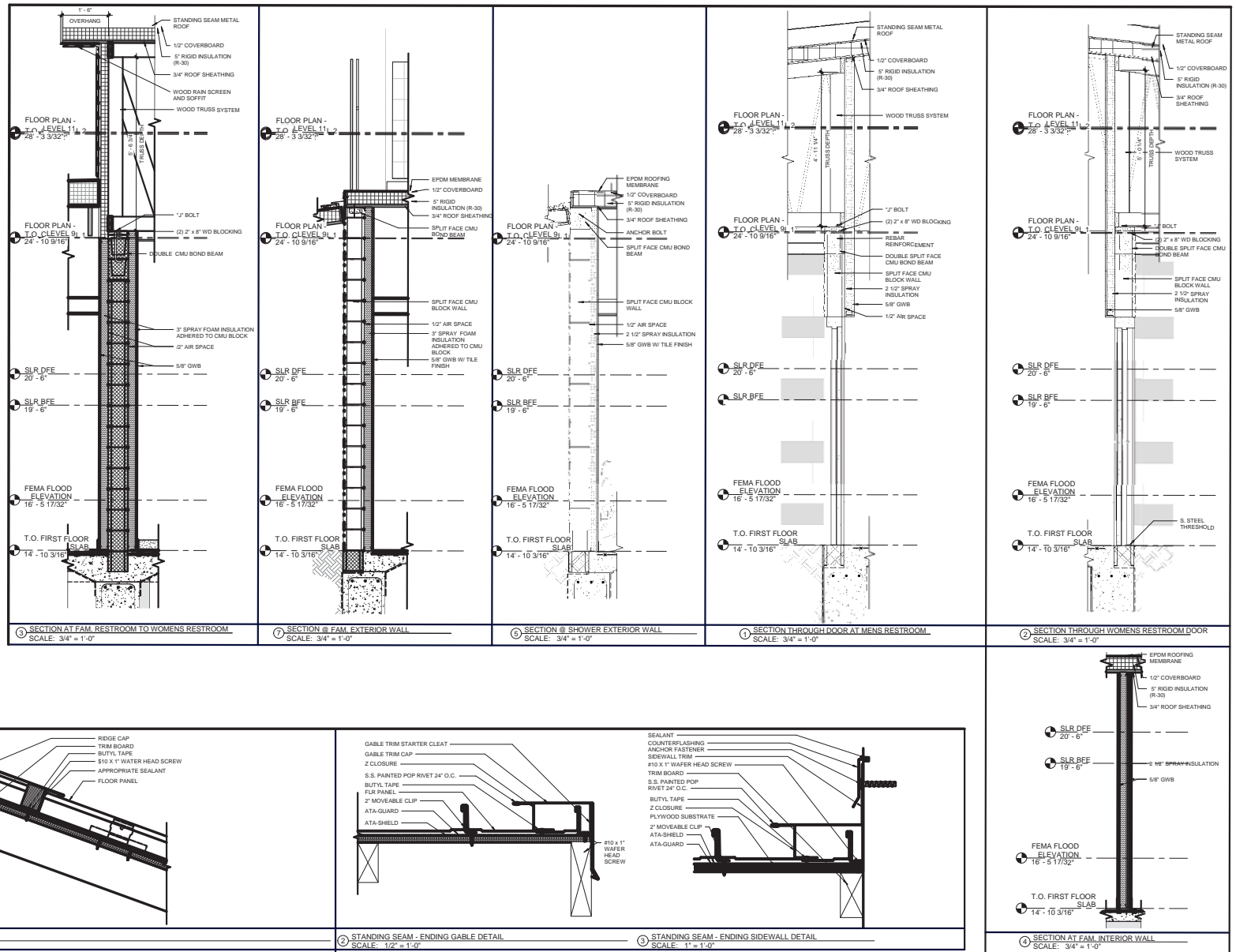
FLOOR PLAN ② NORTH/SOUTH SECTION THROUGH FIELDHOUSE
SCALE: 1/4" = 1'-0"



③ NORTH/SOUTH SECTION THROUGH FIELDHOUSE @ MECH. & JAN. ROOM
SCALE: 1/4" = 1'-0"



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Option 1| Dramatic Blue marguliesperruzzi



Option 2| Contemporary Grey marguliesperruzzi



Option 3| Blue Crush marguliesperruzzi



Accessories| Restroom marguliesperruzzi

