



Hailey Stanley
Architectural Designer

PORTFOLIO



Hailey Stanley

Project Designer

Contact Info

 3 MeadowSweet Trail,
Attleboro MA ,02703

 413-977-2972

 haileystanley19@gmail.com

Software

Revit

AutoCad

Adobe Creative Suite

Sketch-Up

Microsoft Office

Procore

Newforma

BlueBeam

Education



2014-2018 – Boston Architectural College- Masters of Architecture

Thesis: Balancing Conflict; Architecture in Relation to Domestic Violence

-An investigative study on how proxemics and human relationships define methods of defining space, and using this as a systematized method to integrate into trauma informed design to balance conflict and to create architecture that helps heal it's occupants.

2008-2012 -Mount Ida College- Bachelor's of Science, Concentration in Interior Design

-Thesis: How community and culture shape our environment through the renovation of a historical building in Northampton, Massachusetts into a community theater and restaurant.



Work Experience

Feb 2018 – Present -Margulies Perruzzi Architects-Project Designer

Notable Projects include:

-Boston Scores- Design services Boston Scores' new headquarters. The space will provide staff offices and areas for youth programs and a coach training room. Additionally, services include placing several high end soccer fields nearby, complete with restrooms, a playground, outdoor classroom, walking path, and parking.

-Davis Companies- Design and construction documentation of 10,000 sq. ft. headquarters in transition from private offices to an open environment

-Ropes and Gray- Schematic, design development, and construction documentation of renovation of existing three floors and fourth floor expansion within Prudential towers.

-National Development- Schematic fit plans, BOMA calculations, marketing drawings, and tenant fit outs ranging from 2,000-20,000 sq. ft.

-Signify- Programming of new 50,000 sq ft. lab/office fit out.

Project Responsibilities include: Research and documentation from schematic design through construction administration

Nov 2017 – Jan 2018 -Dakota DesignStaff, Inc.-Architectural Designer

-Worked in conjunction with the firm's project managers and job captains, to create digital renderings and 3D rotational models of our designs to give clients a realistic vision of their facility.
-Helped to exceed client's expectations regarding schedule, budget, and project quality.

Jul 2015 – Dec 2017 -Caolo & Bieniek Associates, Inc.-Architectural Designer

-Attended site investigations and perform code research to document existing conditions and create a plan of action to meet 521 CMR and ADA requirements.
- Assisted with production of construction documentation from schematic design to construction administration.
-Created digital renderings and physical/digital finish presentations to aid clients in making design decisions.

Nov 2013 – Apr 2015 -Feinmann, Inc-Administration/Project Design Assistant

-Attended site visits, and weekly client meetings to document existing conditions and construction progress.
-Utilized various software to create drafted floor plans for design and project documentation.
-Created digital renderings and finish presentations using Sketch-Up and Power-Point design.
-Ran weekly job and payroll reports



Achievements

LEED Green Associate-March 2023 - Credential ID- 0011359928

NCIDQ – October 2019 -Credential ID: 35292

BIM Certificate – December 2014 -Wentworth Institute of Technology

Table Of Contents

Science



Confidential Client- Bedford, MA - Approx 4,500 SF. PG, 4-7

Schematics, Design Development, Construction Documentation, Construction Administration

Confidential Client-Lawrence, MA - Approx 2,200 SF. PG, 8-9

Schematics, Design Development, Construction Documentation, Construction Administration

Healthcare



Brigham & Women's- Needham, MA - Approx 41,000 SF PG 10-13

Schematics, Design Development, Presentations, Construction Documentation, Construction Administration

Maine Health- Biddeford, ME- Approx 24,000 SF PG 14-19

Schematics, Design Development, Presentations, Construction Documentation, Construction Administration

Workplace



CIEE- Boston, MA- approx 45,000 SF. PG 20-25

Schematics, Programming, Design Development, Construction Documentation, Presentations

15 Winter- Boston, MA- approx 3,500 SF. PG 26-32

Sports & Recreation

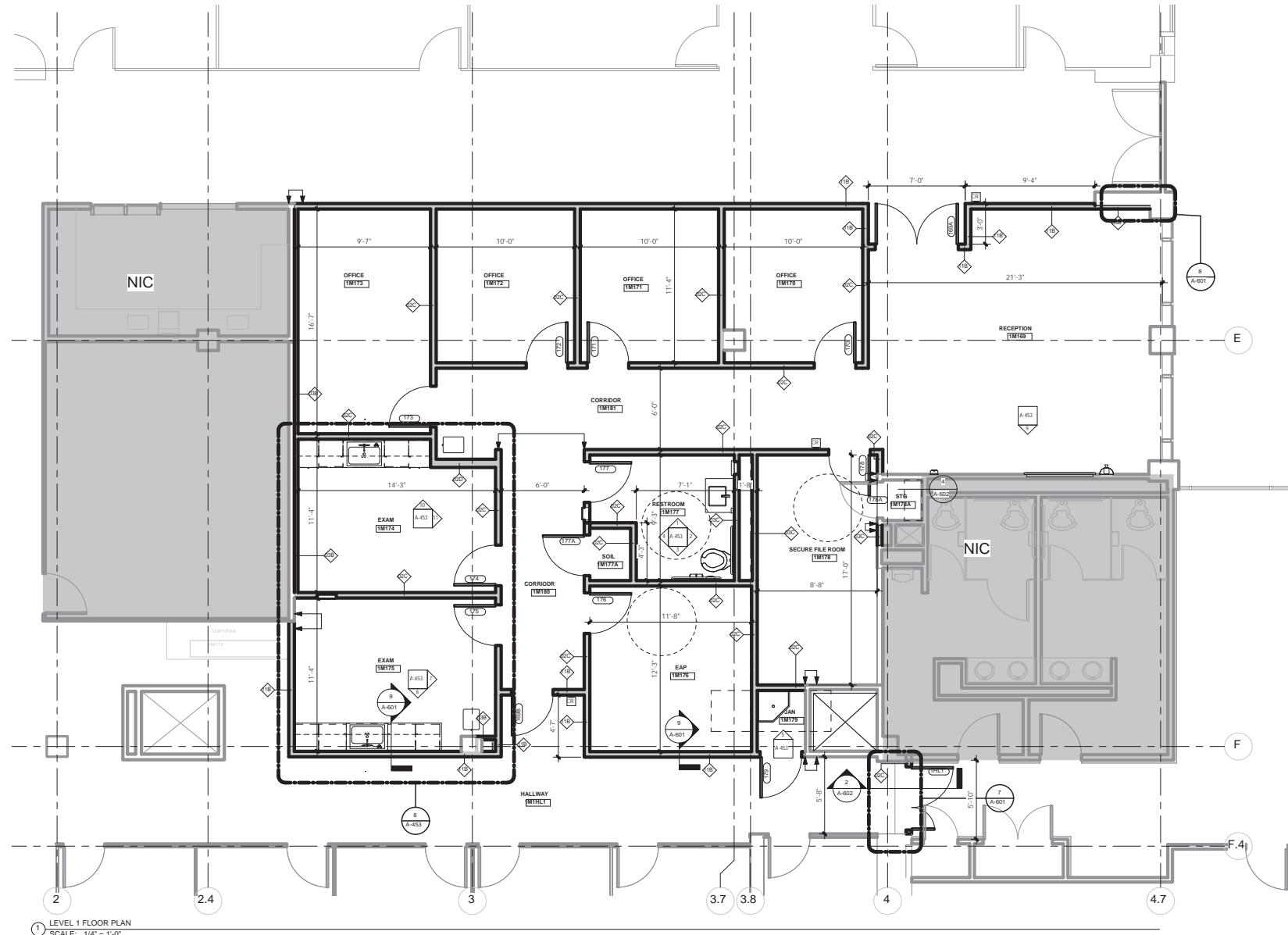


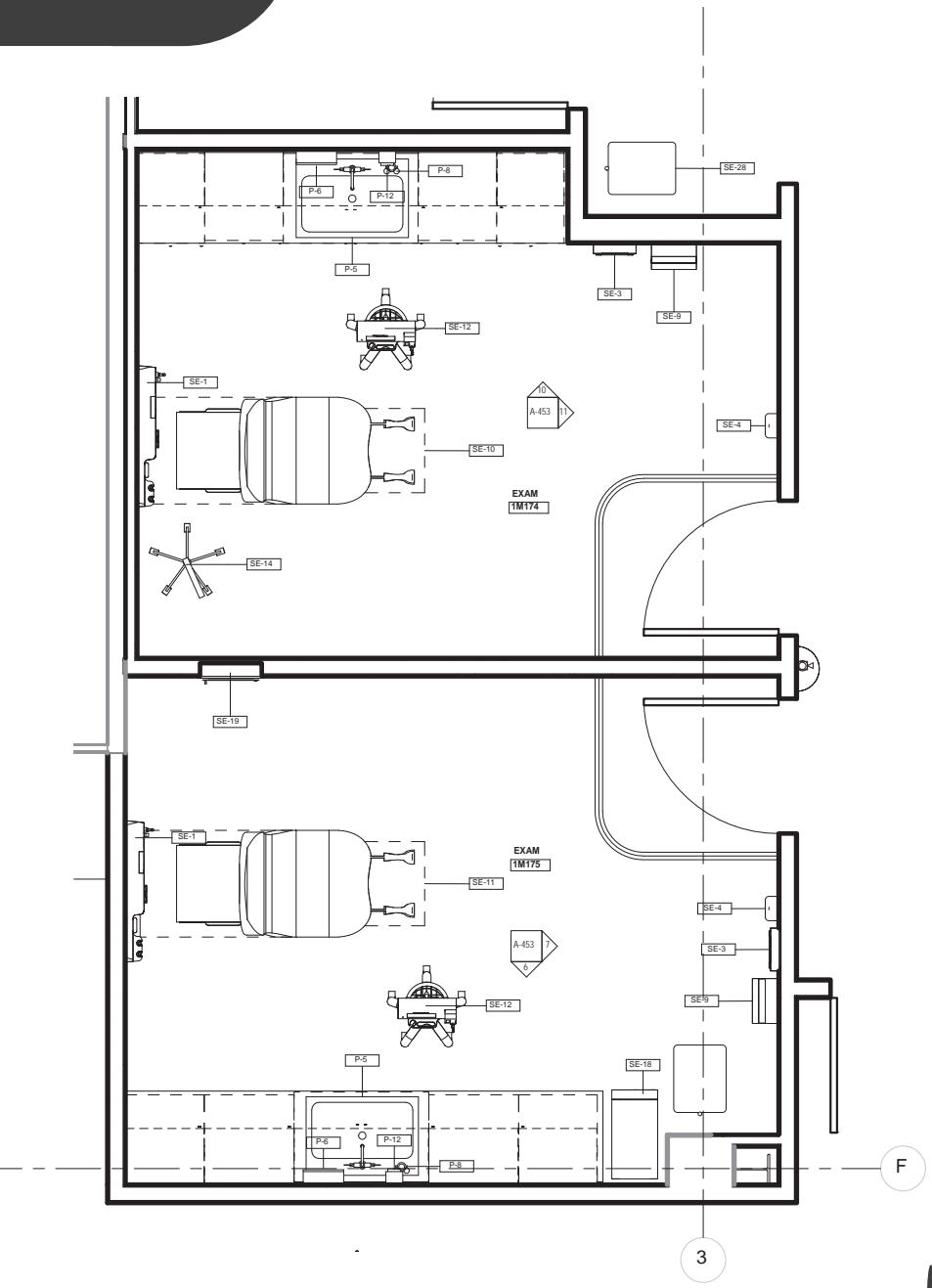
Boston Scores- Boston, MA- approx PG 33-38

Schematics, Design Development, Construction Documentation, Construction Administration

Health Center

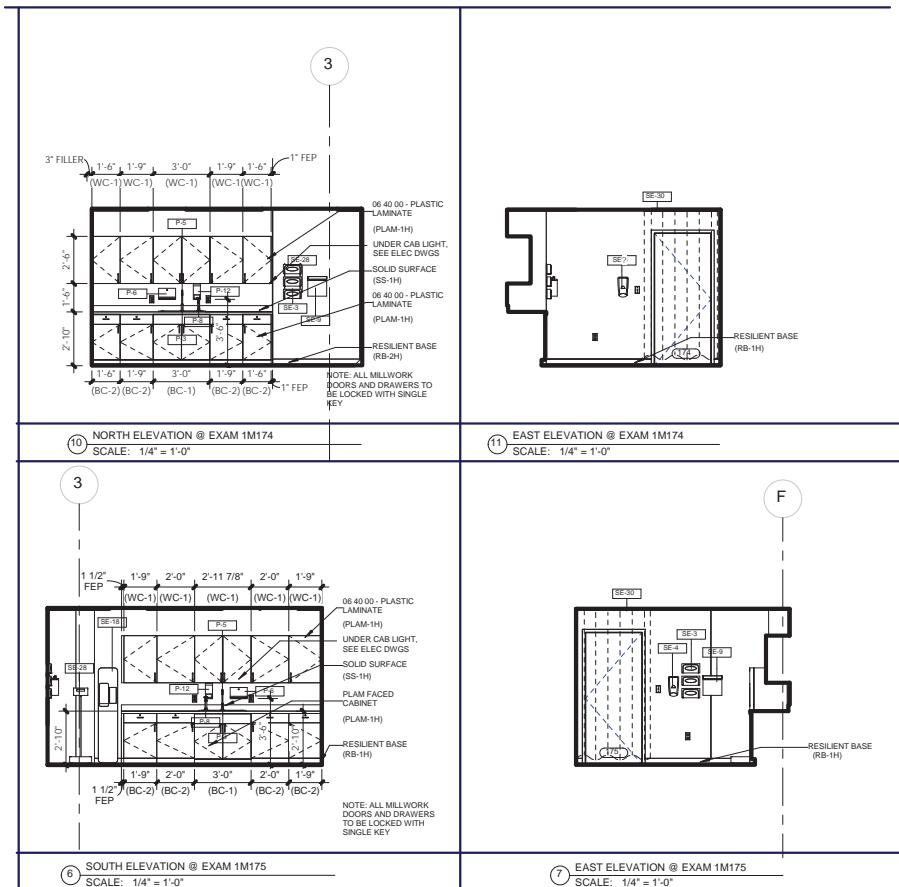
Revamp an existing office area into health services offices aimed at enhancing the well-being of the entire campus staff. The facility will include exam rooms, offices, and support areas strategically positioned to ensure swift rear-door access for emergency medical services (EMS) teams when required. The design must prioritize revitalization while seamlessly integrating modern technology and development. Given the center's reputation for innovation and holistic improvement, it's imperative that the space reflects a forward-thinking ethos synonymous with its mission.





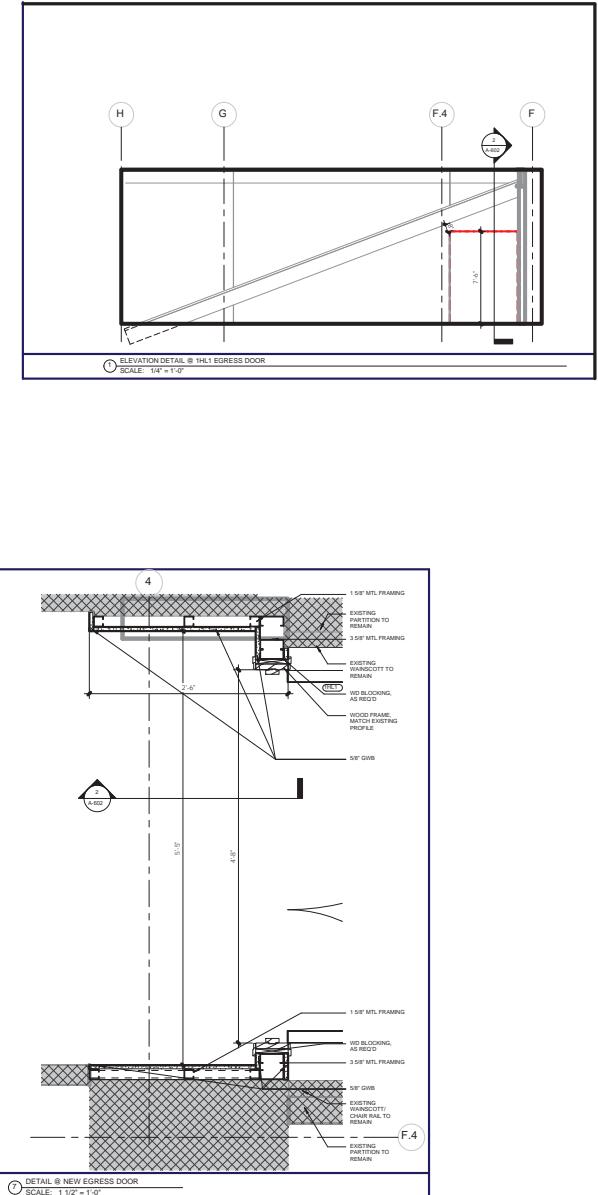
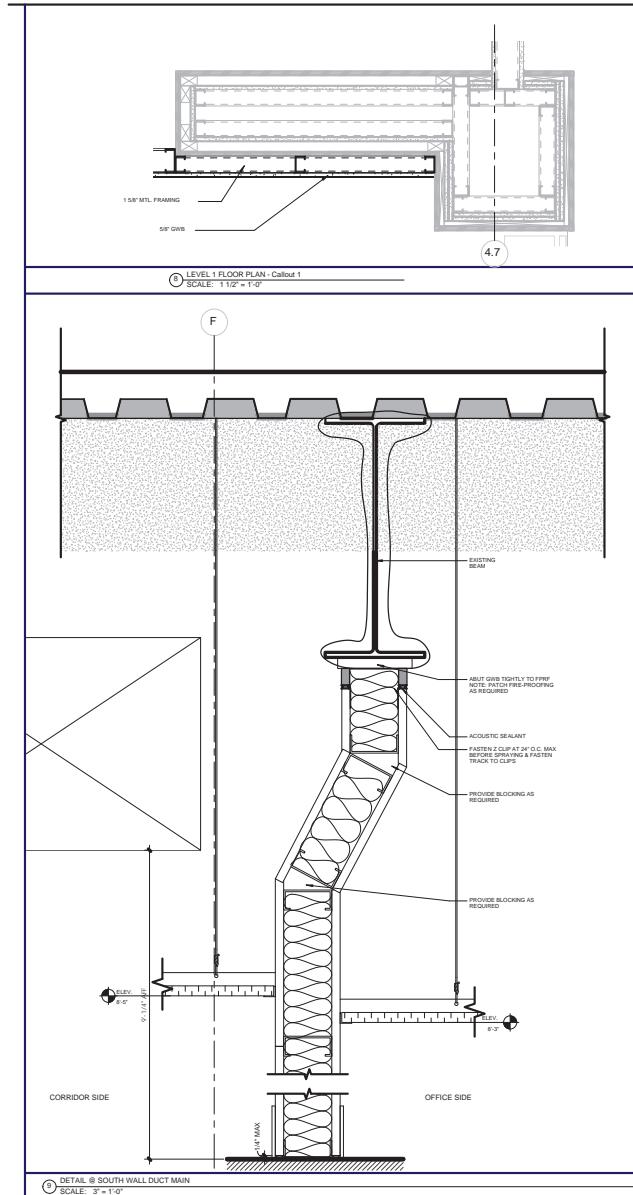
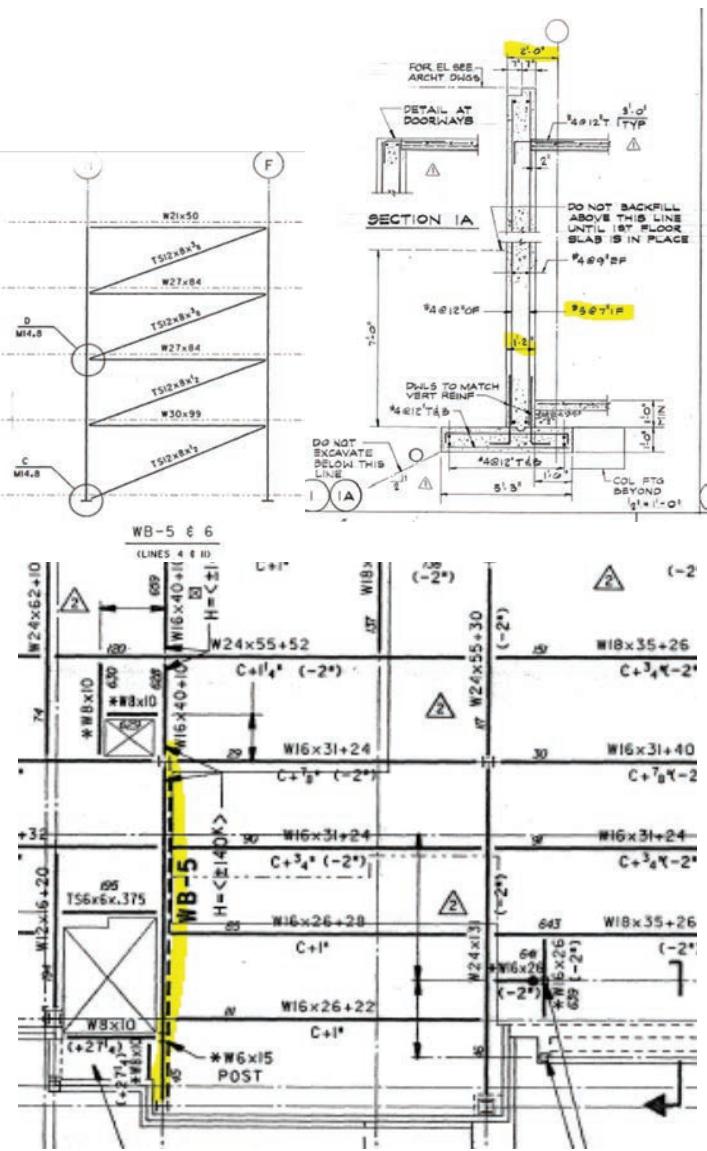
EXAM ROOM LAYOUT
SCALE: 1/2" = 1'-0"

PLUMBING EQUIPMENT SCHEDULE										
TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL	FURNISHED & INSTALLED BY	BLKG REQD	ELEC REQD	TEL/DATA REQD	PLUMBING REQD	CUT SHEET PROVIDED	COMMENTS
Plumbing Fixtures										
P-14	BUMPER GUARDS	E. L. MUSTEE	63.401	CFCI	-	-	-	-	SEE SPEC	JAN
Specialty Equipment										
P-1	RESTROOM SINK	KOHLER	K-2031	CFCI	YES	-	-	YES		RESTROOM
P-2	TOILET	KOHLER	K-96057	CFCI	-	-	-	YES		RESTROOM
P-3	SINK FAUCET	CHICAGO FAUCET	116.719AB.1	CFCI	-	YES	-	-		EXAM ROOMS
P-4	AUTOMATIC FAUCET	SLOAN	EBF-85	CFCI	YES	-	-	-		ALL SINKS
P-5	EXAM ROOM SINK	JUST	SLADA-1751 9-A-GR	CFCI	YES	-	-	YES		EXAM ROOMS
P-6	PAPER TOWEL DISPENSER - SMALL	AMERICAN SPECIALTIES	0215	CFCI	YES	YES	-	-	SEE SPEC	EXAM ROOMS
P-7	SOAP DISPENSER/WASTE RECEPTACLE	BOBRICK	B-3603	CFCI	YES	YES	-	-		RESTROOM
P-8	EYEWASH STATION	SPEAKMAN	SEF-1000-B	CFCI	-	-	-	YES	SEE SPEC	EXAM ROOMS
P-9	GRAB BAR SET (42")	BOBRICK	B-5806	CFCI	YES	-	-	-		RESTROOM
P-10	TOILET PAPER DISPENSER - SURFACE	BOBRICK	B-6977	CFCI	YES	-	-	-		RESTROOM
P-11	SANITARY NAPKIN DISPOSAL - WALL MOUNTED	BOBRICK	B-270	CFCI	-	-	-	-		RESTROOM
P-12	SOAP DISPENSER	BOBRICK	B-2013	CFCI	-	-	-	-		EXAM ROOMS/RESTROOM
P-13	FRAMED MIRROR	KOHLER	K-26050-BLL	CFCI	YES	-	-	-	SEE SPEC	JAN
P-15	DURAGUARD WALL GUARDS	DURAGUARD	672424	CFCI	-	-	-	-		RESTROOM
P-16	MOP HANGER	E. L. MUSTEE	65.600	CFCI	YES	1	1	1		JAN





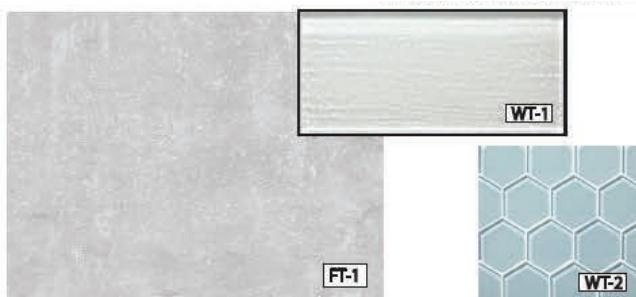
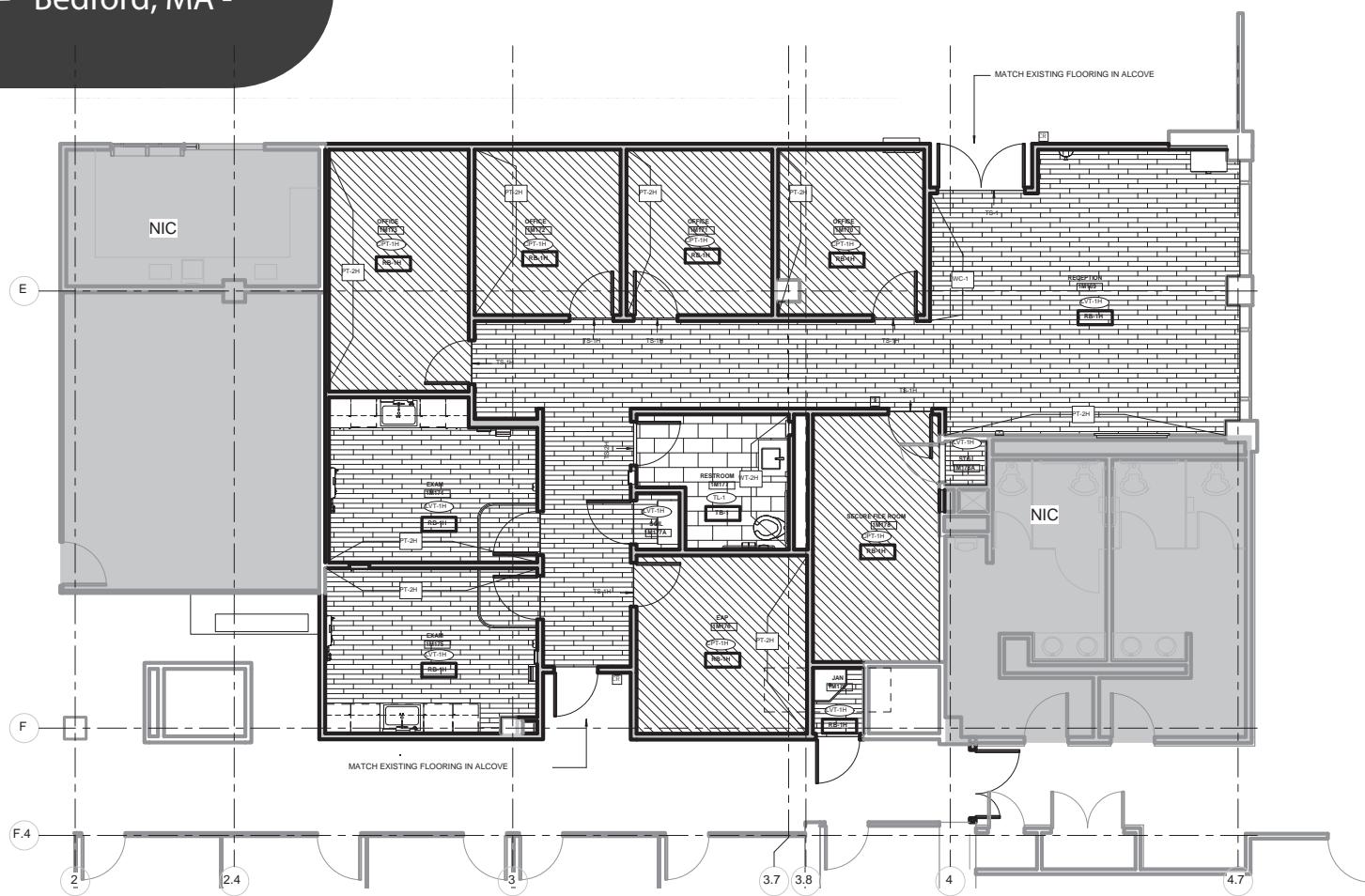
Confidential Client
Bedford, MA -



Challenge:

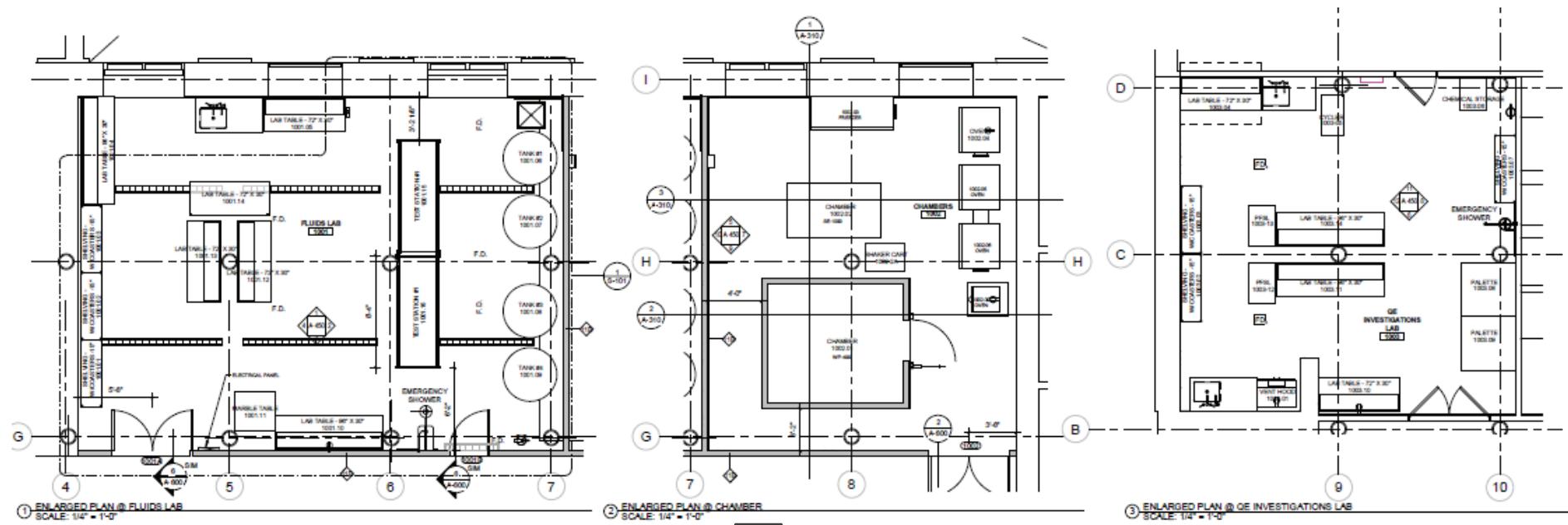
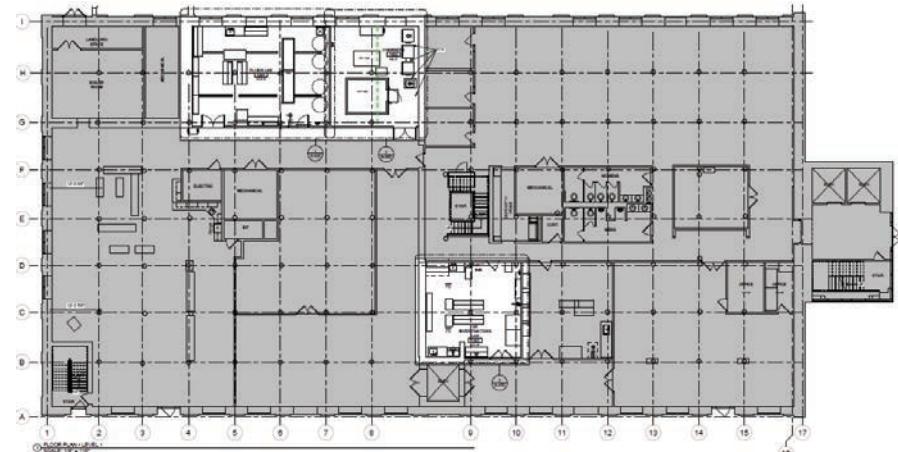
Conflict resolution became necessary upon the discovery that an existing cross-beam would disrupt the planned placement of the new wall/emergency egress. The proposed resolution involved adjusting the wall's position to accommodate the beam and relocating the HVAC system above the proposed ceiling to conceal it from view

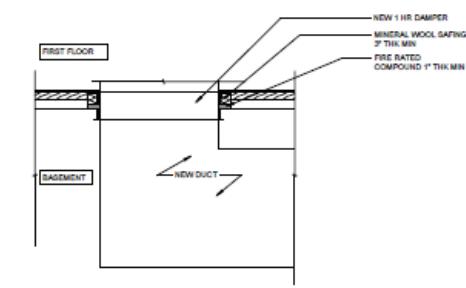
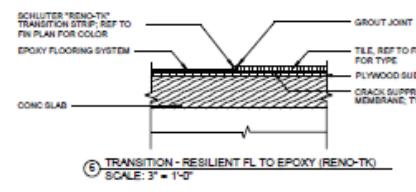
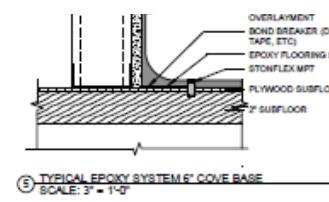
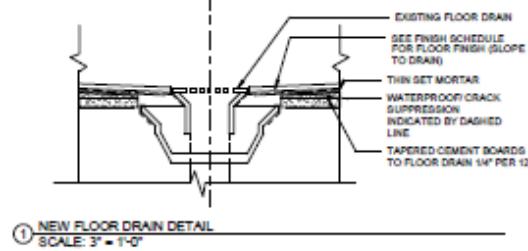
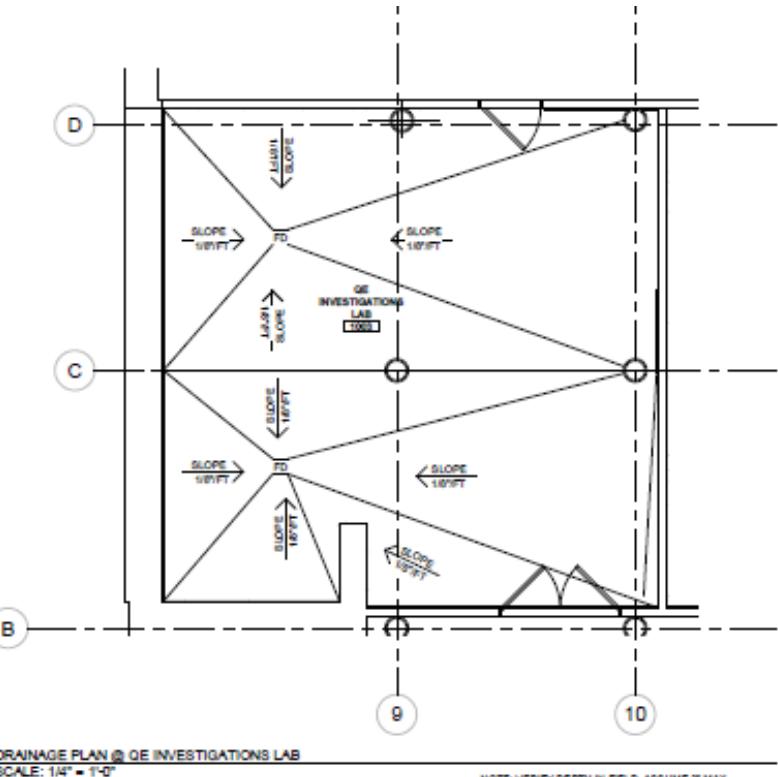
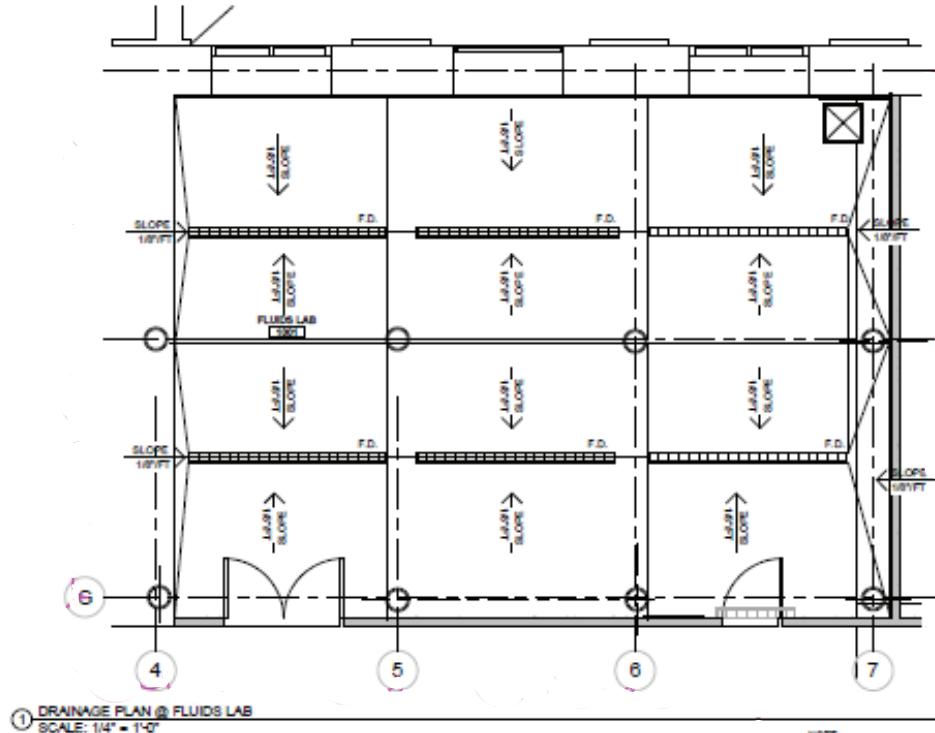
Confidential Client
Bedford, MA -



Lab Technology:

A prominent medical innovation laboratory specializing in dialysis underwent a transformation, re-purposing its current workrooms into additional laboratory space. The renovation encompassed repairs to the sub-floor and structural components, alongside a overhaul of the existing drainage systems, complemented by the installation of a new epoxy floor system. These enhancements were designed to accommodate the integration of supplementary tanks and advanced equipment, reinforcing the lab's commitment to pioneering research.





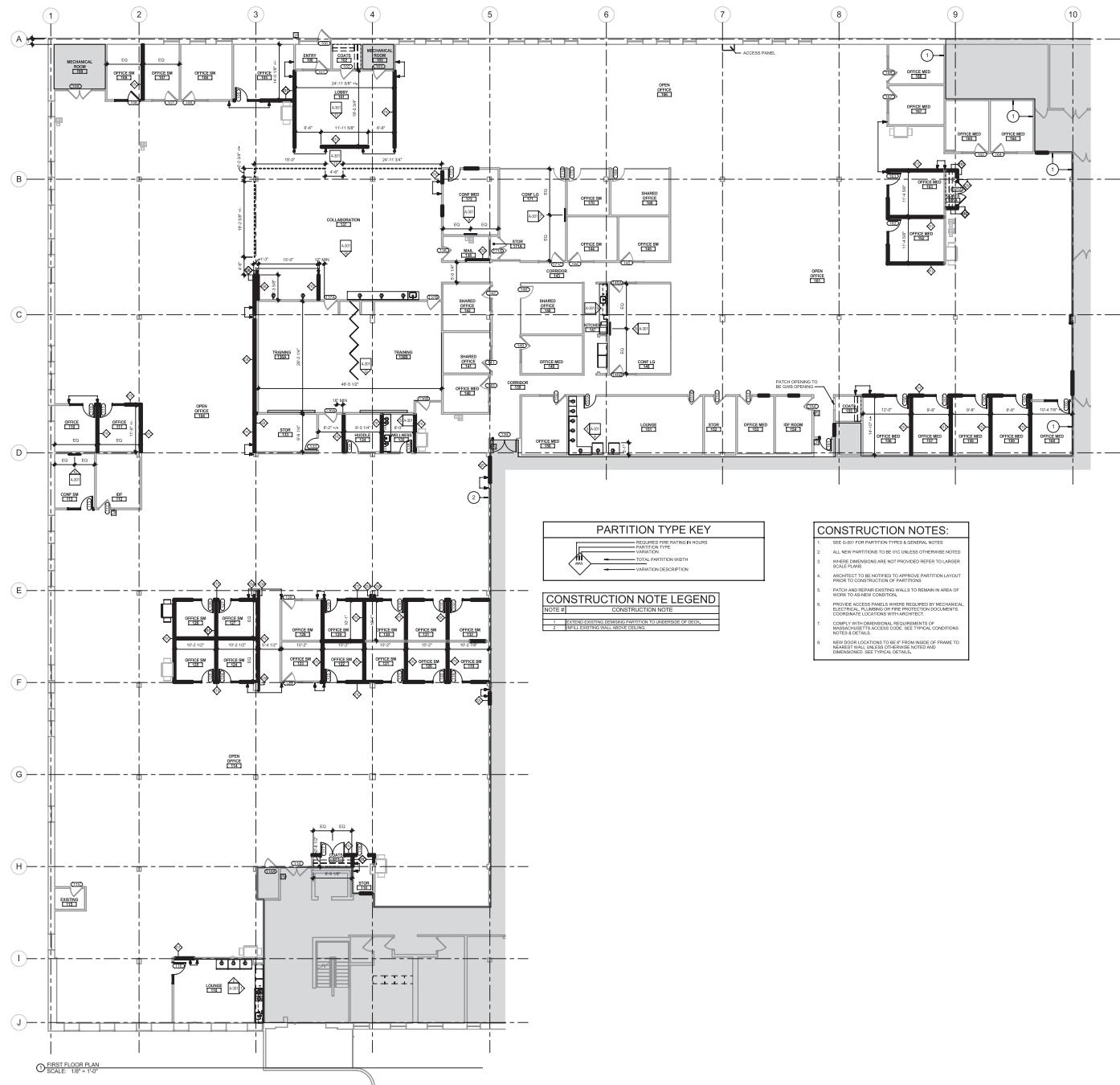
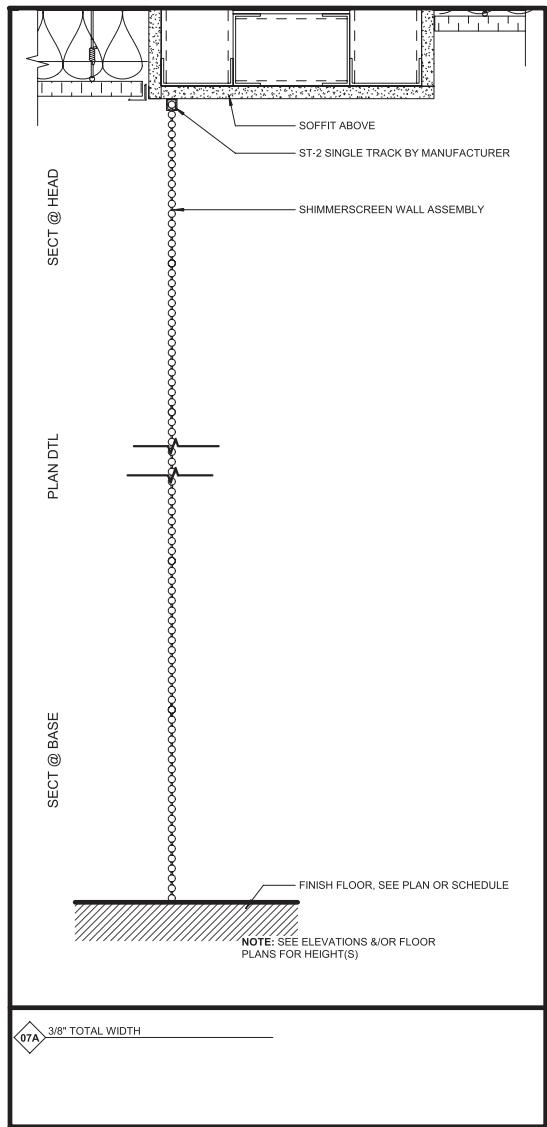
Headquarter Relocation:

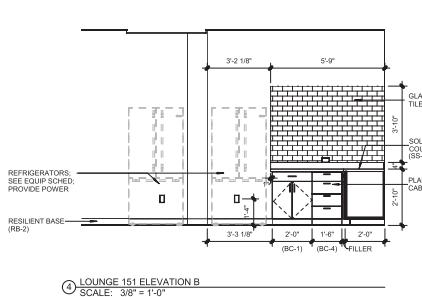
Driven by regulatory requirements in the healthcare landscape, this initiative mandated the transfer of senior administration and administrative support services of Brigham & Women's Physician Organization (BWPO) from the Village of Brookline to Needham. This relocation facilitated the consolidation of staff from disparate locations into a unified office space, streamlining operations. The project incorporated a versatile training center designed to adapt to various educational needs, offering flexibility by allowing the space to be divided into a large classroom setting or two smaller classrooms. Additionally, a multipurpose collaboration hub was introduced, which will serve as a dynamic space for spontaneous team meetings, staff gatherings, and hosting catered events, fostering enhanced teamwork and engagement.





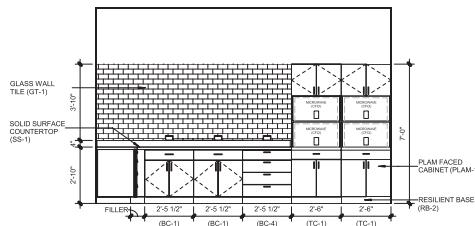
Brigham & Women's Needham, MA -





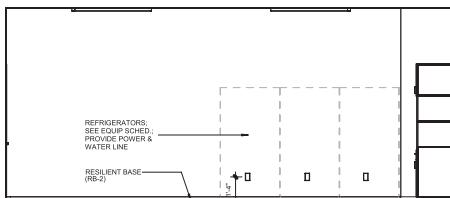
④ LOUNGE 151 ELEVATION B
SCALE: 3/8" = 41'-0"

SCALE: 3/8" = 1'-0"



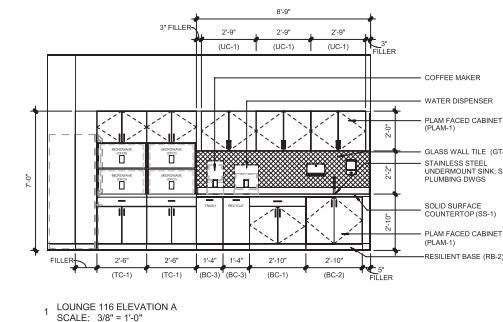
3 LOUNGE 151 ELEVATION A
SCALE: 2/8" = 41.0"

SCALE: 3/8" = 1'-0"



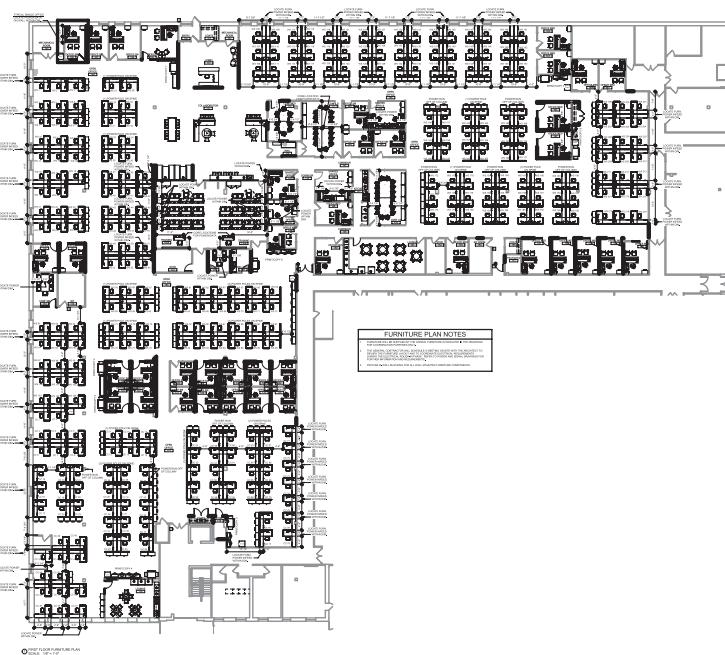
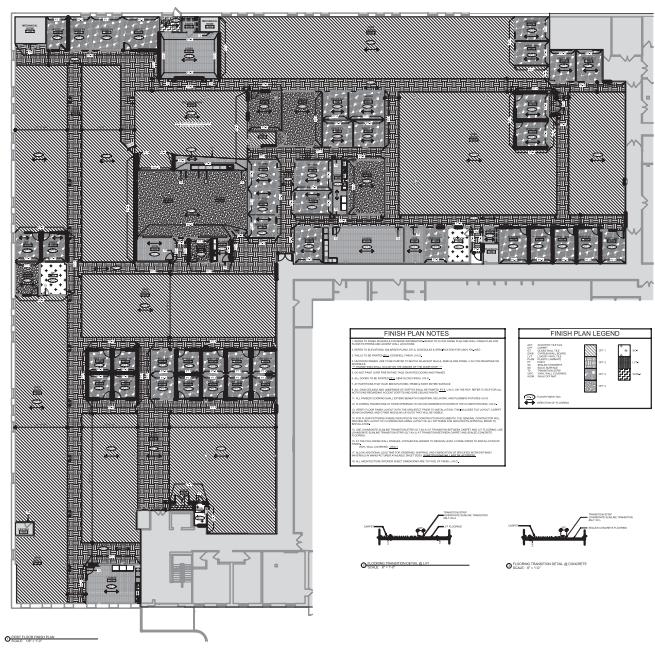
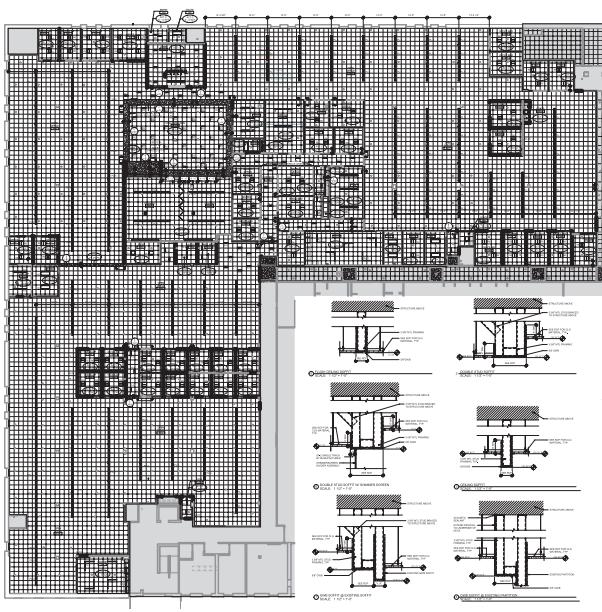
② LOUNGE 116 ELEVATION B

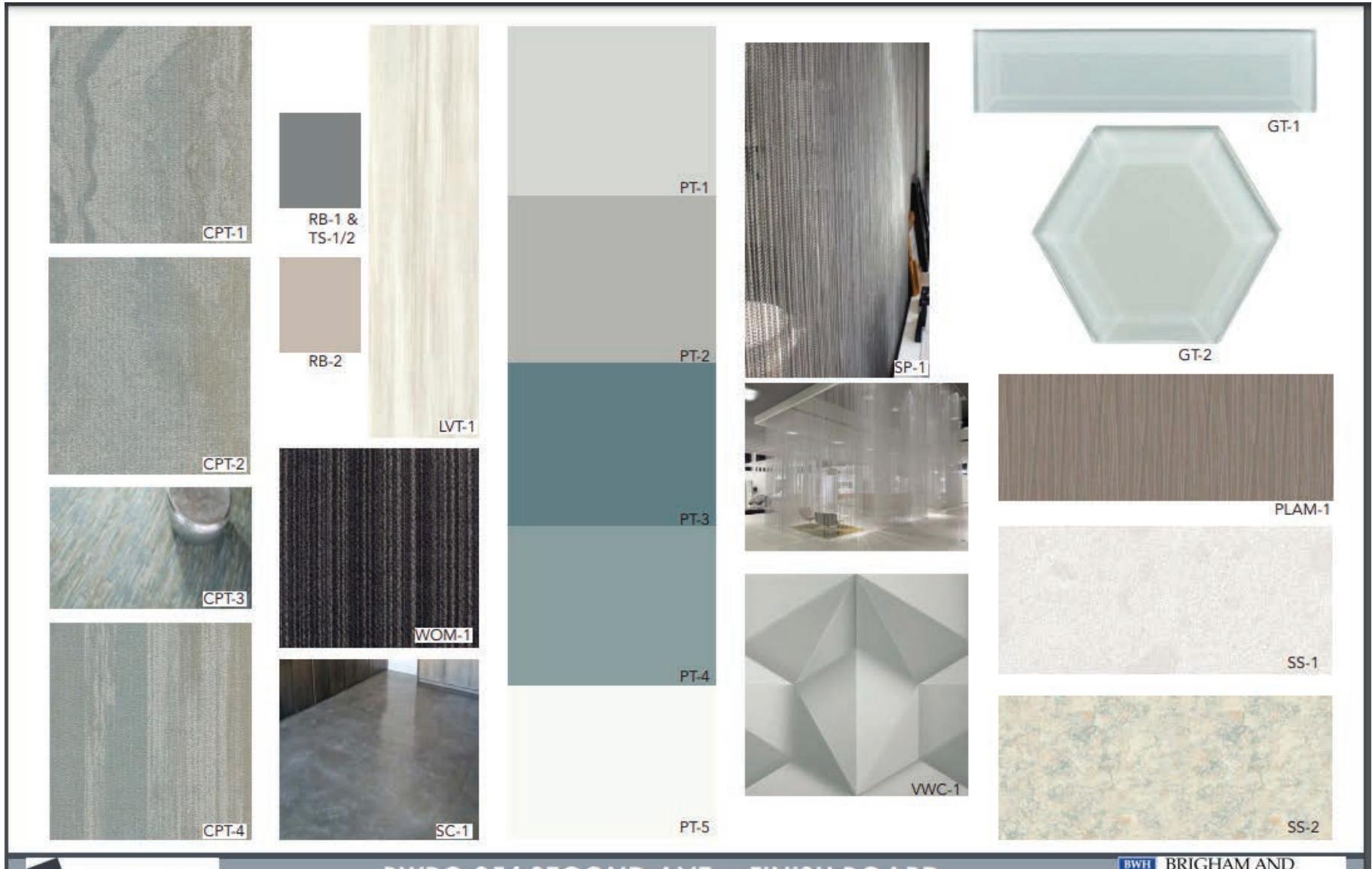
SCALE: 3/8" = 1'-0"



1 LOUNGE 116 ELEVATION A
SCALE: 2'-0" = 4'-0"

SCALE: 3/8" = 1'-0"





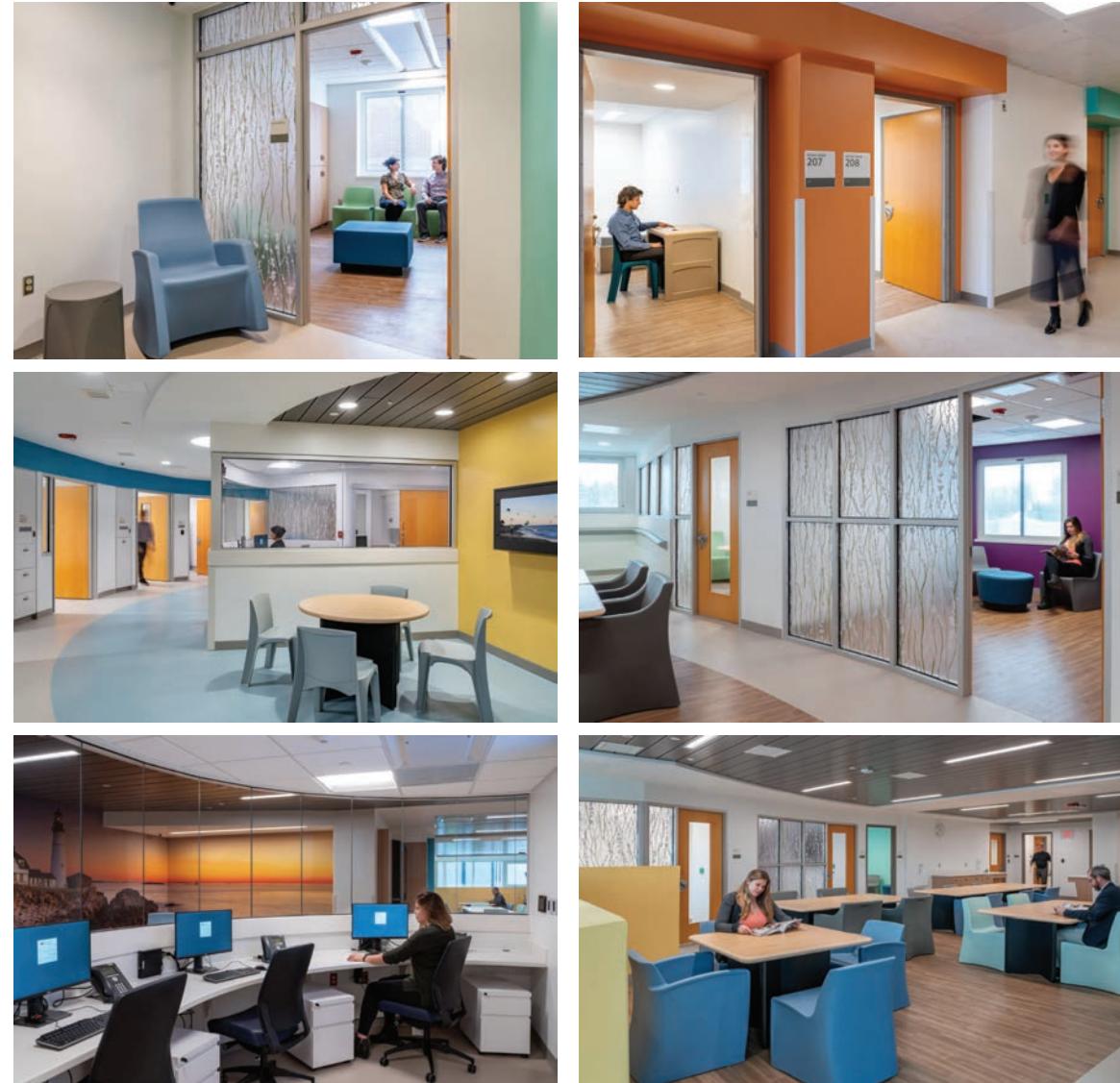
Behavioral Health

Southern Maine Health Care (SMHC) embarked on a transformative journey to enhance its behavioral healthcare facilities in collaboration with Maine Behavioral Healthcare. This ambitious project aimed to refurbish a 24,000 square foot unit, expanding its capacity with 40 new beds across two floors. In addition, a specialized five-bed Emergency Department Acute Psychiatric (EDAP) unit was introduced to address acute psychiatric cases.

The project placed paramount importance on ensuring the safety and security of patients. Innovative design solutions, such as interlocking sally ports and anti-ligature fixtures, were integrated to create a secure and serene environment conducive to healing and recovery.

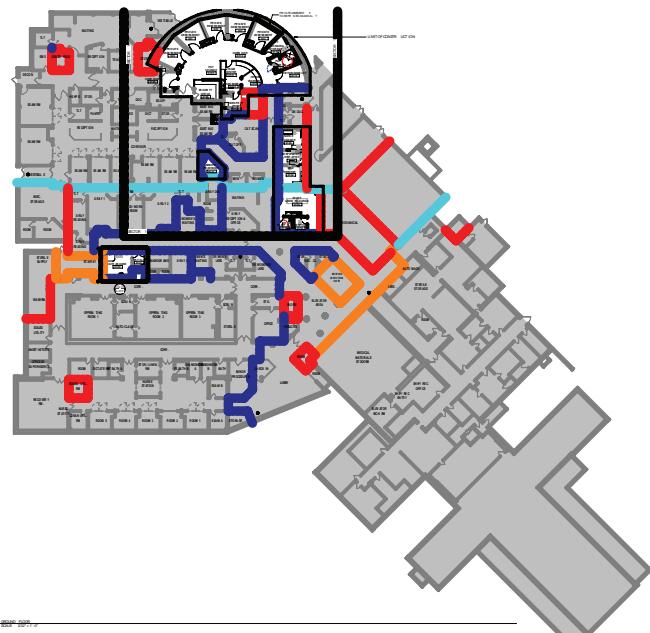
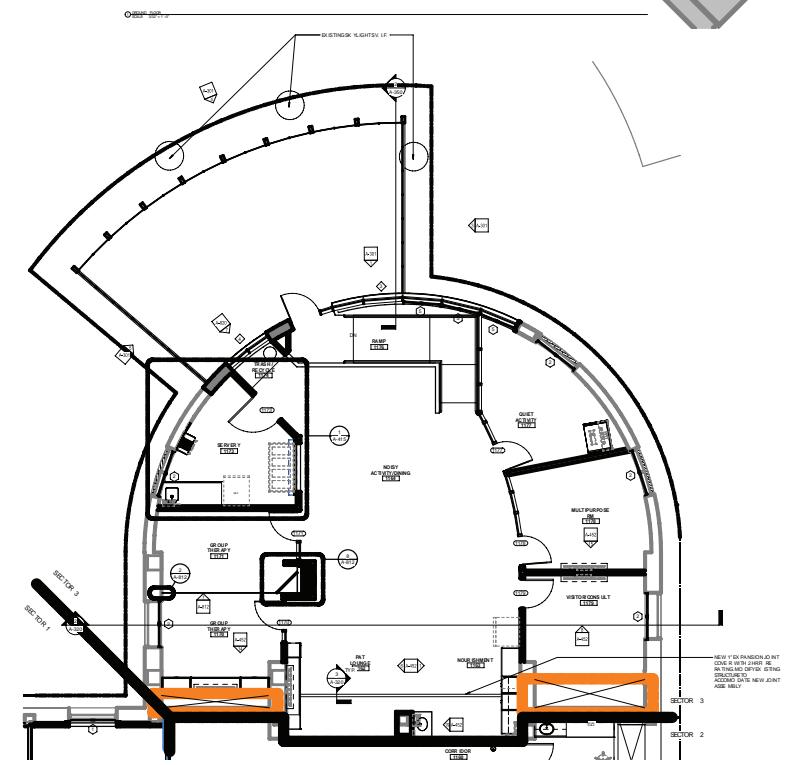
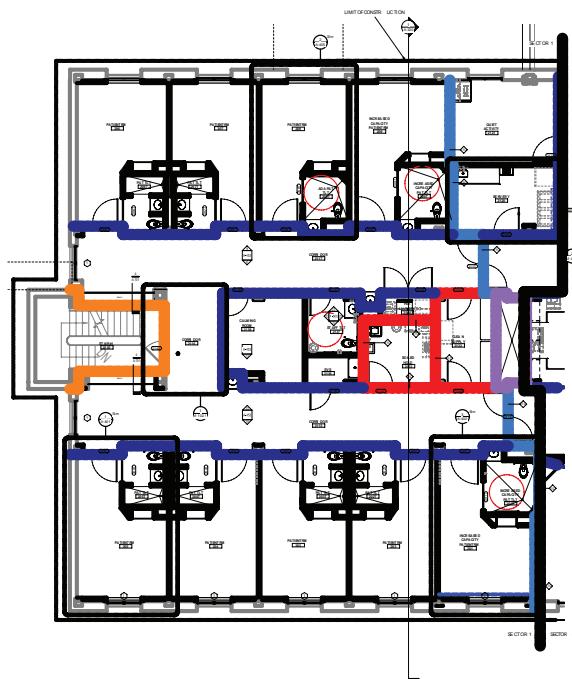
Emphasizing sustainability and comfort, the project incorporated cutting-edge HVAC technology, including highly efficient chilled beams. This focus on environmental consciousness was complemented by a commitment to patient comfort, with the design philosophy centered around maximizing natural light and scenic views. Activity rooms and common areas were strategically positioned along exterior walls, providing both patients and staff with therapeutic vistas of Maine's serene landscape.

Through meticulous planning and collaboration, the transformation of SMHC's behavioral healthcare facilities stands as a testament to the organization's dedication to providing high-quality care in a safe, sustainable, and patient-centric environment. This project not only enhances the capacity to serve the community but also embodies SMHC's commitment to fostering holistic well-being and recovery for individuals facing behavioral health challenges.

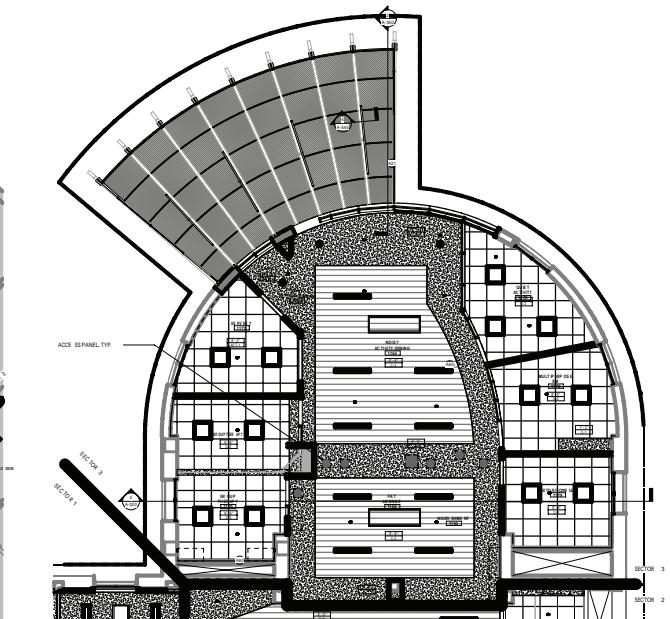
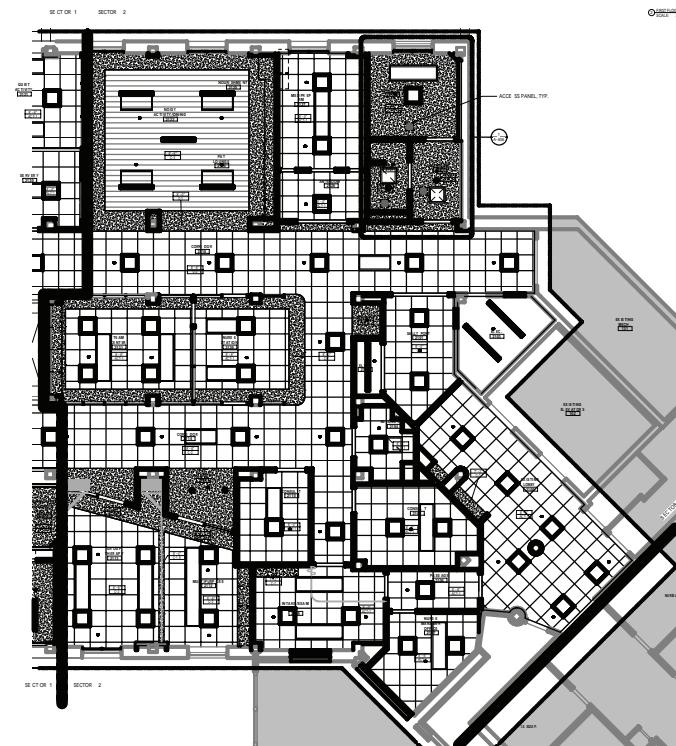
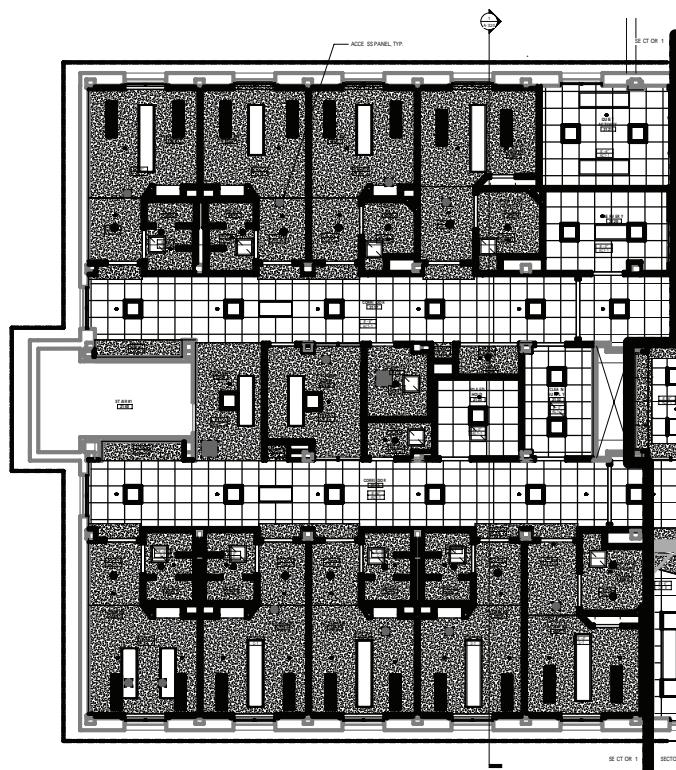
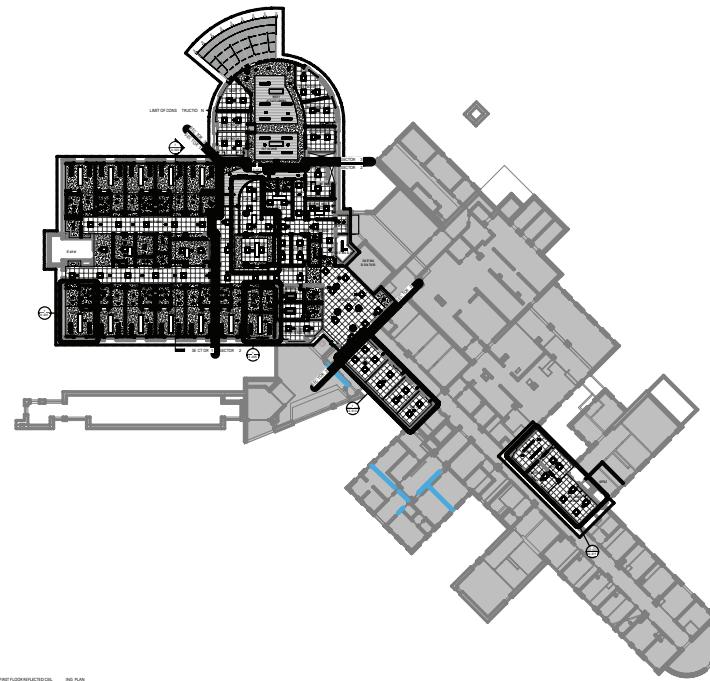




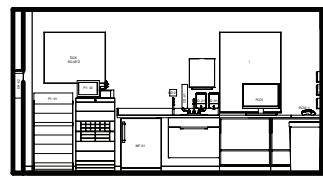
Maine Health
Biddeford, ME -



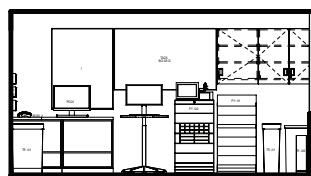
Maine Health
Biddeford, ME -



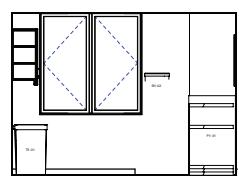
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Biddeford, ME -



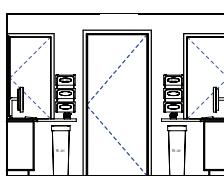
2 MED PREP ROOM EAS. T OPTION 2
SCAL E: 3/8" = 1'-0"



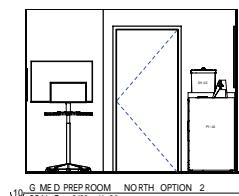
2 MED PREP RM. WEST OPTION 2
SCAL E: 3/8" = 1'-0"



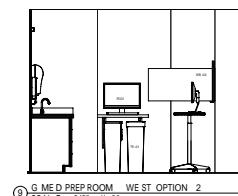
2 MED PREP ROOM NORTH OPTION 2
SCAL E: 3/8" = 1'-0"



2 MED PR EP ROOM SOUTH OPTION 2
SCAL E: 3/8" = 1'-0"



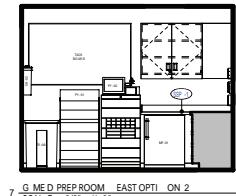
G MED PREP ROOM NORTH OPTION 2
SCAL E: 3/8" = 1'-0"



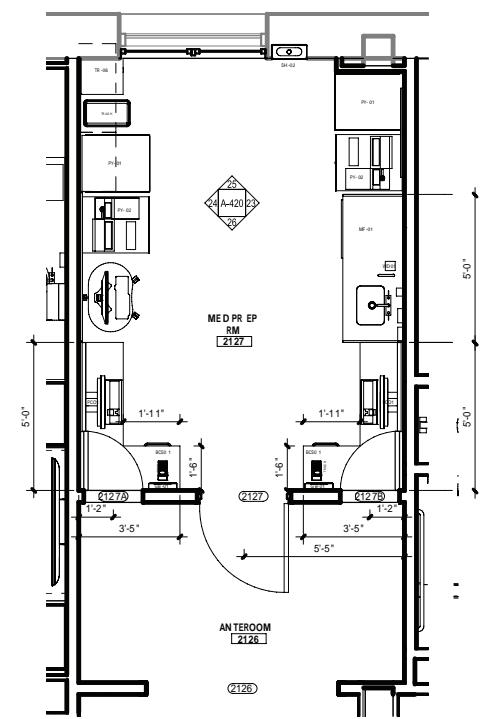
G MED PREP ROOM WEST OPTION 2
SCAL E: 3/8" = 1'-0"



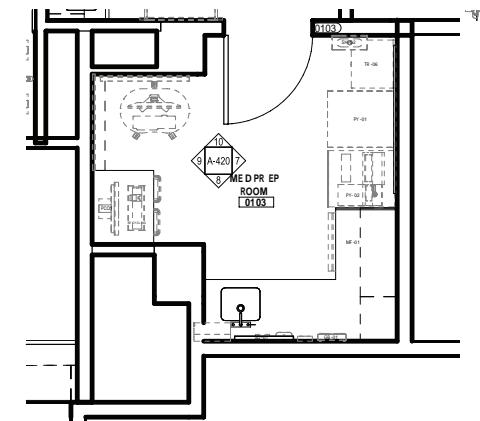
G MED PREP ROOM SOUTH OPTION 2
SCAL E: 3/8" = 1'-0"



G MED PREP ROOM EAST OPTION 2
SCAL E: 3/8" = 1'-0"



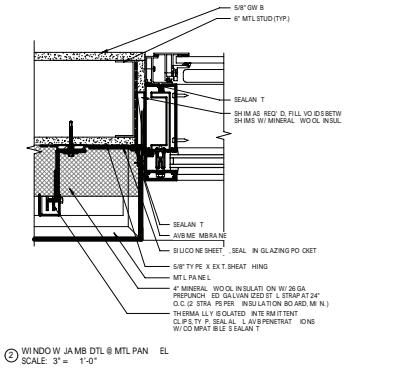
06 LVL 2 - MED PREP OPTION 2
SCAL E: 3/8" = 1'-0"



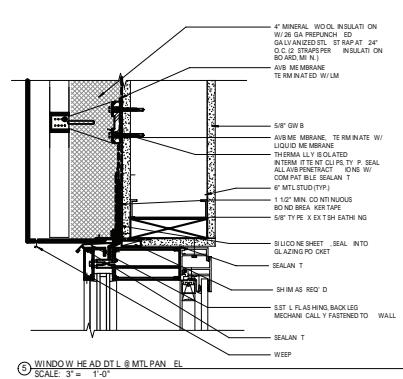
01 LVL G - MED PREP OPTION 2
SCAL E: 3/8" = 1'-0"



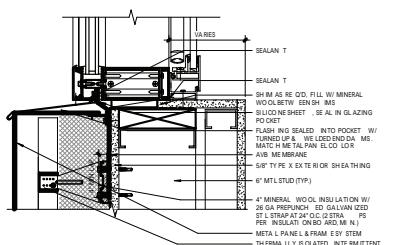
Maine Health Biddeford, ME -



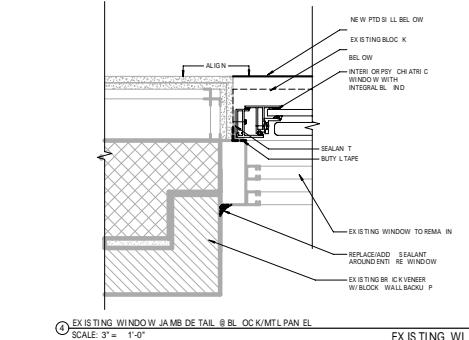
② WINDOW JAMB DTL @ MTL PAN EL
SCALE: 3" = 1'-0"



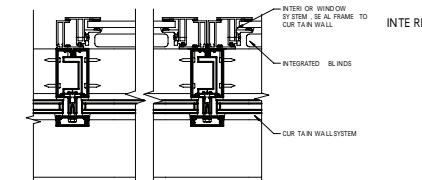
5 WINDOW HEAD DT L @ MTL PAN E
SCALE: 3" = 1'-0"



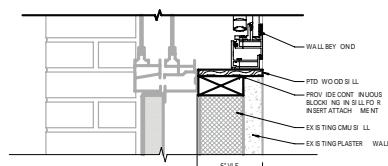
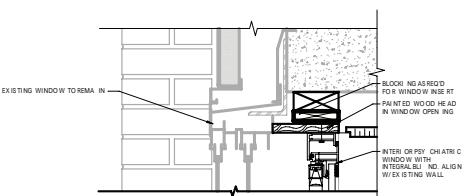
① WINDOW SILL DT L @ MTL PAN EL
SCALE: 3"- 1' 0"



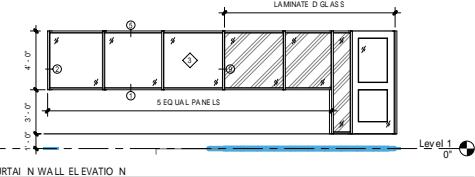
4 EXISTING WINDOW JAMB DETAIL @ BL OC K/MTL PAN EL
SCALE: 3' = 1'-0"



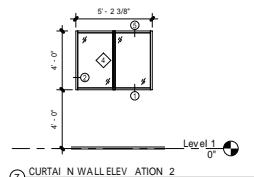
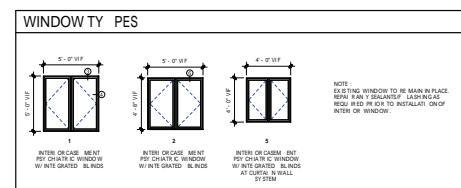
9 WINDOW JAMB DTL @ IN T E RIOR WIND O W/CW
SCALE: 3'-0" - 1'-0"



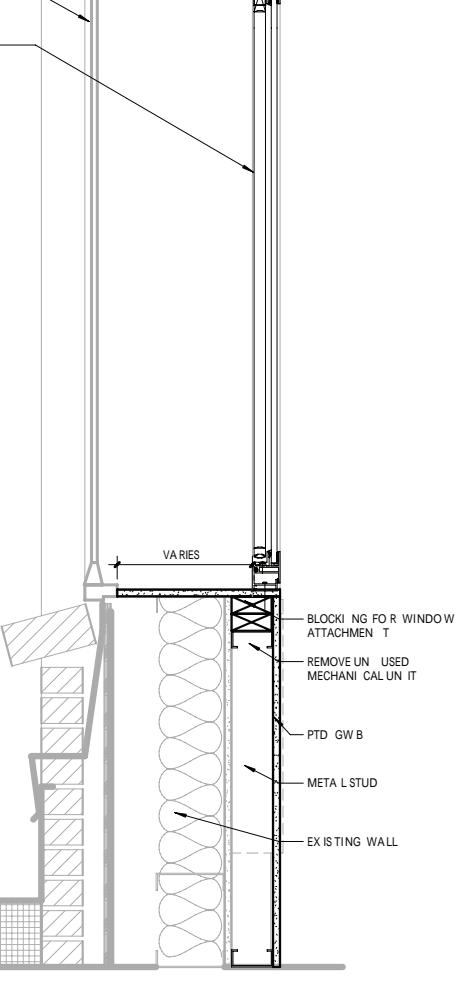
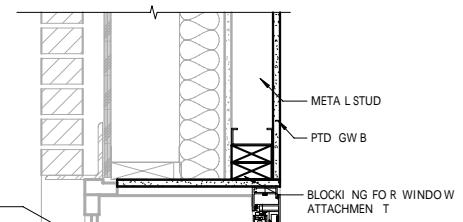
3 EXISTING WINDOW DATA FILE BLOC K/MTL PAN EL



⑧ CURTAIN WALL ELEVATION

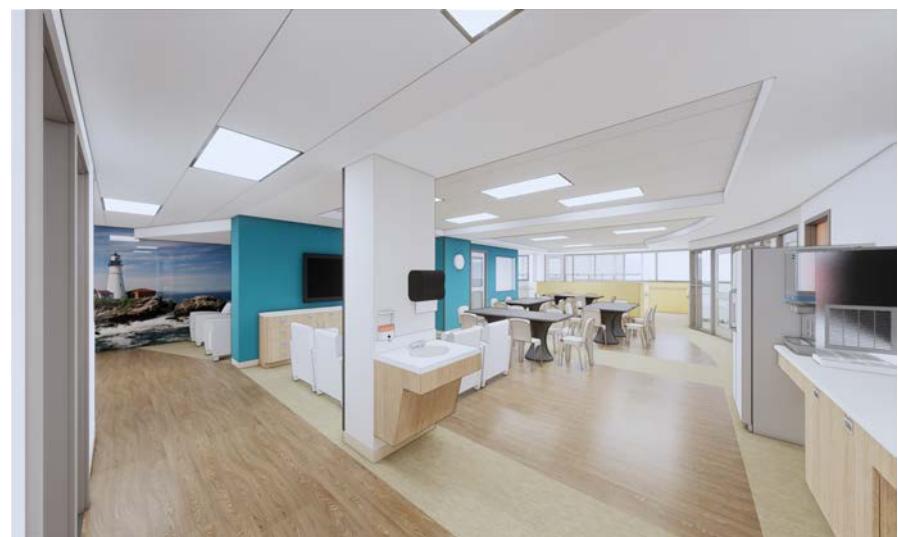
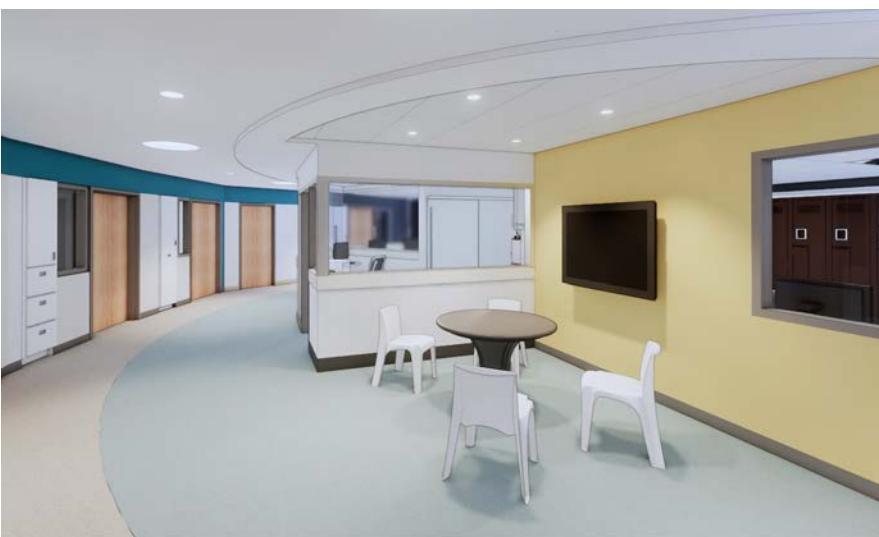
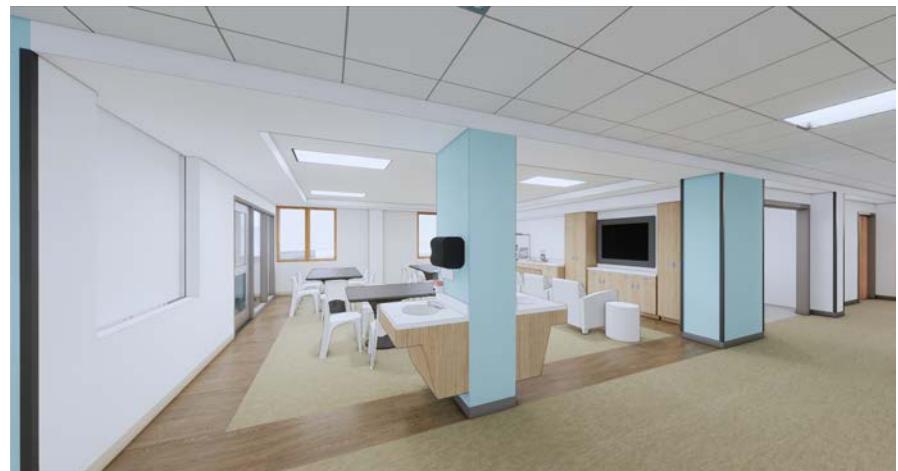


⑥ EXISTING WINDOW DETAILS @ BRICK WALL
SCALE: 1 1/2" = 1'-0"





Maine Health
Biddeford, ME -



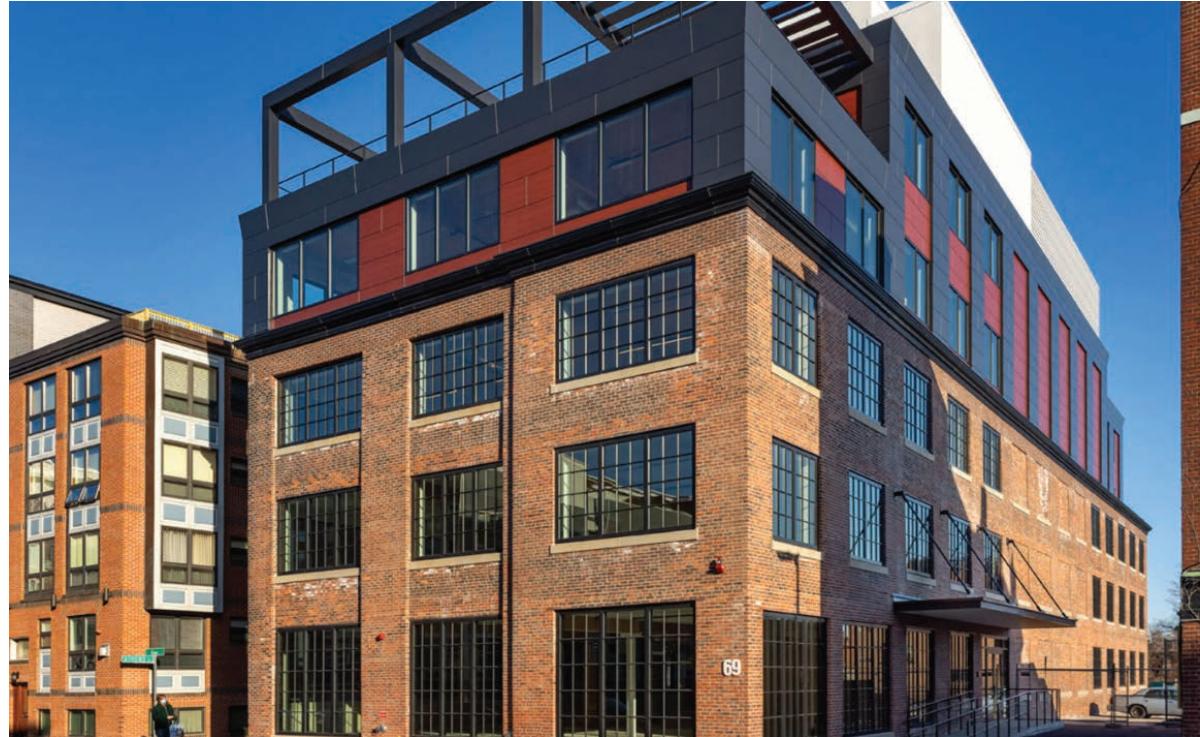
Modern Renovation:

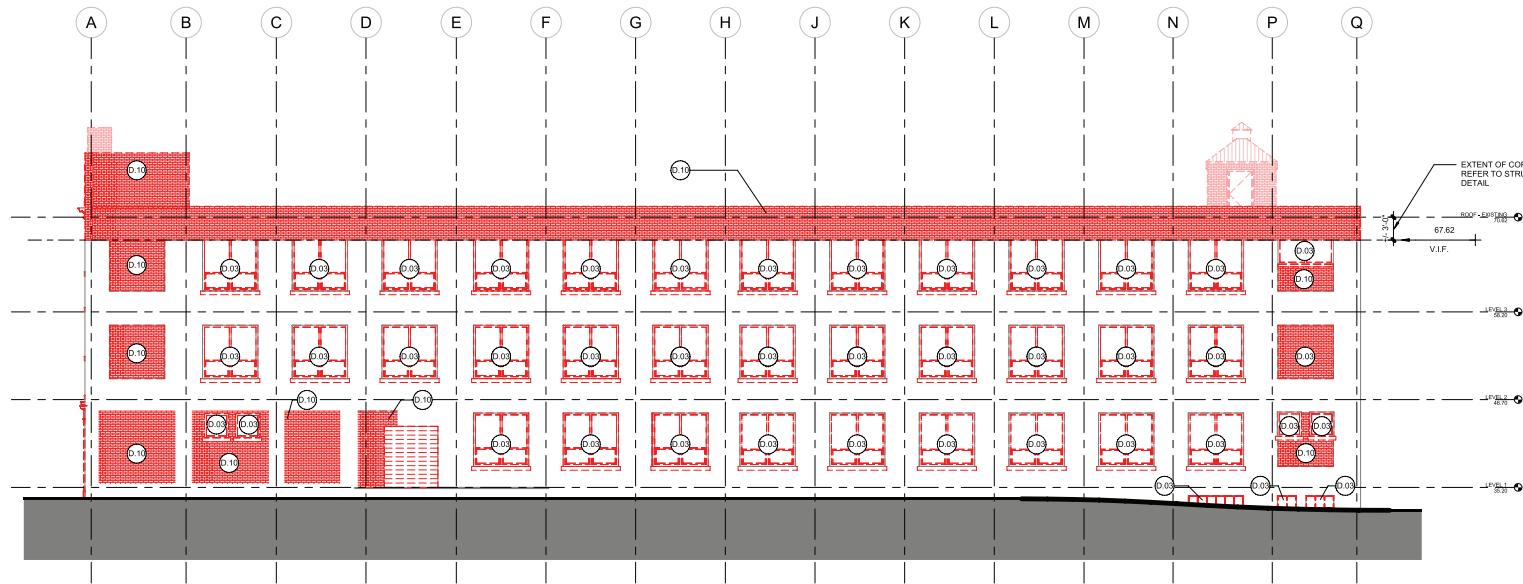
The historic 1920s structure at 69 A Street in South Boston, once the bustling headquarters of the esteemed Standard Rivet Company, embodies an industrial legacy woven into its very essence. Originally comprising three floors and an unfinished basement, its distinctive single-pane windows adorned with steel framing stand as a testament to its storied past.

In our endeavor to honor this rich heritage, our project embraced the transformative potential of cross-laminated timber (CLT). Seamlessly integrating two additional stories, we breathed new vitality into the building, culminating in a striking five-story, 45,000 square foot structure that harmoniously blends its historical roots with contemporary construction methodologies.

Central to our mission was navigating the intricate landscape of permitting procedures, a testament to our team's expertise in orchestrating a seamless journey from concept to realization. The design of the building was meticulously tailored to accommodate either a single tenant or multiple occupants, showcasing its versatility and adaptability to a myriad of usage scenarios.

Drawing inspiration from the building's original architectural elements, our team skillfully orchestrated the integration of core volumes while strategically optimizing the placement of windows. This meticulous approach not only preserved the integrity of the original design but also enhanced functionality and aesthetics, ensuring a symbiotic relationship between past and present.

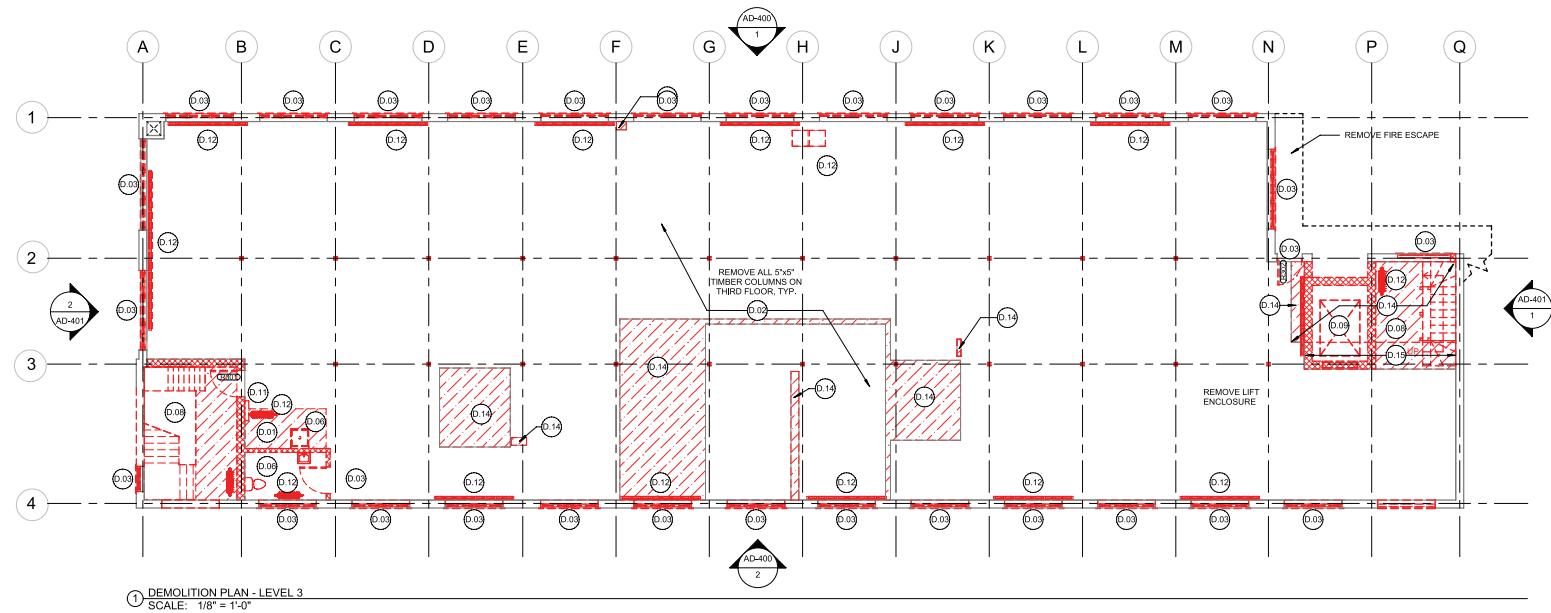


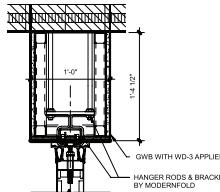


DEMOLITION LEGEND

DEMOLITION KEY NOTE LEGEND

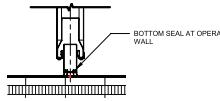
- 001 REMOVE ALL FINISH FLOORING AND WALL BASE
- 002 REMOVE ALL HEAVY TIMBER WD STRUCTURE & STORE FOR RE-USE
- 003 REMOVE DOOR / WINDOW AND FRAME
- 004 REMOVE PARTITION ASSEMBLY UP TO DECK
- 005 REMOVE CEILING SYSTEM INCLUDING LIGHT FIXTURES & CEILING MOUNTED DEVICES
- 006 REMOVE PIPING/PLUMBING EQUIP. SEE PUMPING DWGS FOR ADDITIONAL INFO
- 007 REMOVE ALL BUILT IN MILLWORK AND FURNITURE
- 008 REMOVE STAIRS AND ASSOCIATED STRUCTURAL COMPONENTS
- 009 REMOVE ELEVATOR/LIFT AND ALL ASSOCIATED EQUIPMENT
- 010 REMOVE BRICK & STONE BEST 50% OF PIECES FOR RE-USE
- 011 REMOVE ELECTRICAL EQUIP. SEE ELECT DWG FOR ADDITIONAL INFO
- 012 REMOVE HVAC EQUIP. SEE HVAC DWGS FOR ADDITIONAL INFO
- 014 REMOVE PLYWD. FINISH FLOOR, AND WOOD T&G SUBFLOOR. PREP FOR NEW FLOOR GRADING. REFER TO ARCHITECTURAL DRAWINGS FOR WALL LOCATIONS. ALL NEW FLOOR OPENINGS TO BE MEASURED TO FACE OF STRUCTURE
- 015 REMOVE PLYWD. FINISH FLOOR, AND WOOD T&G SUBFLOOR. V.F., SCOPE OF EXISTING CONDITIONS TO BE DEMO AND REFER TO STRUCTURAL DWGS FOR NEW INFL
- 016 REMOVE WINDOW. REFER TO STRUCTURAL DWGS FOR NEW INFL





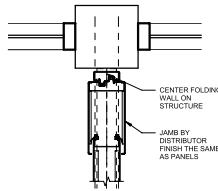
② ENLARGED RCP - BOARDROOM 402, LEVEL 4
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



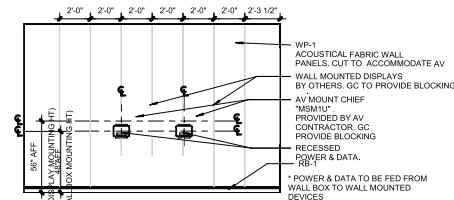
7 SOFFIT DETAIL @ PARTITION SUPPORT TRACK

SCALE: 1 1/2" = 1'-0"



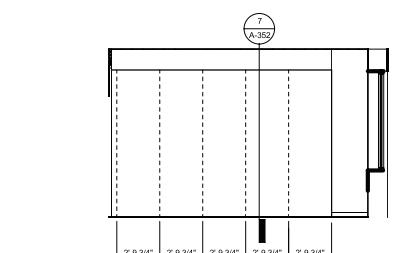
8 PLAN DETAIL @ PARTITION ENDCAP

8 SCALE: 1 1/2" = 1'-0"



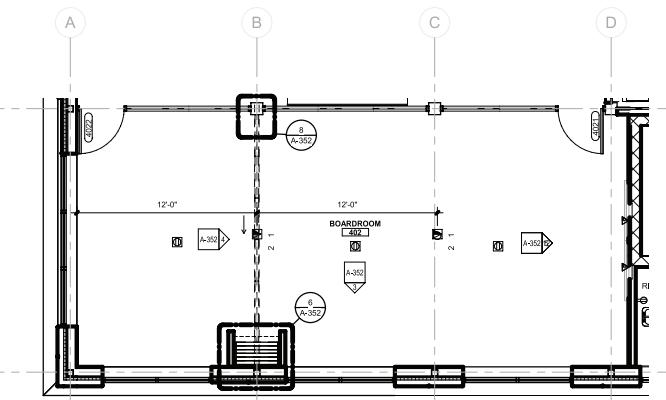
12 ELEVATION @ BOARDROOM 401- EAST
SCALE: 1/4" = 1'-0"

- 500E. 114 -



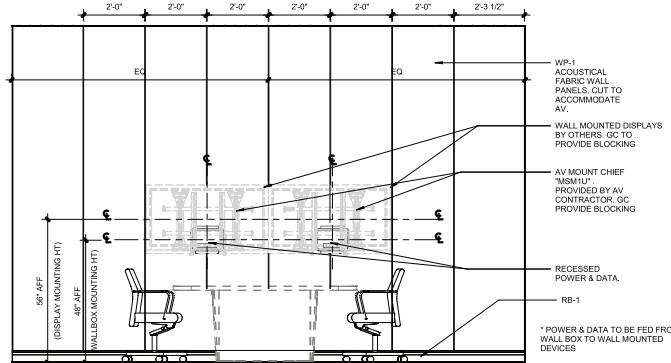
④ ELEVATION @ BOARDROOM 401 - PARTITION TRACK
SCALE: 1/4" = 1'-0"

- SCALE: 1/4 -



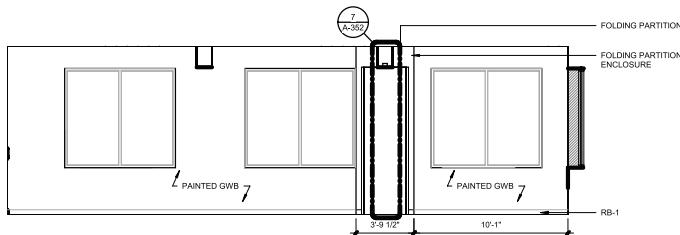
1 ENLARGED PLAN - BOARDROOM 402, LEVEL 4

SCALE: 1/4" = 1'-0"

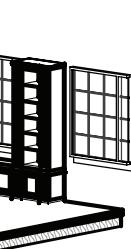
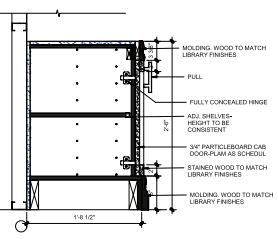
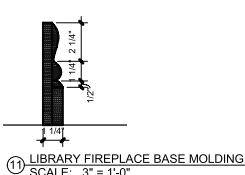
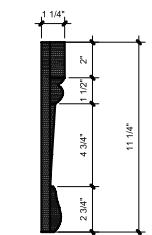
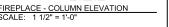
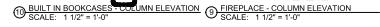
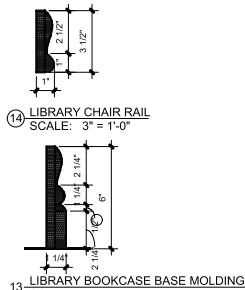
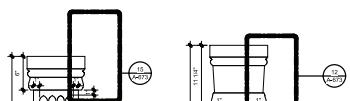
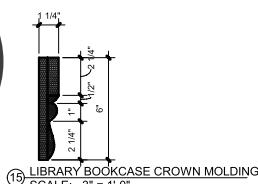


5 ELEVATION @ BOARDROOM 401- EAST Copy 1

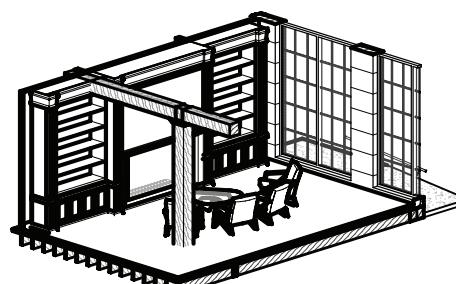
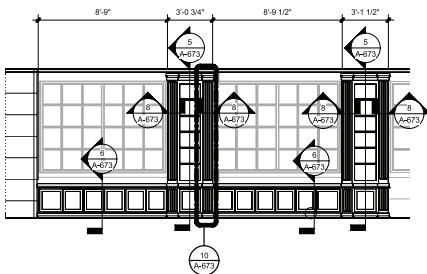
5 SCALE: 1/2" =



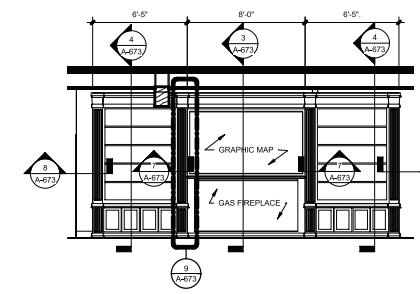
3 ELEVATION @ BOARDROOM 401 - EXTERIOR WALL (SOUTH)

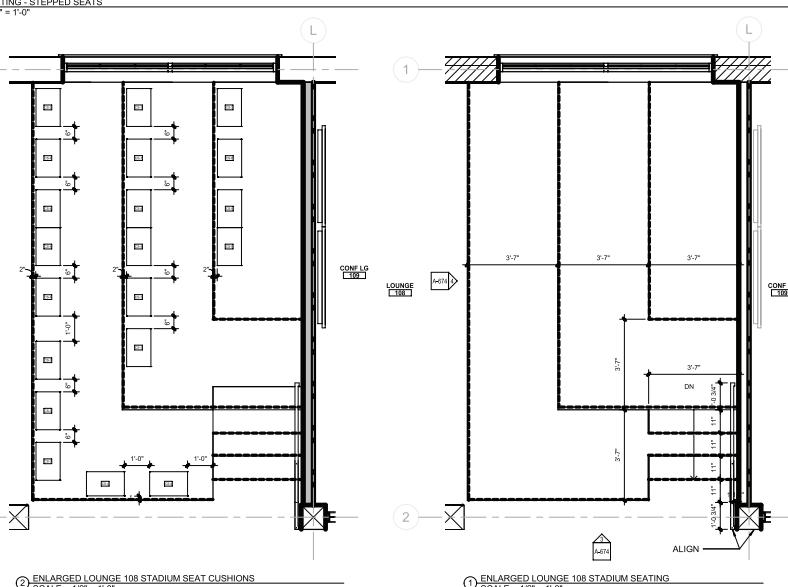
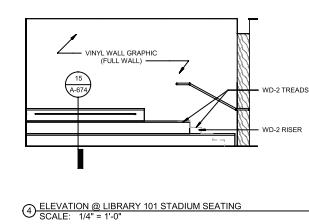
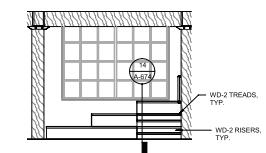
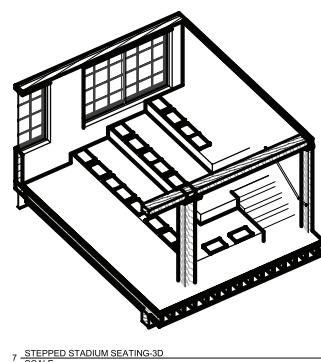
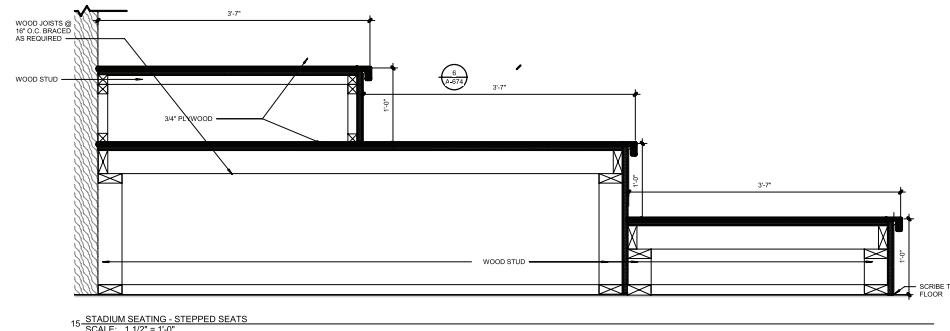
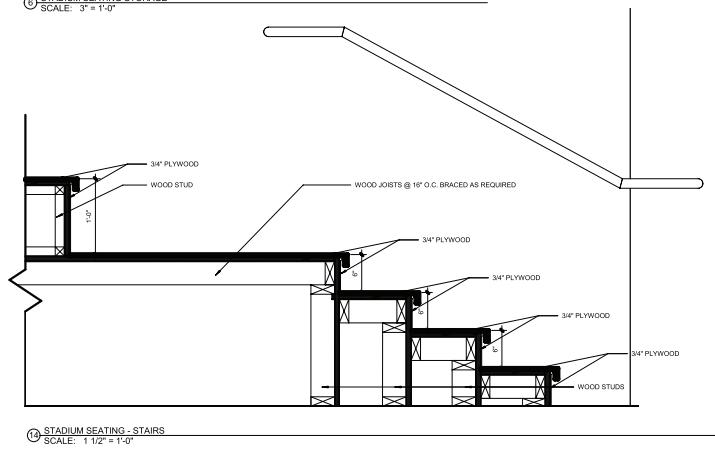
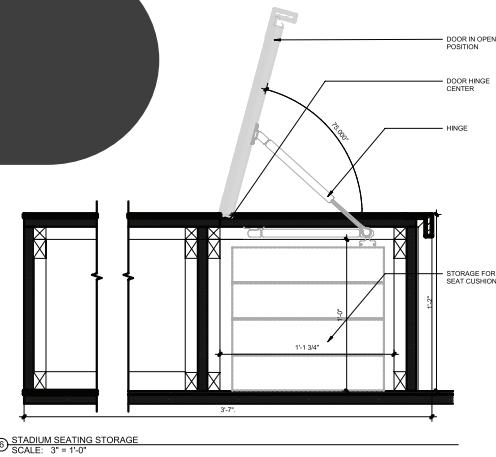


20 LIBRARY BOOKCASE MILLWORK
SCALE:



16 LIBRARY FIREPLACE MILLWORK
SCALE:







CIEE
Boston, MA -





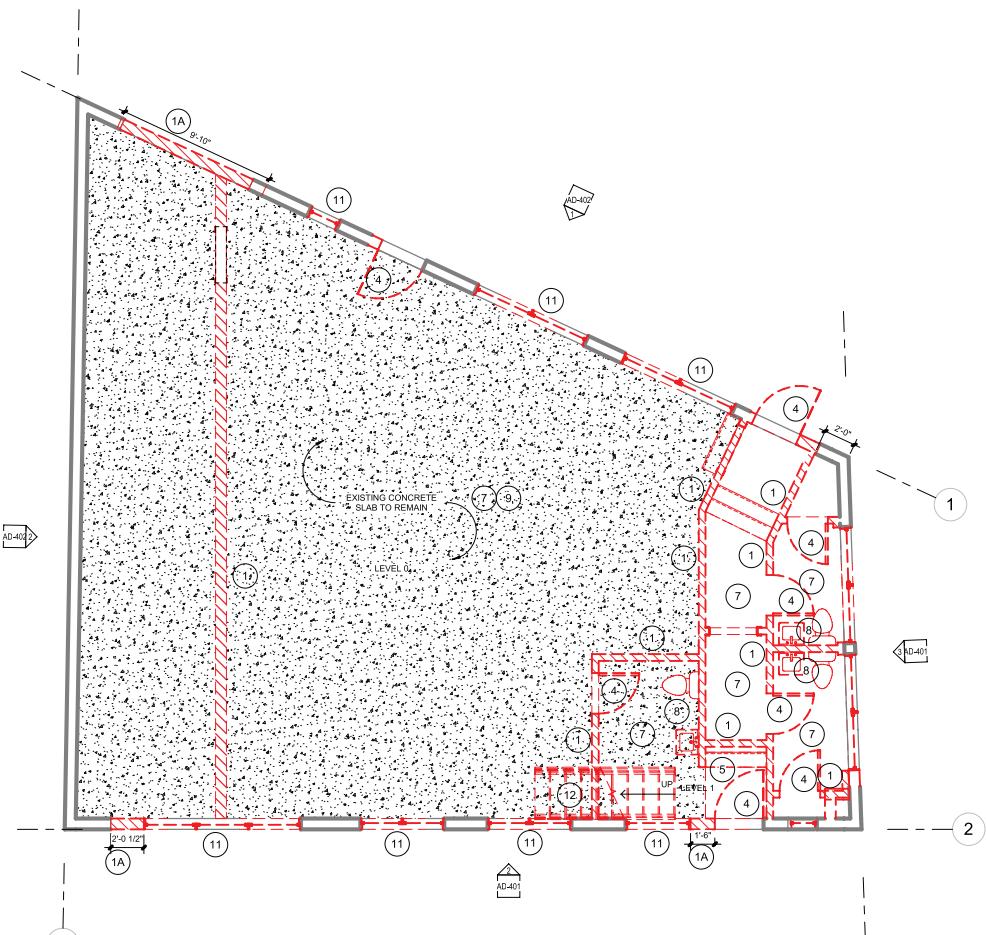
15 Winter St
Cambridge, MA -

Gut-Renovation:

Renovating an existing building situated on a corner lot, ideal for a new company headquarters. The project involves restoring the property and adding a new second-story rain-screen to seamlessly integrate with the surrounding environment and enhance visual appeal. Interior enhancements include ADA upgrades like a two-and-a-half-story elevator and accessible restrooms. Additionally, security measures have been implemented for two tenants, one per floor, with built-in casework storage/kitchenettes. The space is furnished with vibrant colors to evoke youthful energy, making it an ideal fit for modern startups.



15 Winter St
Cambridge, MA -



① DEMOLITION PLAN - LEVEL 1
SCALE: 1/4" = 1'-0"

DEMOLITION PLAN LEGEND

	EXISTING PARTITION TO BE REMOVED		EXISTING DOOR TO BE REMOVED
	EXISTING PARTITION TO REMAIN		EXISTING DOOR TO REMAIN
	EXISTING FLOOR FINISH TO BE REMOVED		

DEMOLITION KEYNOTE LEGEND

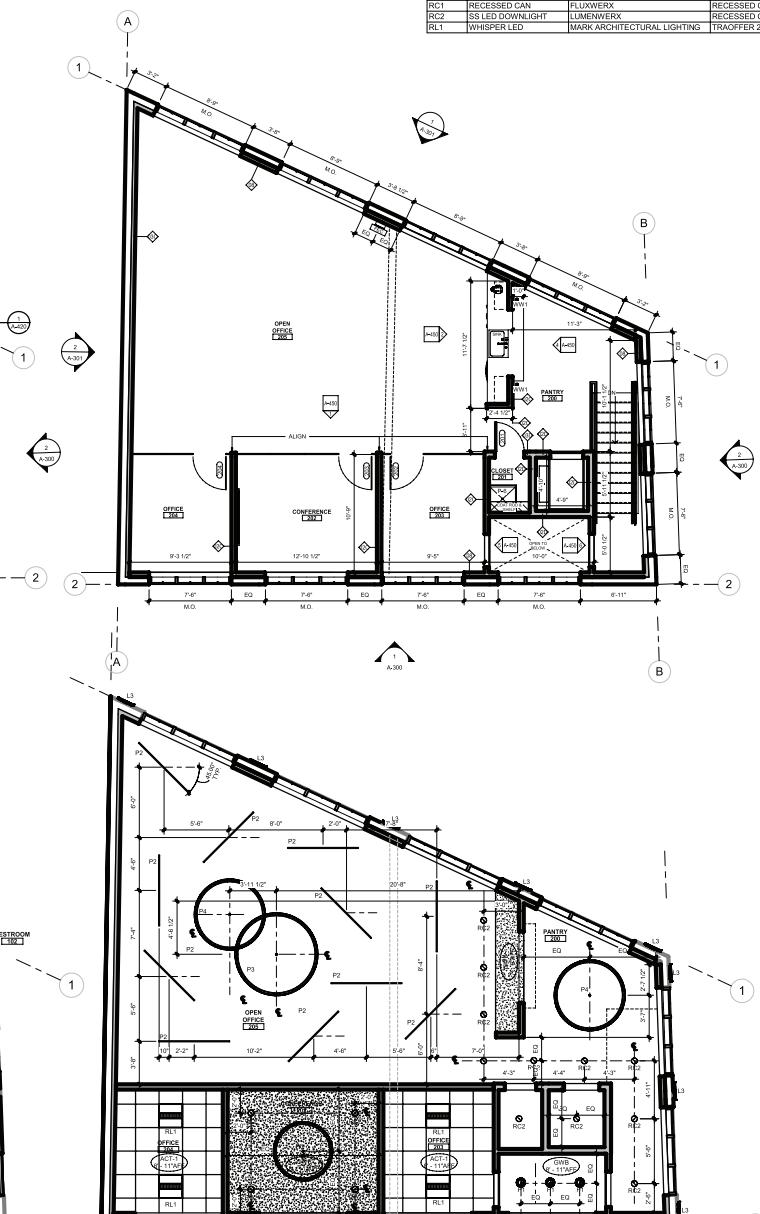
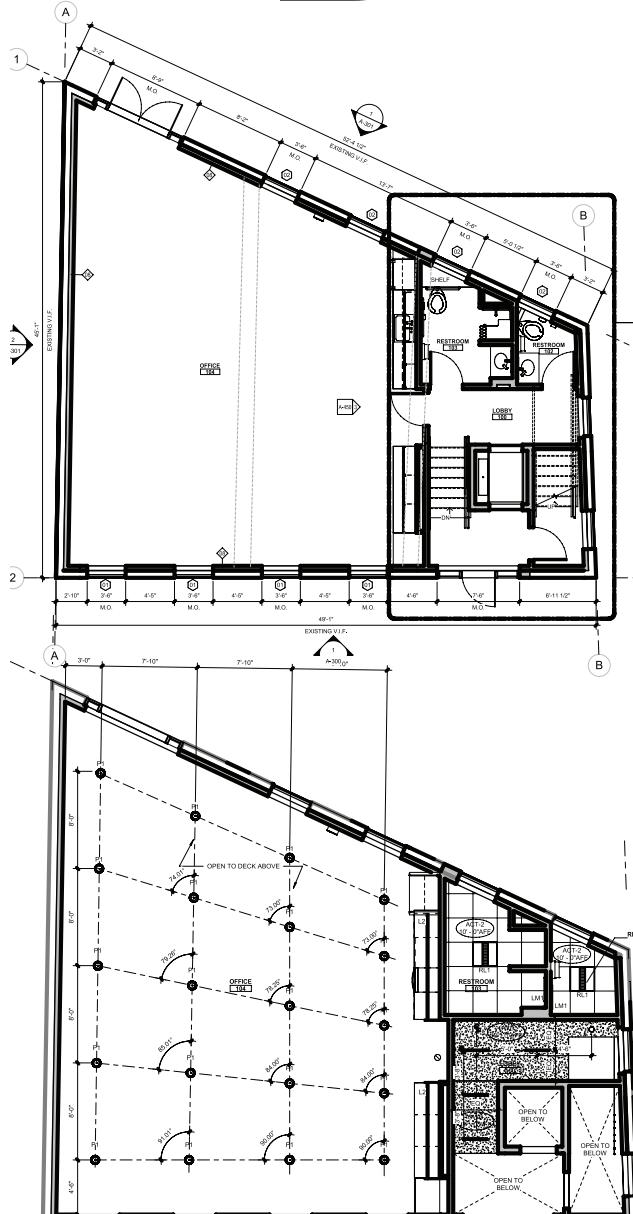
NOTE #	DEMO NOTE
1	REMOVE WALLS
1A	<varies>
2	REMOVE CEILING
3	REMOVE EXISTING FLOOR JOIST FLOOR FRAMING AND CEILING BELOW AS SHOWN
4	REMOVE DOOR & FRAME
5	REMOVE MILLWORK
6	REMOVE EQUIPMENT
7	REMOVE ALL LIGHT FIXTURES & CEILING MOUNTED DEVICES
8	REMOVE PLUMBING AND/OR FIXTURE
9	REMOVE DOORS
11	Shoreup
12	REMOVE EXISTING STAIRWELL
13	CUT NEW OPENING IN DECK, COORD. SIZE W/ NEW CONSTRUCTION DWGS. REINFORCE OPENING AS REQD. REFER TO STRUCTURAL DWGS.

ARCHITECTURAL DEMOLITION NOTES

- THESE DEMOLITION DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF THE WORK. THE GENERAL CONTRACTOR WILL INSPECT THE SITE PRIOR TO DEMOLITION AND VERIFY THE INFORMATION HERIN SUPPLIED.
- DEMOLITION IS INTENDED TO REMOVE EVERYTHING NECESSARY TO ALLOW NEW CONSTRUCTION TO BE ACCOMPLISHED. SEE DRAWINGS SHOWING PROPOSED NEW CONSTRUCTION.
- THE GENERAL CONTRACTOR WILL HAVE THE SOLE RESPONSIBILITY FOR VERIFYING CONDITIONS AT THE PROJECT SITE TO PROVIDE FOR A SAFE AND ORDERLY PERFORMANCE OF THE WORK.
- ALL DEMOLITION OPERATIONS SHALL BE PERFORMED SO AS TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE.
- DISPOSAL OF ANY DEMOLITION DEBRIS IS TO BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- PRIOR TO COMMENCING DEMOLITION WORK INVOLVING STRUCTURAL SUPPORT MEMBERS OF ANY TYPE, THE GENERAL CONTRACTOR MUST NOTIFY THE ARCHITECT/ENGINEER IN ORDER TO EXISTING CONDITIONS.
- INsofar as construction operations may require it, the general contractor is responsible for temporary supports.
- Under no condition shall any existing foundation be undermined or any structural member altered in any way that will adversely effect the existing work.
- Locations of new openings are shown on new drawings. The general contractor will review such layout for coordination with new construction and notify architect of any discrepancies prior to demolition.
- The general contractor shall take appropriate and reasonable measures to minimize dust and debris to building occupants and neighbors.
- See floor plans and general notes for items to be salvaged. Items of salvageable value to the general contractor and not identified in the floor plan or general notes may be removed from the building as work progresses.
- Do not park vehicles on or across street. Vacate or close off public or user facilities without permission from authorities having jurisdiction. Provide alternative routes around closed or obstructed traffic ways if required by governing regulations.
- The general contractor is fully responsible for all safety measures, including but not limited to those required by the federal occupational safety and health administration (osha) and the commonwealth of massachusetts state building code.
- Cap all abandoned utility services including plumbing, gas and electrical in accordance with code.
- Remove existing adhesive as required to allow proper installation of new flooring, per manufacturer's requirements.
- All existing subfloor utilities to be removed and capped as required.
- Some of the new openings may be under current joist & beam bearing locations. All floor & roof openings should be shored accordingly by the g.c.



15 Winter St
Cambrdge, MA -



LIGHTING FIXTURE SCHEDULE

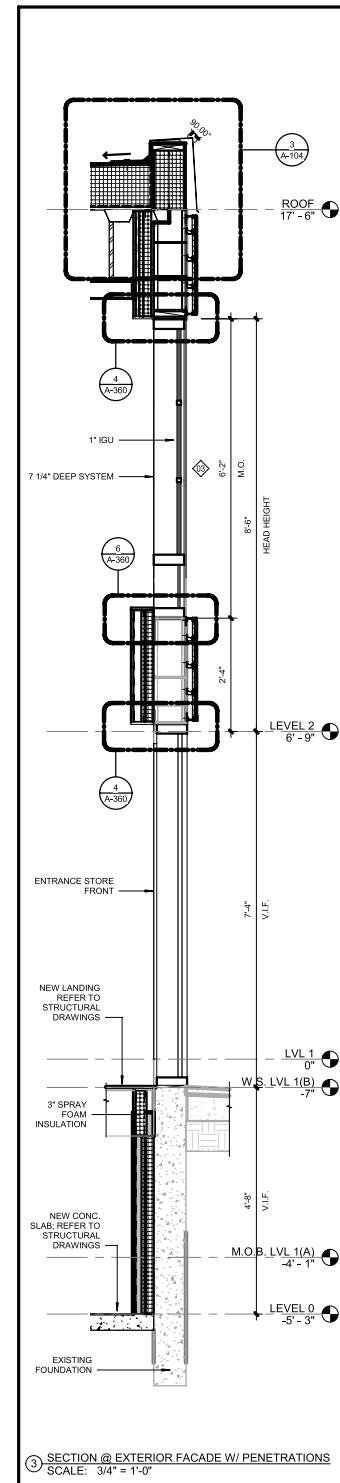
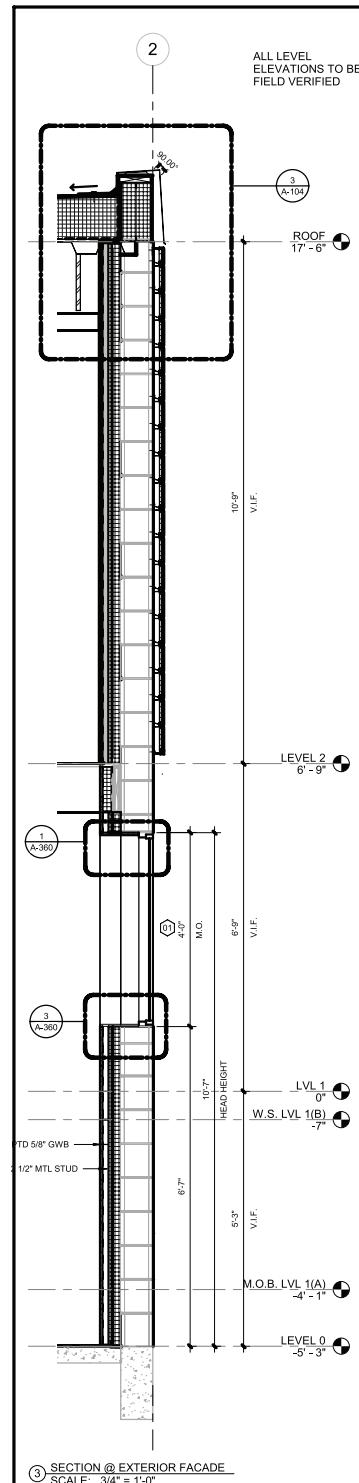
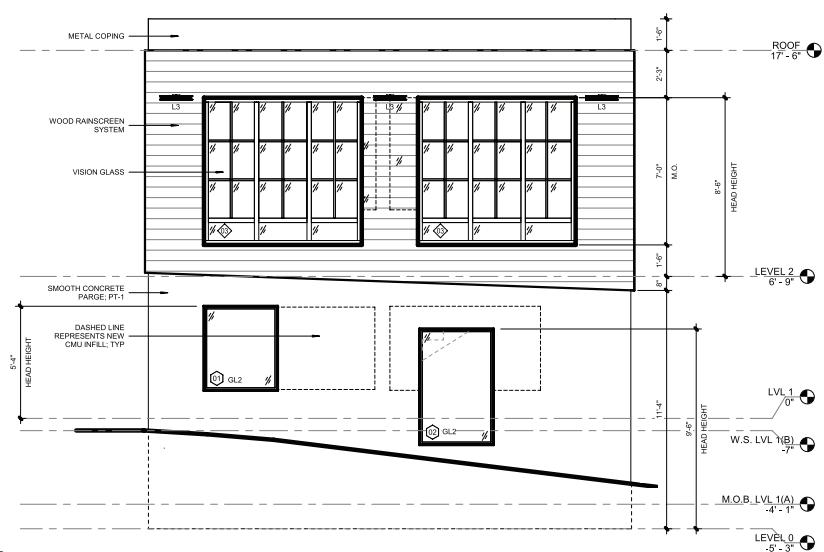
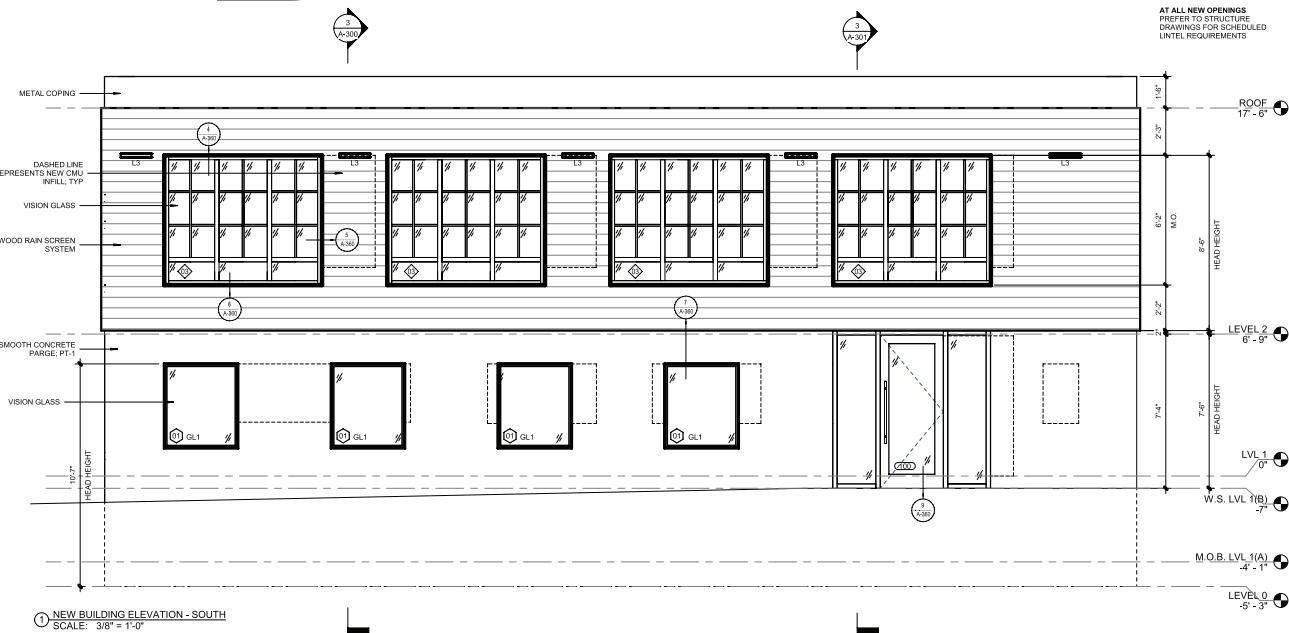
Type	Fixture Type	Manufacturer	Description	Finish	Model	Initial Color Temperature	Mounting Instructions	Remarks
L1	INTERIOR WALL WASH	PINNACLE	6 WALL WASH STRIP	WHITE	EDGE SERIES - EW-11VS-R-GS-120-DW	4200 K		
L2	UNDER CABINET LIGHT	ACUTY BRANDS LIGHTING	SHALLOW UNDER CABINET LIGHT	WHITE	RAC-24-30K-90CW	3200 K		
L3	EXTERIOR WALL WASH	ACUTY BRANDS LIGHTING	SURFACE MOUNTED EXTERIOR WALL WASH STRIP	BKT	MARLINE 501 SERIES; MKS01-LLP-MSLA-500MF-650LMF-WW-MV-DL	3200 K		
P1	PORTAL PENDANT	FLUXWERX	DECORATIVE PENDANT 9"	WHITE	TC1-105-S-63-SW-W-M-2-35	3500 K	<varies>	
P2	LINEAR PENDANT	LUMENWERX	SUSPENDED LINEAR PENDANT - 48 INCH LENGTH	WHITE	VIA-5-9PH-LHD-FR-W1C02-SW-9-35-UNV-AL	3500 K	SUSPENSION LENGTH TO BE DETERMINED IN FIELD W/ ARCHITECT	<varies>
P3	MICRO RING I	BETA-CALCO	SUSPENDED CIRCULAR PENDANT - DIRECT/INDIRECT 12 INCH DIAMETER	SILVER METALLIC	95-3150-D35-N35-S1-M4S	3500 K	SUSPENSION LENGTH TO BE DETERMINED IN FIELD W/ ARCHITECT	DIMMED TO 25% OF STANDARD LUMEN OUTPUT
P4	MICRO RING I	BETA-CALCO	SUSPENDED CIRCULAR PENDANT - DIRECT/INDIRECT 12 INCH LENGTH	METALLIC	95-3140-D35-N35-S1-M5	3500 K	<varies>	SUSPENSION LENGTH TO BE DETERMINED IN FIELD W/ ARCHITECT
P6	MICRO RING I	BETA-CALCO	SUSPENDED LINEAR PENDANT - 72 INCH LENGTH	SILVER METALLIC	95-3140-D35-N35-K1-M4	3500 K	SUSPENSION LENGTH TO BE DETERMINED IN FIELD W/ ARCHITECT	DIMMED TO 25% OF STANDARD LUMEN OUTPUT
RC1	RECESSED CAN	FLUXWERX	RECESSED CAN LED DOWNLIGHT	WHITE	TC1-105-S-63-K1-WW-W1-13-35	3500 K		
RC2	SS LED DOWNLIGHT	LUMENWERX	RECESSED CAN LED DOWNLIGHT	WHITE	VOLA-VQRR-TRM-SW-F-ASB-UNV-D1-V04	3500 K	<varies>	

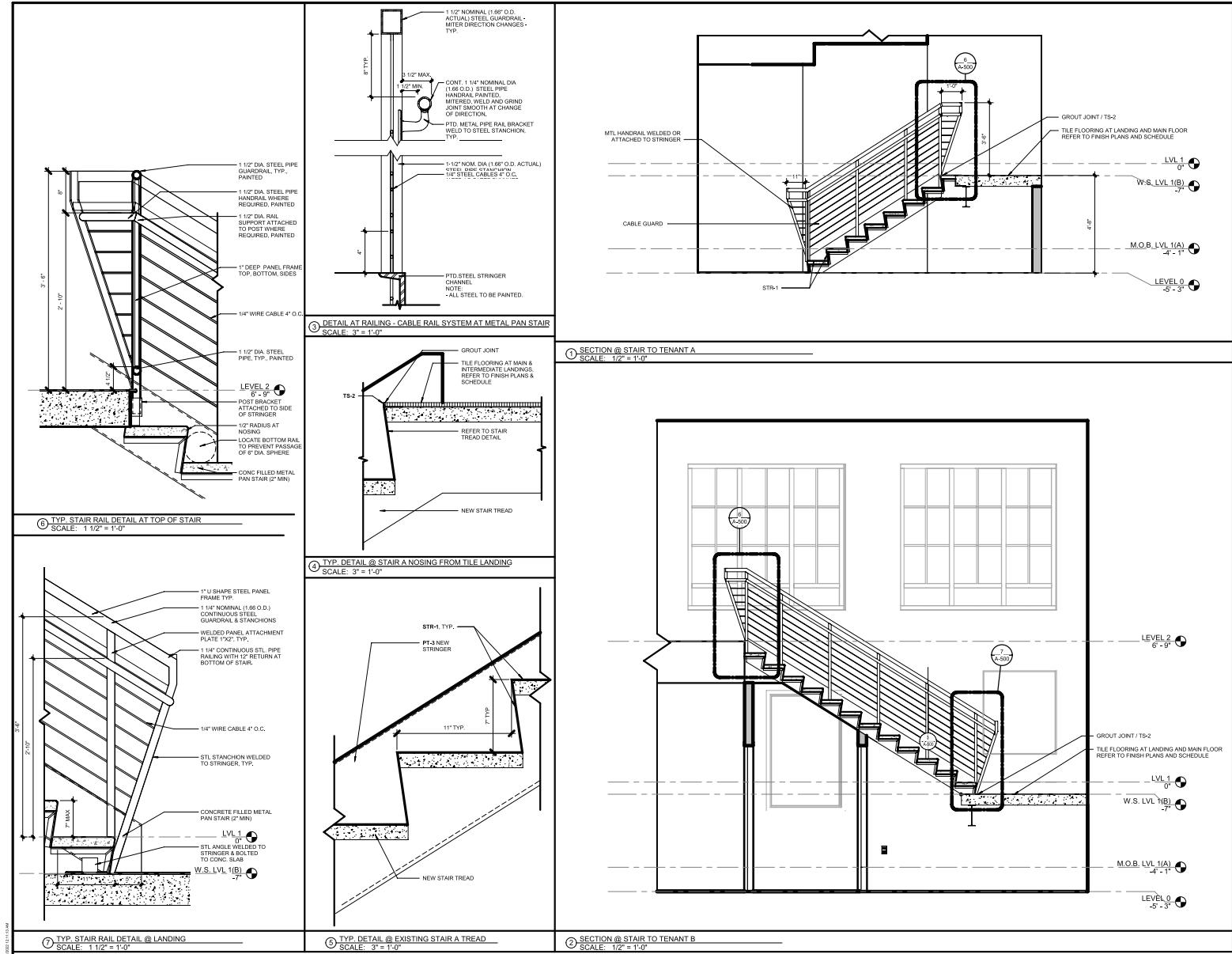
REFLECTED CEILING PLAN NOTES

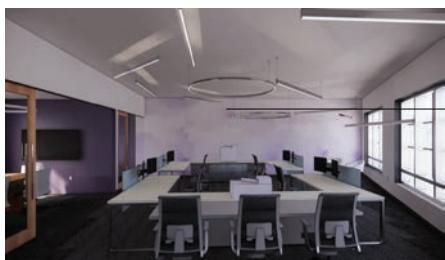
1. EXISTING GYPSUM WALLBOARD CEILINGS ARE TO BE PATCHED AND REPAIRED TO A FINISH LEVEL CONSISTENT WITH NEW WORK.
2. DOWN LIGHTS, WALL WASHERS, SMOKE DETECTORS, EXIT SIGNS, AND OTHER CEILING MOUNTED DEVICES ARE TO BE CENTERED IN CEILING TILES AND GYPSUM WALLBOARD SOFFITS, UNLESS OTHERWISE NOTED.
3. ANY MECHANICAL AND ELECTRICAL DEVICES, SUCH AS BUT NOT LIMITED TO SPRINKLER HEADS, LIGHTING FIXTURES, AND LIFE SAFETY DEVICES, MOUNTED ON THE CEILING ARE TO BE CENTERED IN CEILING TILES AND GYPSUM WALLBOARD SOFFITS IN BOTH DIRECTIONS, UNLESS OTHERWISE NOTED.
4. DIMENSIONS OF FIXTURES, DEVICES, ETC. ARE REFERENCED TO THE CENTERLINE OF FIXTURE, UNLESS OTHERWISE NOTED. WHERE ITEMS ARE IN LINE, ALIGN THE CENTERLINE OF ITEMS OR GROUP OF ITEMS, UNLESS OTHERWISE NOTED. WHERE DIMENSIONS ARE NOT PROVIDED, REFER TO ENLARGED PLANS FOR TYPICAL DIMENSIONS.
5. THE LAYOUT OF ACOUSTICAL TILE CEILINGS IS TO BE CENTERED IN ROOMS, UNLESS OTHERWISE NOTED. FOR REFLECTED CEILING PLAN FOR LAYOUT OF GRID LINE OR TILE TO BE CENTERED, CUT CEILING TILES TO BE 3 INCHES MINIMUM. NOTIFY THE ARCHITECT IF LESS, PRIOR TO CONSTRUCTION.
6. SPRINKLER HEADS ARE SHOWN IN ARCHITECTURAL/INTERIOR DRAWINGS FOR DESIGN INTENT ONLY. SEE FIRE PROTECTION CONTRACT DRAWINGS AND APPROVED SHOP DRAWINGS FOR DISTRIBUTION AND HYDRAULIC CALCULATIONS.
7. CEILINGS TO BE OPEN, UNLESS OTHERWISE NOTED.
8. ALL HVAC, PLUMBING, FIRE PROTECTION, ELECTRICAL AND LIFE SAFETY DEVICE LOCATIONS NOT SHOWN ON DRAWINGS, OR IN CONFLICT WITH THE HVAC, PLUMBING, FIRE PROTECTION, ELECTRICAL AND LIFE SAFETY DRAWINGS, ARE TO BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION.
9. THE GENERAL CONTRACTOR WILL COORDINATE LOCATIONS OF ALL CEILING ELEMENTS AND PROVIDE COMPLETE COORDINATION DRAWINGS FOR REVIEW BY THE ARCHITECT AND ENGINEER FOR APPROVAL.
10. NEW CEILINGS ARE TO ALIGN VERTICALLY WITH EXISTING CEILINGS, UNLESS OTHERWISE NOTED.

REFLECTED CEILING PLAN LEGEND

TYPIGRAPHIC INNOMENCLATURE:	
E: EXISTING FIXTURE	EX- SIGN - CEILING MOUNTED
XN: NEW LOCATION OF SALVAGED FIXTURE	ARROWS INDICATE DIRECTION
	2x2 ACOUSTIC CEILING TILE CEILING SYSTEM
	2x4 ACOUSTIC CEILING TILE CEILING SYSTEM
	GYPSUM BOARD CEILING / SOFFIT
	CEILING TYPE KEY CEILING TYPE CEILING HEIGHT, ABOVE FINISHED FLOOR
	4' STRIP FIXTURE
	1' x 4' LAY-IN FIXTURE
	2x2' LAY-IN FIXTURE
	2x4' LAY-IN FIXTURE
	RECESSED DOWNLIGHT
	DECORATIVE RECESSED DOWNLIGHT
	RECESSED WALL WASHER
	DOWNLIGHT, WALL WASHER
	MONOPONT
	4' TRACK LIGHT - TRIANGLES INDICATE # OF FIXTURES
	WALL SCONCE
	PENDANT FIXTURE
	LINEAR PENDANT FIXTURE
	UNDER CABINET FIXTURE
	EXIT SIGN - CEILING MOUNTED
	OCCUPANCY SENSOR CEILING MOUNTED
	JUNCTION BOX
	OUTLET- DUPLEX CEILING MOUNTED
	OUTLET- TELDATA FLOOR OR CEILING MOUNTED
	POWER POLE # INDICATES QTY OF POWERED WORKSTATIONS
	SPEAKER
	PS PROJECTION SCREEN
	WIRE TRAY
	SECURITY CAMERA
	SUPPLY DIFFUSER, LINEAR
	RETURN DIFFUSER, LINEAR
	SUPPLY DIFFUSER
	RETURN DIFFUSER
	SPRINKLER
	SPRINKLER, CONCEALED
	WINDOW TREATMENT CEILING MOUNTED
	EMERGENCY LIGHT
	RECESSED LINEAR STRIP
	LINEAR PERIMETER TROUGH





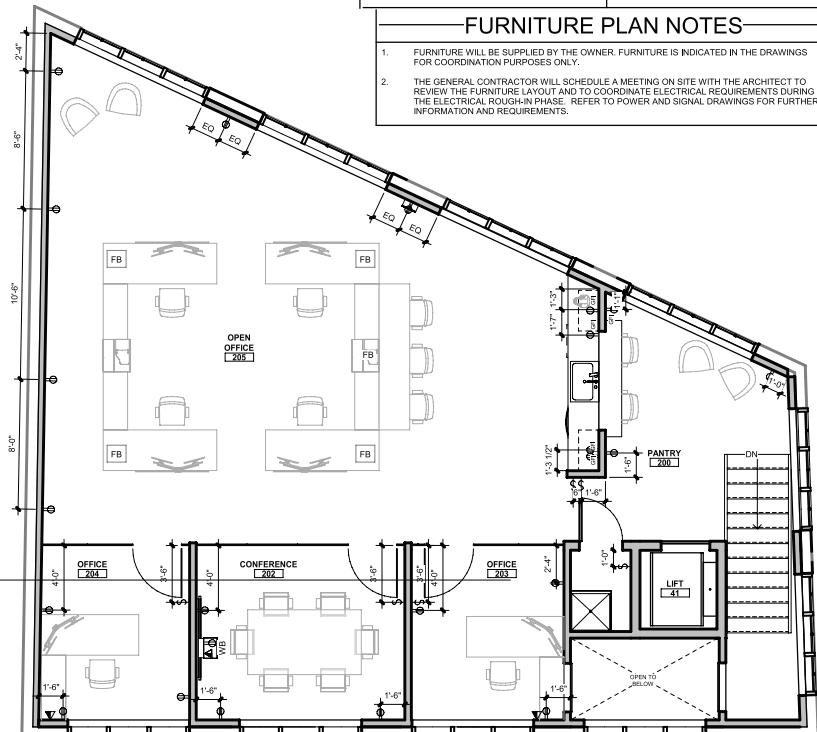


POWER & SIGNAL PLAN LEGEND

 GFI	OUTLET - DUPLEX, GFI	 CARD READER
 L	OUTLET - DUPLEX, DEDICATED	 SECURITY CAMERA
 S	OUTLET - QUADRUPLEXP	 FIRE ALARM HORN STROBE, WALL MOUNTED
 MTD	OUTLET - QUADRUPLEXP, DEDICATED	 SPEAKER
 MTD	OUTLET - DUPLEX, CEILING MTD	 THERMOSTAT
 S	SWITCH	 OUTLET - TELDATA
 AV A	(2) NETWORK & (2) DUPLEX OUTLETS. COORDINATE WITH CLIENT ON HEIGHTS AND LAYOUT, CONNECTIONS TO EXTEND TO TABLE.	(E) EXISTING TO REMAIN
	(2) NETWORK & (2) DUPLEX OUTLETS. COORDINATE WITH CLIENT ON HEIGHTS AND LAYOUT.	
 AV B		

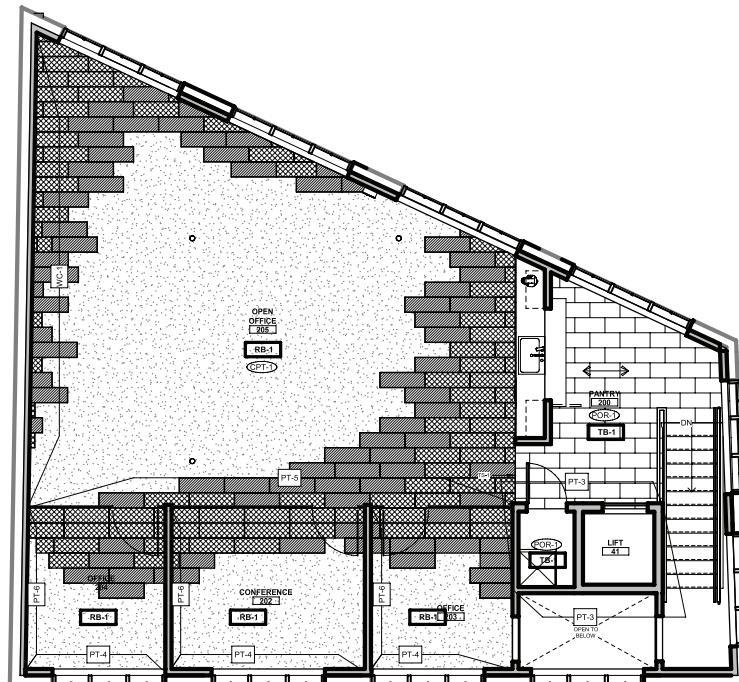
-FURNITURE PLAN NOTES-

1. FURNITURE WILL BE SUPPLIED BY THE OWNER. FURNITURE IS INDICATED IN THE DRAWINGS FOR COORDINATION PURPOSES ONLY.
2. THE GENERAL CONTRACTOR WILL SCHEDULE A MEETING ON SITE WITH THE ARCHITECT TO REVIEW THE FURNITURE LAYOUT AND TO COORDINATE ELECTRICAL REQUIREMENTS DURING THE ELECTRICAL ROUGH-IN PHASE. REFER TO POWER AND SIGNAL DRAWINGS FOR FURTHER INFORMATION AND REQUIREMENTS.

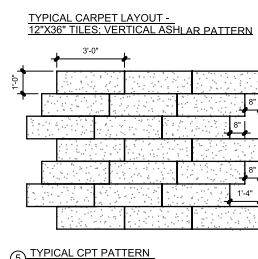
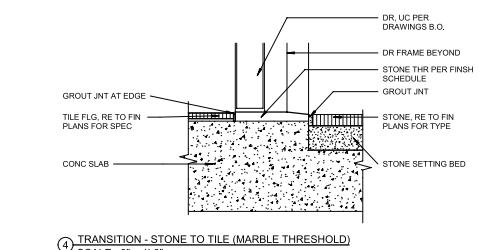
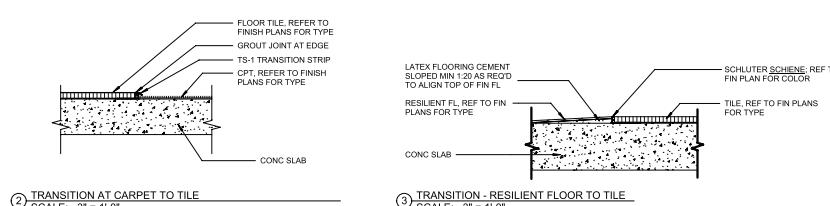


FINISH PLAN LEGEND

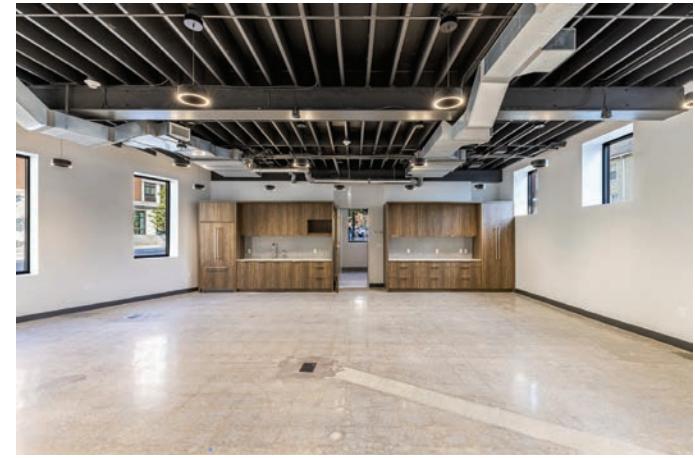
ACT	ACOUSTIC TILE CLG		CPT-1
CPT	CARPET		
CT	CERAMIC TILE		CPT-2
GWBS	GLASS		
LAM	PLAUM		CPT-3
LIN	PORCELAIN TILE		
PODR	PAINT		POR-1
SS	SS		
TS	TRANSITION STRIP		
VB	VB		
VCT	VCT		
VF	VINYL FILM		
WD	WOOD		
WC	WALL COVERING		
WP	WD PANEL		
WB	WD BASE		
 PT-X			SEAL-1
FIN TAG			
 DIRECTION OF CPT			



① FLOOR FINISH PLAN - LEVEL 2
SCALE: 1/4" = 1'-0"



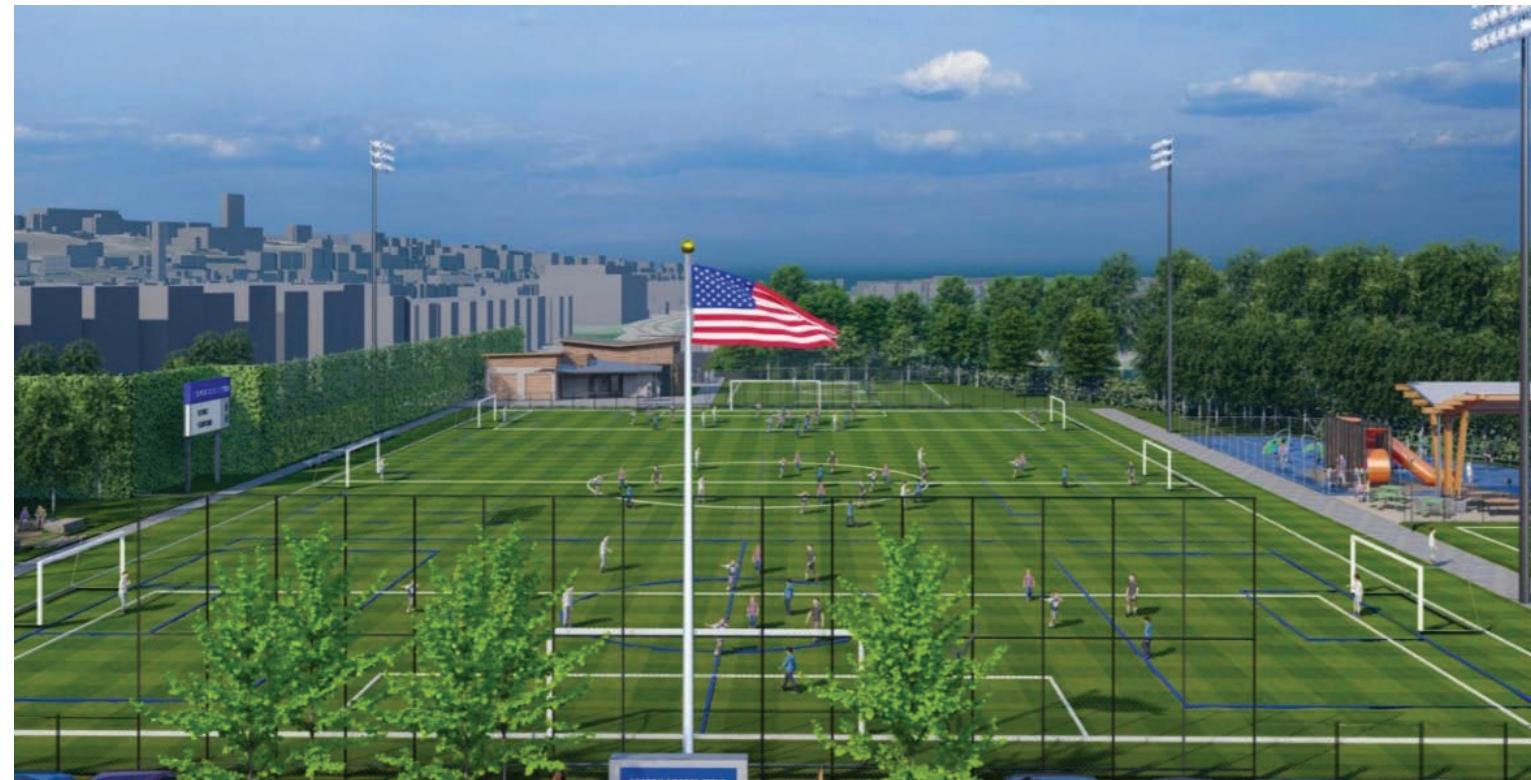
 15 Winter St
Cambridge, MA -



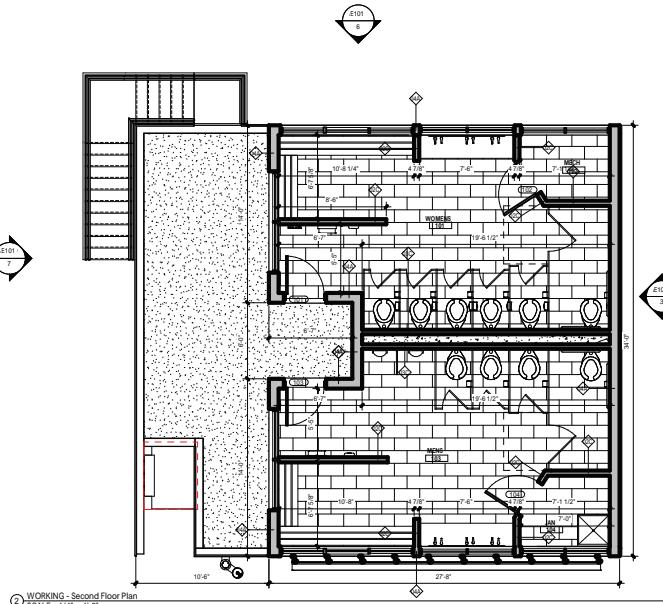
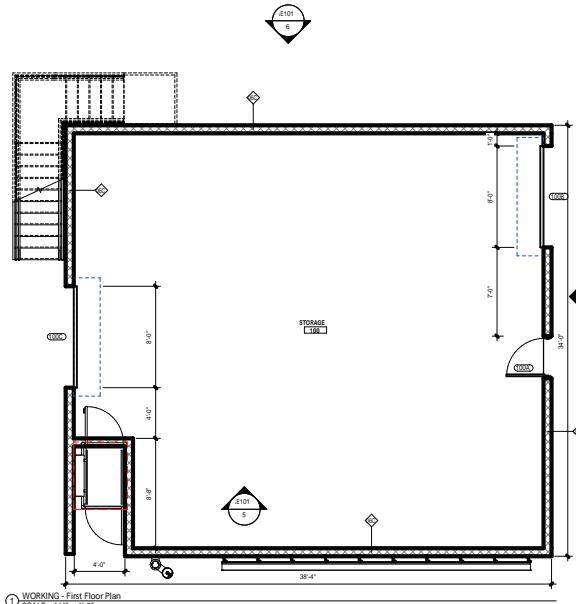
Sports Structure:

Establishment of a new headquarters dedicated to their youth initiatives and administrative functions. After extensive property exploration, the organization partnered with the Salesian Boys and Girls Club of East Boston to renovate an existing building into a shared space. This renovated facility will house staff offices, youth program areas, and a coach training room. Furthermore, the project encompasses the development of high-quality soccer fields nearby, accompanied by amenities such as restrooms, a playground, outdoor classroom, walking path, and parking facilities.

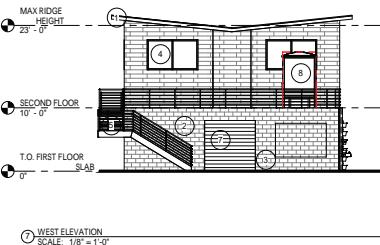
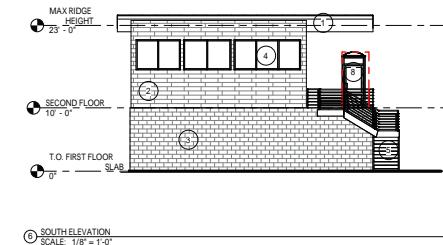
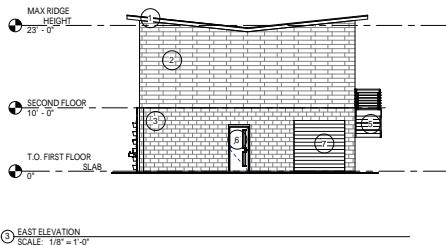
The new headquarters will facilitate Boston Scores in significantly expanding their youth outreach efforts while enhancing program quality. Additional enhancements include the installation of an elevator for improved accessibility throughout the Boys and Girls Club building and the reconstruction of the parking lot to incorporate eco-friendly stormwater management and more activity spaces for local youth.



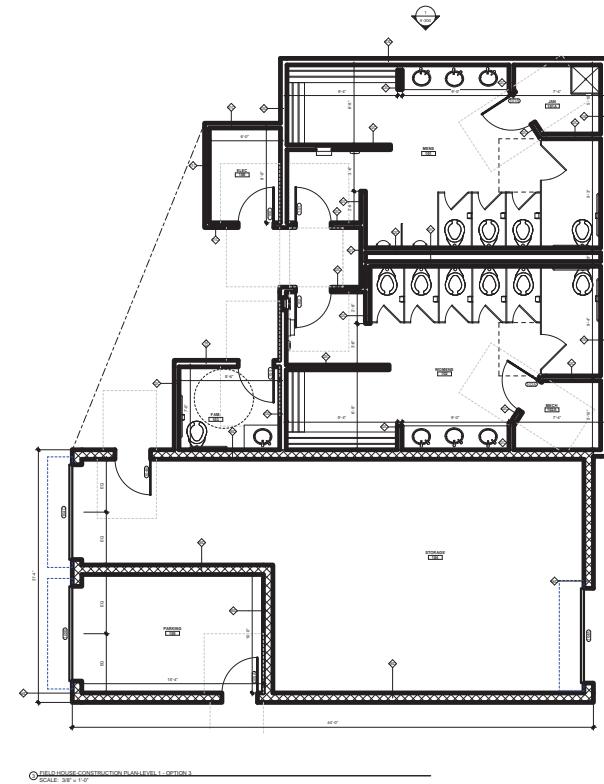
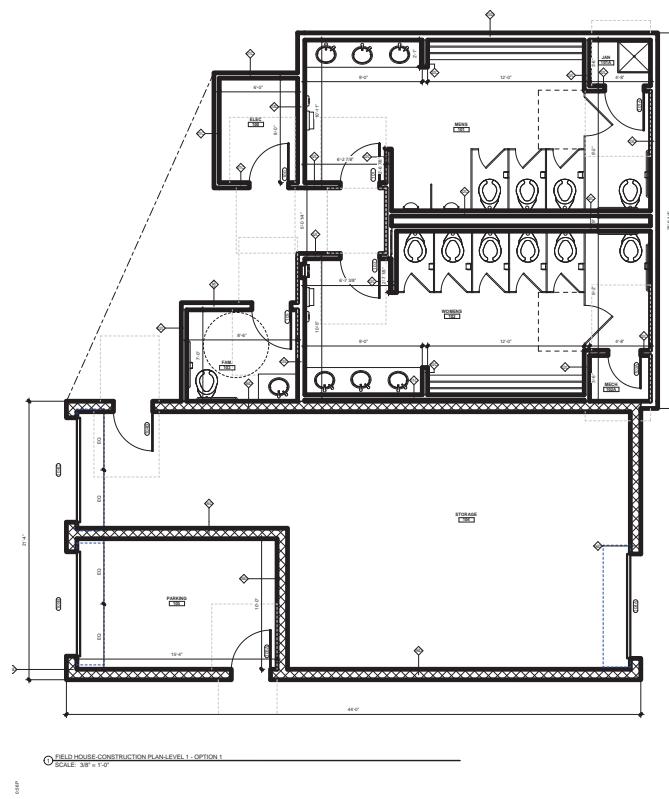
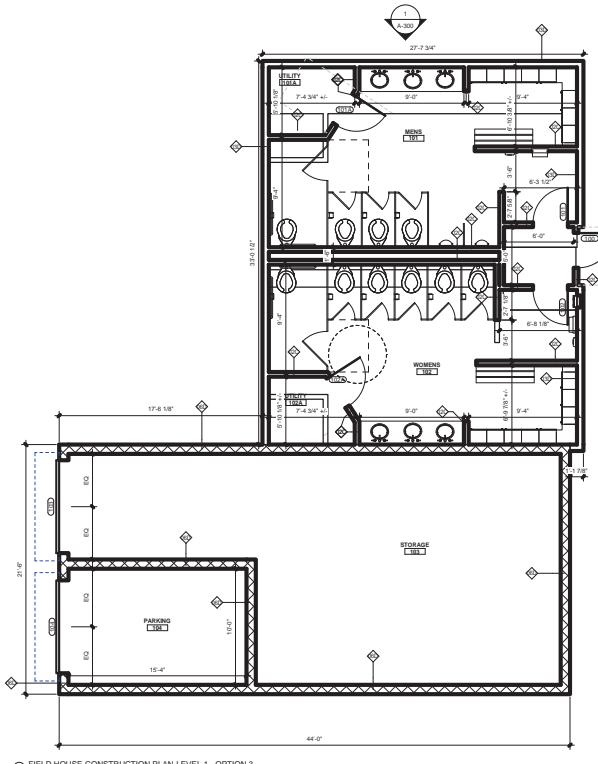
 Boston Scores
Boston, MA -



MATERIAL NOTES	
1	STANDING SEAM METAL ROOF
2	HORIZONTAL NOSE, CAP SIDING BY BORAL OR EQUAL
3	SPLIT FACE CMU BLOCK
4	ALUMINUM FRAME DIRECT SET WINDOW OR STOREFRONT
5	DOOR BY GARAVENTA OR EQUAL
6	INSULATED METAL EXTERIOR DOOR
7	INSULATED OVERHEAD DOOR
8	EXTERIOR LIFT BY GARAVENTA OR EQUAL



 Boston Scores
Boston, MA -



Boston Scores

Boston, MA -



MATERIAL NOTES	
1.	STANDING SEAM METAL ROOF
2.	HORIZONTAL NAIL GAP SIDING BY BORAL OR EQUAL
3.	SPF 2X6 IN 16" O.C. BLOWN INSULATION
4.	ALUMINUM FRAME DIRECT SET WINDOW OR STOREFRONT
5.	VERTICAL WOOD SCREENING FOR MECHANICAL
6.	1" THERMOBOND INSULATION LOW-E COATING
7.	INSULATED METAL EXTERIOR DOOR
8.	INSULATED OVERHEAD DOOR
9.	FLAT SEAM METAL CANOPY ROOFING
10.	EPDM ROOFING MEMBRANE

04 20 00 MASONRY

04 20 00 CMU BLOCK

CMU-1	TYPE: IGNITE YORK BUILDING PRODUCT
	STYLE: SPLIT FACE
	MATERIAL: MIST
	SIZE: 8x8x16
	INSTALL: BRICK
	NOTE: ...
	CONTACT: ...

CMU-2	TYPE: POLISHED CMU BLOCK
	YORK BUILDING PRODUCTS
	STYLE: GEMSTONE
	MATERIAL: CHARCOAL
	SIZE: 8x8x16
	INSTALL: BRICK
	NOTE: ...
	CONTACT: ...

07 46 00 WOOD SIDING

07 46 00 WOOD SIDING

WS-1	TYPE: WOOD COLLECTION
	STYLE: THERMO
	MATERIAL: SPRUCE
	SIZE: 1 1/8
	INSTALL: BRICK
	NOTE: ...
	CONTACT: ...

08 00 00 DOORS

08 10 00 DOORS

ALL	MFR: GEICO
	MODEL: ENCORE
	COLOR: RAL 7043

08 30 00 GARAGE DOORS

105A	MFR: CLOPPLY
	TYPE: INSULATED OVERHEAD
	MODEL: ENCORE SERIES
	COLOR: CHARCOAL

08 50 00 WINDOWS

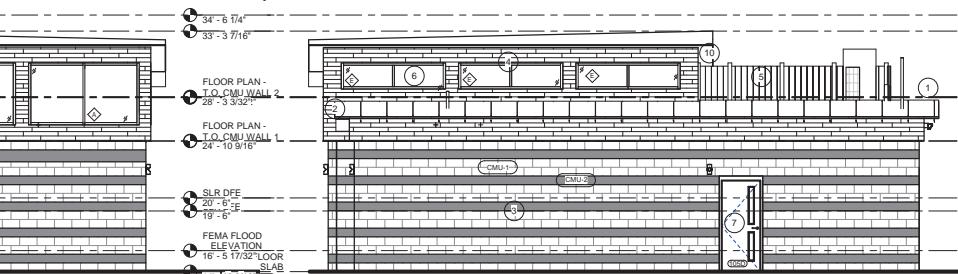
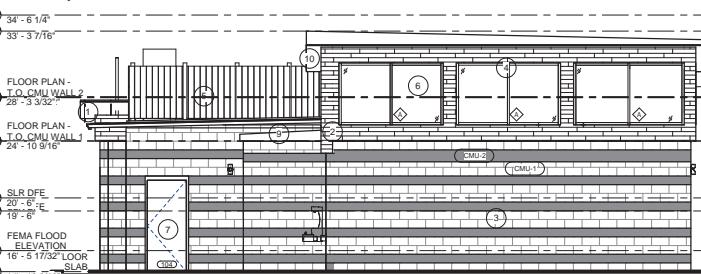
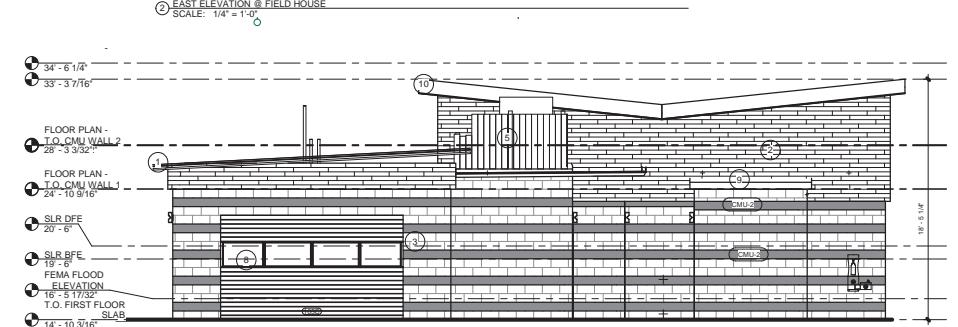
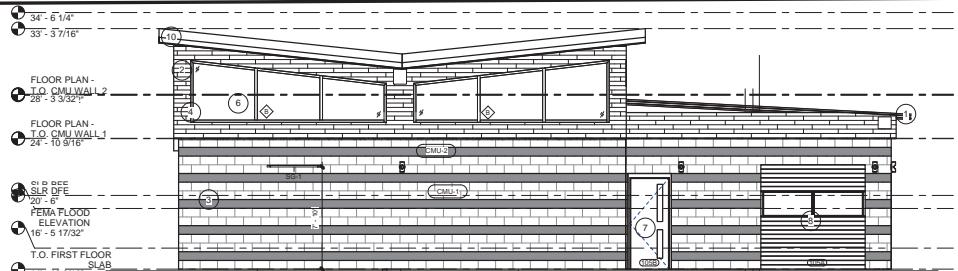
08 50 00 WINDOWS

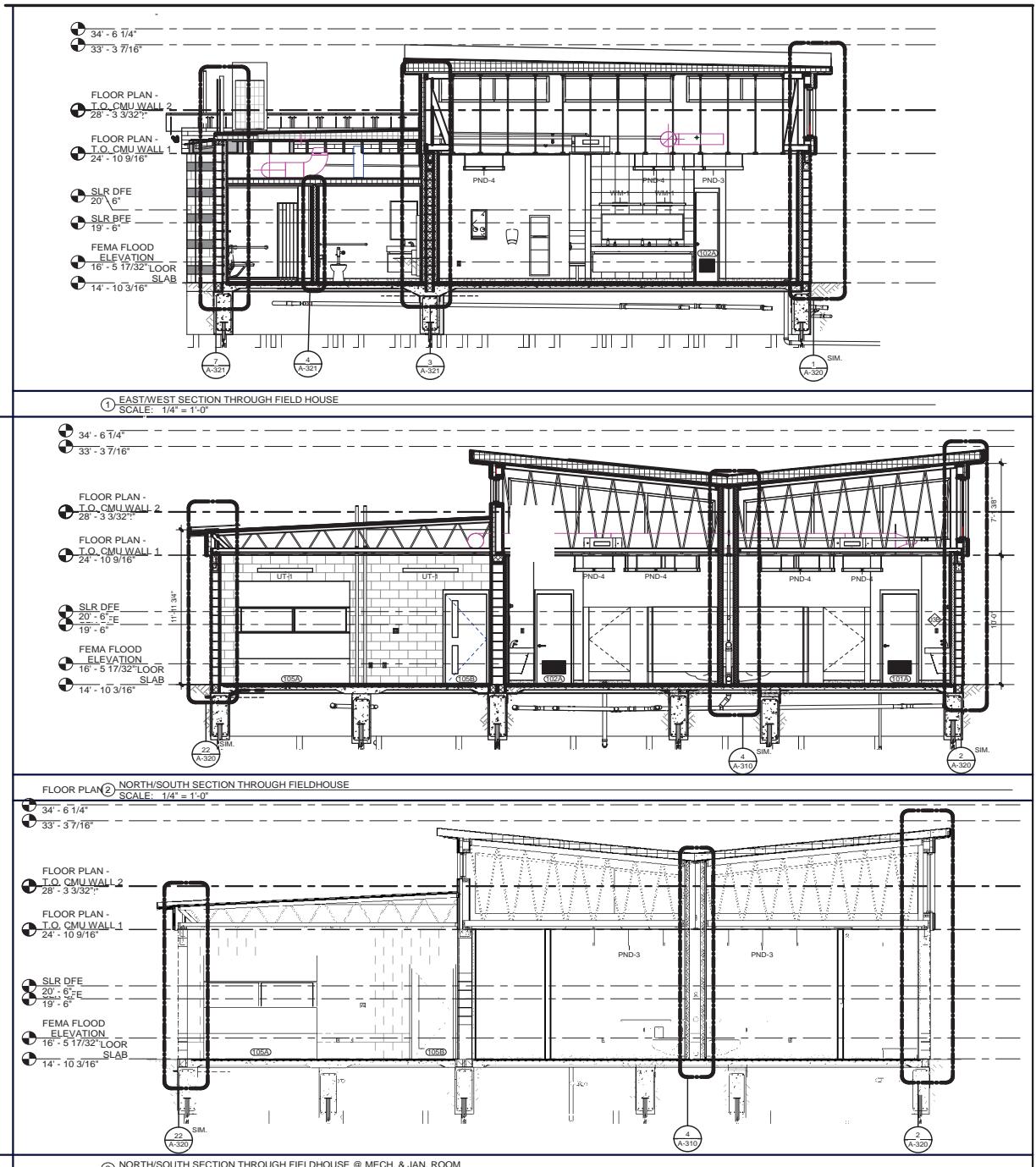
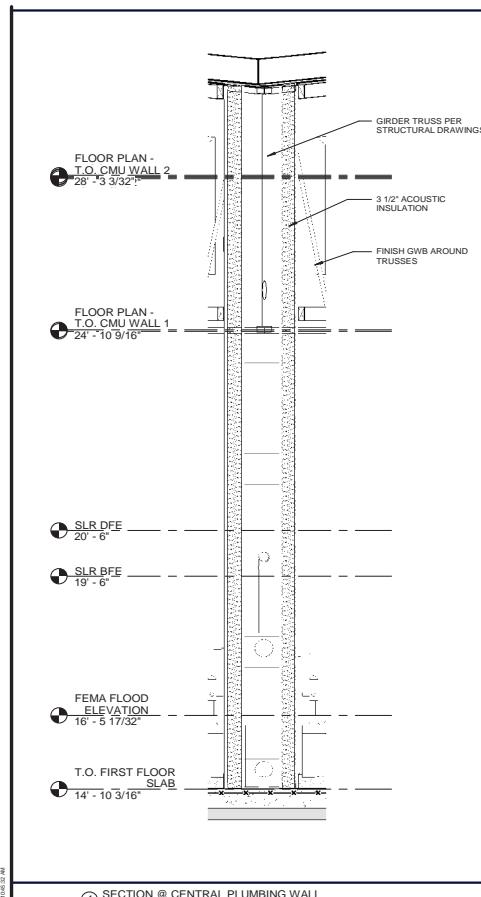
A/F	MFR: KAWNEER
	MODEL: ENCORE
	COLOR: BLACK

09 90 00 PAINT & COATINGS

09 91 00 PAINT

P-G	MFR: SHERWIN WILLIAMS
	COLOR: CITY SCAPE 7067
	FINISH: EGGSHELL
	LOCATION: DOWNSPOUTS/GUTTERS

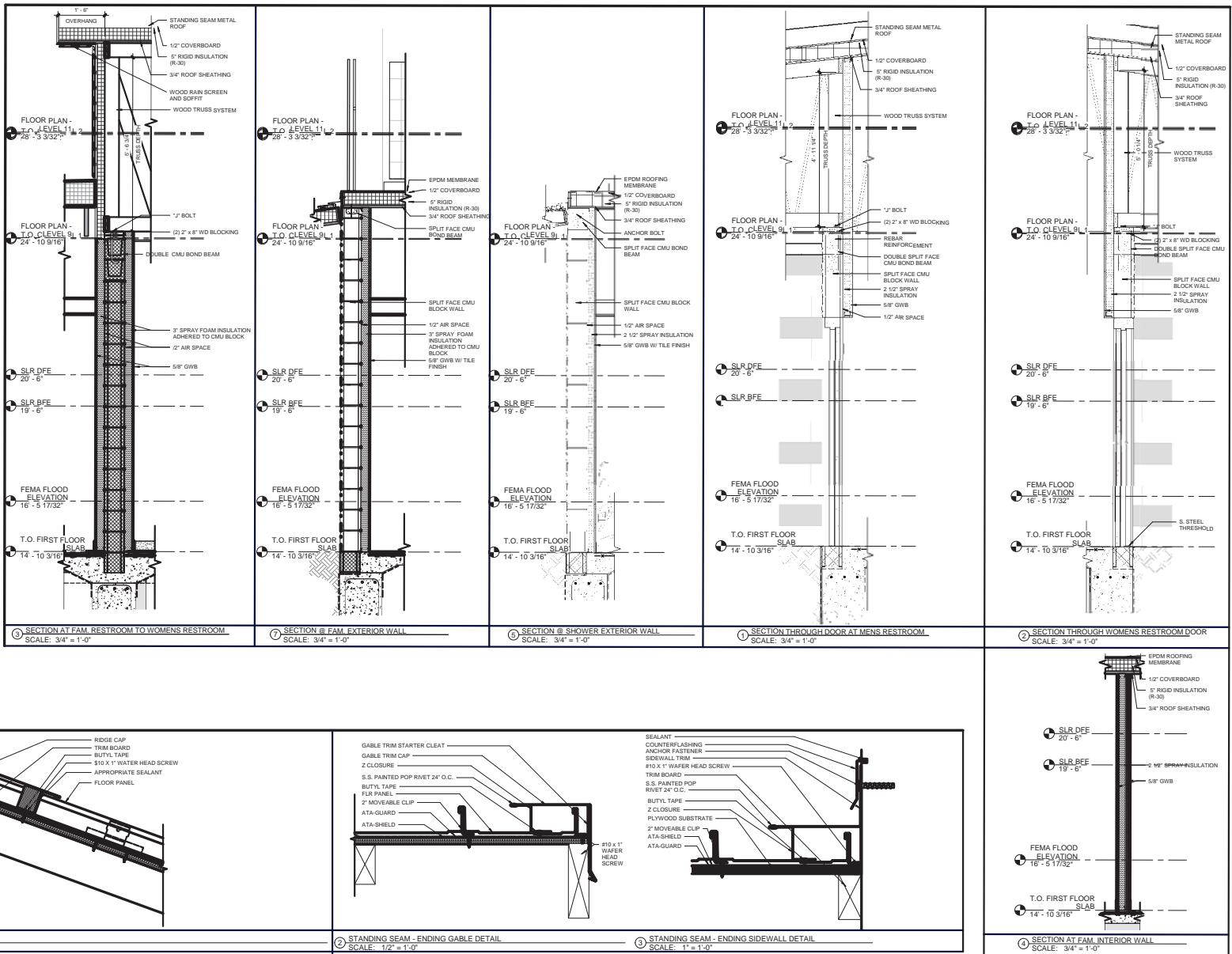






Boston Scores

Boston, MA -

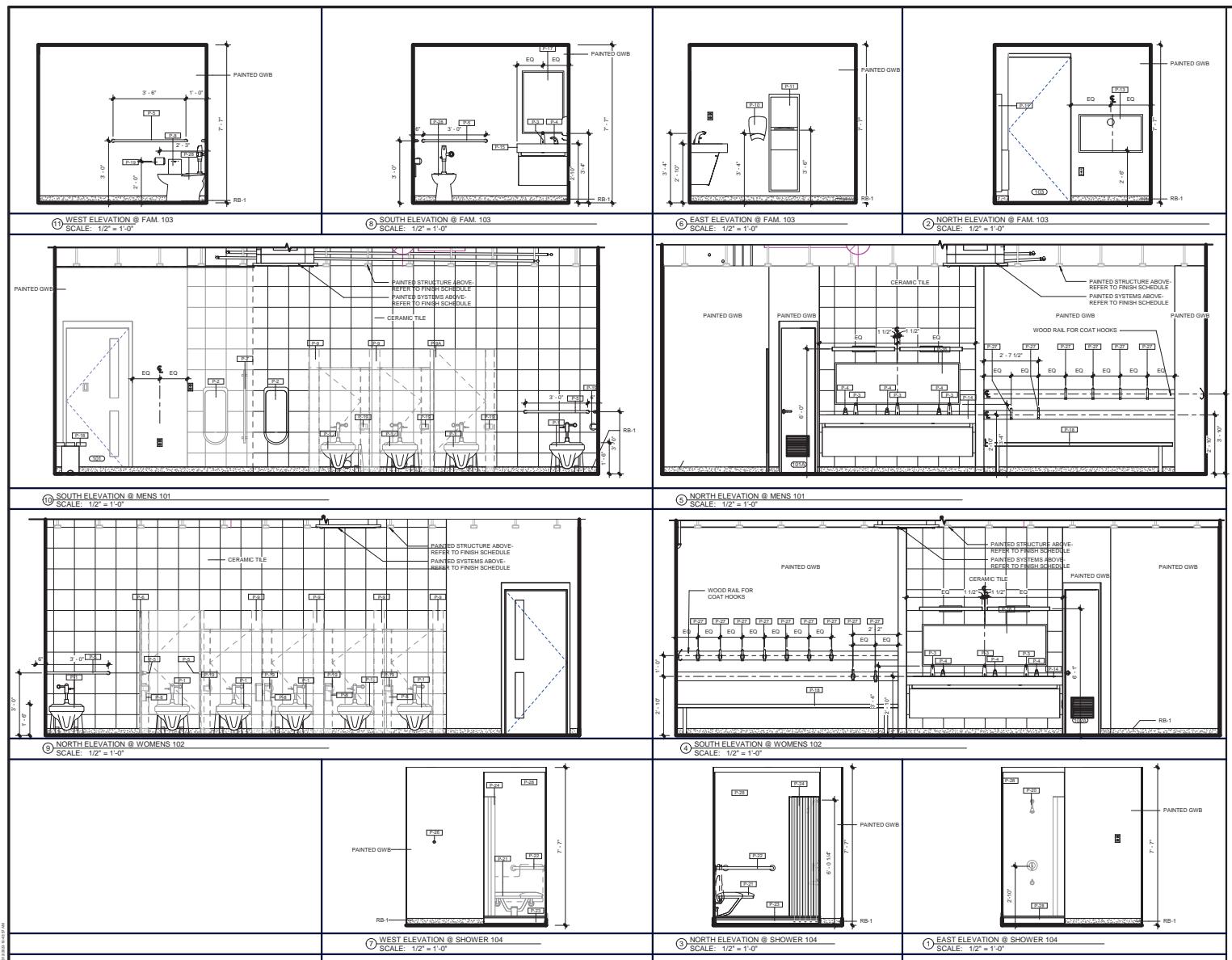


Boston Scores

Boston, MA -



Option 1 | Dramatic Blue margulies perruzzi



Option 2 | Contemporary Grey margulies perruzzi



Option 3 | Blue Crush margulies perruzzi



Accessories | Restroom margulies perruzzi

