

Princeton University MArch 2004
 University of Michigan BS.Arch 2000

My CV below is broken up into two stages, post-covid 19 and pre-covid 19. When the covid 19 pandemic started I took the opportunity to start my own practice focusing on smaller-scale high-end residential houses. Prior to the pandemic my experience was in the technical side of ambitious cultural, commercial and residential projects, most notably for OMA. At OMA, I was their go-to resource for code, zoning, detailing, consultant coordination, project set-up and delivery.

The post-covid 19 experience below shows a number of contracts I've had assisting local architects with their permitting and construction documentation, two of which are with OMA. The pre-covid 19 experience that follows shows the architecture practices that set my performance standards for the quality of work I continue to provide today.

Post-covid 19

Metropolitan Space LLC					2021 - present
• UES	Multi Unit	New York, NY	Contract	Zoning & Concept	2024
• Lois Lane	Private House	Haptons NY	Contract	Permit & CD	2024
• East End	Coop Renovation	UES, NY	Contract	Permit & CD	2024
• Senn Yuen Farm	Cluster Development	Milan NY	Architect	Zoning & Design	2024
• Grand Ave	Brownstone Full-gut	Brooklyn, NY	Contract	Permit & CD	2024
• Lake House	Private House	New Jersey	Contract	Design Development	2024
• Senn Yuen Farm	Accessory Dwelling	Milan, NY	Architect	Permit & CD	2024
• Senn Yuen Farm	Market Store	Milan, NY	Architect	Concept	2024
• MSR Pavilion	Accessory Dwelling	Cornwall, NY	Architect	Design Development	2024
• 7th Street	Brownstone Full-gut	Brooklyn, NY	Contract	Permit & CD	2024
• Senn Yuen Farm	Brewery & Event Space	Milan, NY	Architect	Design & Permit	2023
• Tea Treehouse	Accessory Dwelling	Olivebridge, NY	Architect	Concept Design	2023
• Miami Villa	OMA Legacy House	Miami, FL	Contract	Permit & CD	2023
• Senn Yuen Farm	Master Planning	Milan, NY	Architect	Zoning Board	2023
• Synagogue	OMA Moinian PJC	New York, NY	Contract	Permit & CD	2023
• Hicks St Apt	Coop Renovation	Brooklyn, NY	Contract	Coop Board	2022
• Central Pk W	Coop Renovation	New York, NY	Contract	Coop Board	2022
• Cohen Pssano	Brownstone Reno	Brooklyn, NY	Contract	Permit	2022
• VJ Technology	Boutique Office	Brooklyn, NY	Contract	Zoning & Concept	2022
• Grace Ct. Alley	Carriage House Reno	Brooklyn, NY	Contract	Construction Docs	2022
• Flynn Residence	Coop Renovation	New York, NY	Contract	Coop Board & CD	2021
• Jane Street	Multi Unit Luxury	New York, NY	Contract	Concept & Zoning	2021
• Ivy Lee	Private House & Studio	Olivebridge, NY	Architect	Permit & CD	2021
• Mineral Springs	Private House	Cornwall, NY	Architect	Permit	2021
• Seaponack	House Addition	Hamptons, NY	Contract	Permit & CD	2021
• Pond Meadow	House Addition	Hamptons, NY	Contract	Construction Docs	2021

Pre-covid 19

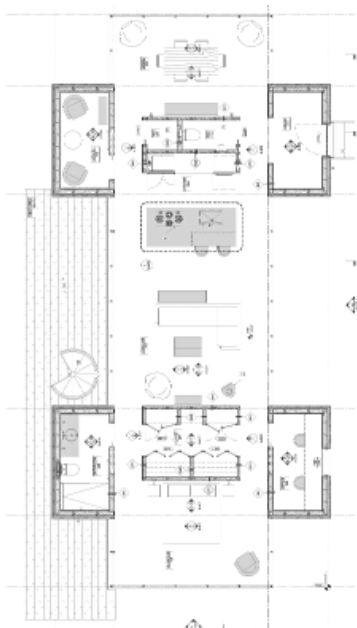
OMA	Senior Architect	2013 - 2021
Handel Architects	Senior Architect	2012 - 2013
Kevin Kennon	Associate	2010 - 2012
SOM	Contractor	2010 - 2010
Metropolitan Space	Principal	2008 - 2010
OMA	Project Architect	2007 - 2008
KPF Architects	Architect	2004 - 2007

<u>Workflow</u>	<u>Project Deliverability</u>
• AutoCad	SD, DD, CD, bidding & leveling, permits, BSA, LPC, cad standards, templates & sheetsets, zoning
• Rhino	analysis; code compliance; consultant coordination; general notes; FEMA; specifications; accessibility;
• D5 Render	energy compliance; resCheck, HERS, comCheck; existing & demolition, staging & sequencing, geometry
• Adobe suite	& vector set-out plans; rcp's; lighting & switching plans, power plans, finish plans; edge of slab plans;
• Microsoft Office	foundations; framing drawings; window & door schedules & details; energy performance details; detailed
• Acrobat	wall sections, partitions; interior elevations; coordinated schedules for lighting, materials, finishes, fixtures, appliances; stairs & vertical circulation; stacking drawings; site plans; millwork, specialty details.

Mineral Springs House

Firm: Metropolitan Space
Role: Architect
Client: Confidential
Where: Upstate, NY
Type: Home one bedroom
Status: Permitting
Size: 1,500 s.f.

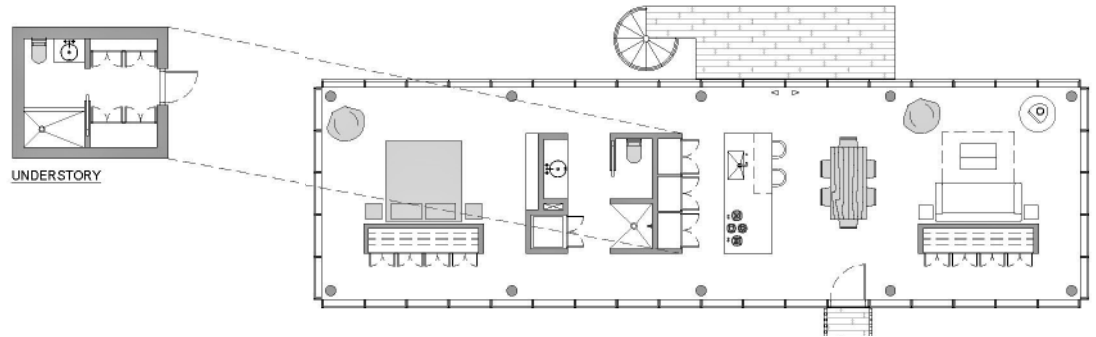
This one-bedroom glass box, immersed within a sloping wooded lot, is lifted off the forest floor to minimize the building footprint and allow the forest to slip underneath. The four piers are programmed with utilities and a bathroom at grade, and private spaces at the main living level, which look up through full size skylights. The house is accessed via a bridge and a spiral stair connects the floating deck to the harvestable roof top garden.



Mineral Springs Pavilion

Firm: Metropolitan Space
Role: Architect
Client: Confidential
Where: Upstate, NY
Type: Accessory Dwelling Unit
Status: Permitting
Size: 1,000 s.f.

This Accessory Dwelling Unit to the Mineral Springs House is a small one-bedroom glass box, lifted off the forest floor by slender concrete columns and a concrete core containing utilities and an understory bathroom. The roof of the glass pavilion supports a harvestable garden and pergola with solar panels.



Upstate NY Farm Masterplan

Firm: Metropolitan Space
Role: Architect
Client: Confidential
Where: Upstate, NY
Type: Farm Community Retreat
Status: Zoning Planning
Size: 16 Acres

This Lakeside boutique farming retreat in upstate New York includes a micro brewery, event space, farmers market, green houses, crop zones & sculpture park, and a cluster housing development in the woodline.



Farm Masterplan

Farmers Market



Aerial view

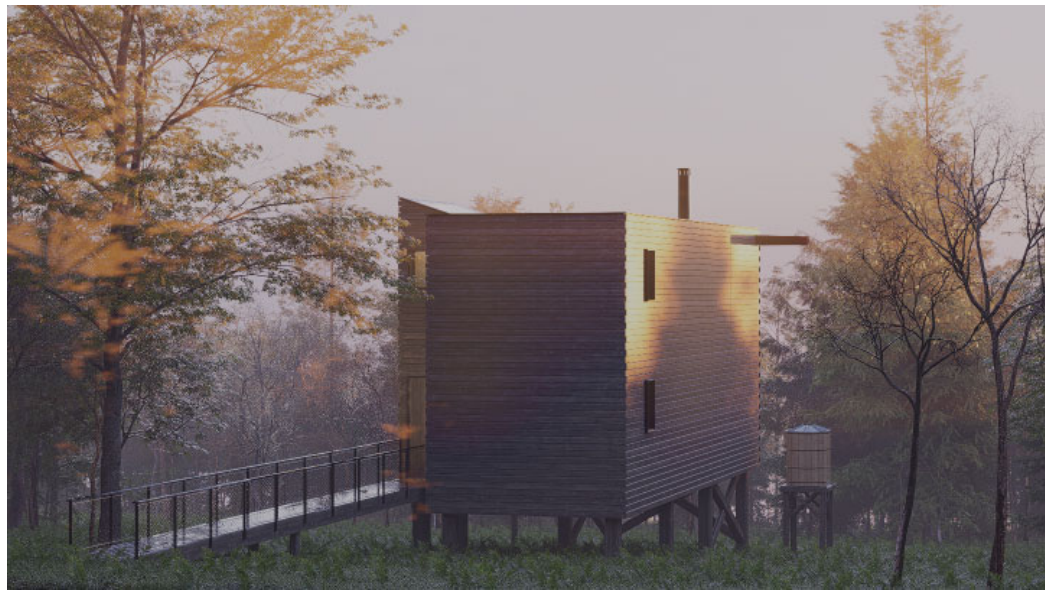


Brewery & Event Barn

Cluster Housing

Firm: Metropolitan Space
Role: Architect
Client: Confidential
Where: Upstate, NY
Type: Cluster Developmet
Status: Zoning approvals
Size: 12 Units

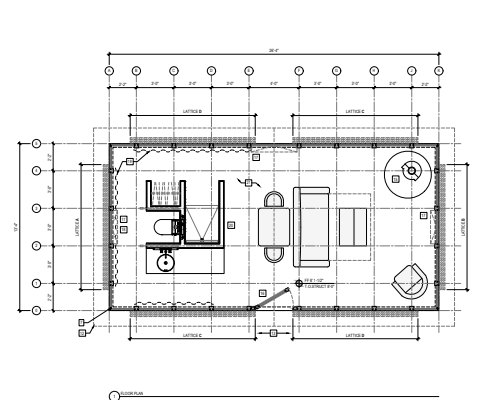
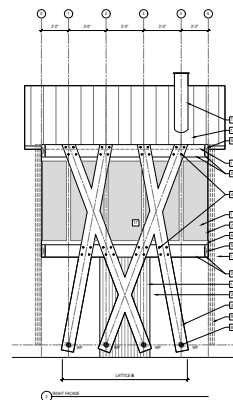
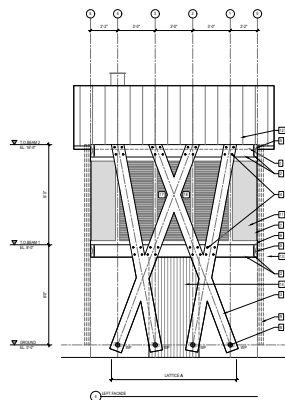
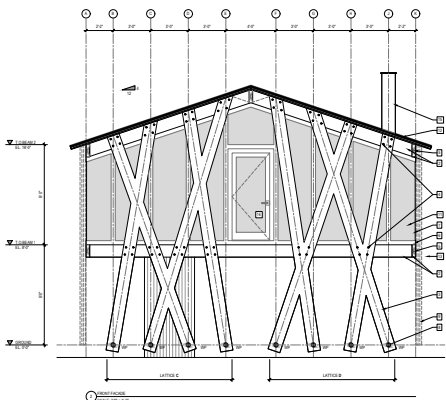
This Cluster housing development in upstate New York includes a mix of studio, one bedroom and two-bedroom free-standing units built with prefabricated systems. The units are highly efficient, built upon helical piles to minimize excavation. Consolidated wet walls with back-to-back kitchens and bathrooms on the lowest level minimize plumbing runs. The roofs are flat to maximize occupiable interior area and to collect water which is scuppered from the roof into cisterns for irrigation.



Tea House Tree House

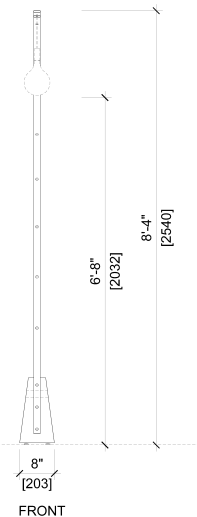
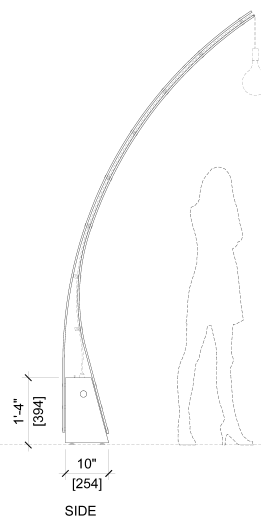
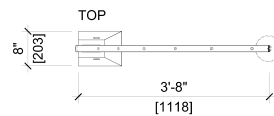
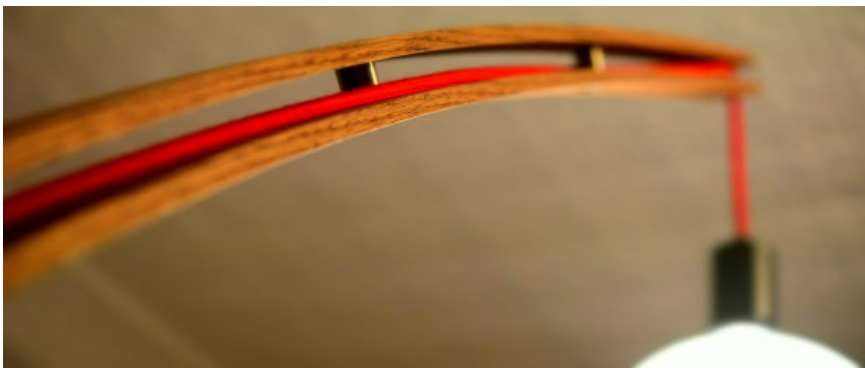
Firm: Metropolitan Space
Role: Architect
Client: Confidential
Where: Upstate, NY
Type: Accessory Dwelling Unit
Status: Feasibility
Size: 340 s.f.

This timber lattice tree house utilizes intersecting diagonal timbers for shear bracing while supporting the floor and roof height independently; allowing a full height window wall to fit between without additional internal structure. A spiral stair access the deck while a slide is provided to get back to the ground.



Product Design

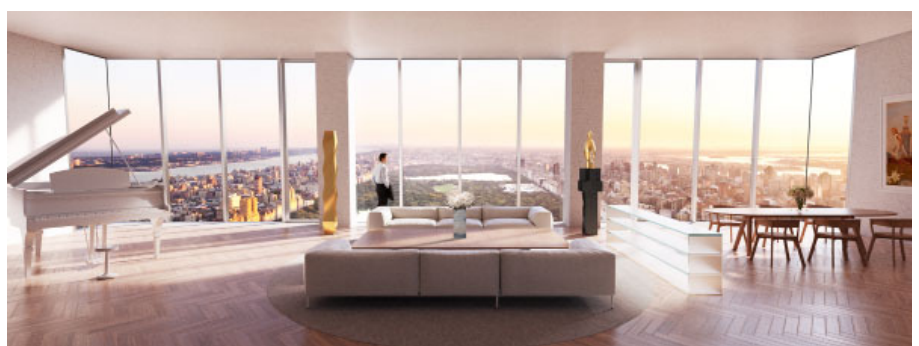
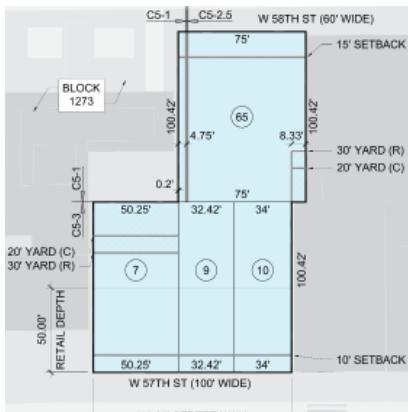
www.OuterBoroughLamp.com
The Outer Borough Lamp is a modular platform for hanging pendant lighting, designed to free the hanging pendant light from the constraints of the ceiling. The OBL is shown below hosting pendants by Bertjan Pot, George Nelson and Bonderup & Thourp.



57th Street

Firm: OMA
Role: Architect
Client: Confidential
Where: 57th Street, NYC
Type: Commercial + Residential
Status: Design Development
Size: Confidential

This winning competition entry for a 57th Street super tall tower is currently in Design Development. The program is hotel at the lower levels and residential at the upper levels with a full amenity offering including spa, pool, business center and restaurants. The top levels are duplex and triplex penthouses. The Special Midtown district zoning study included a Waldram analysis to achieve the tower's unique massing.



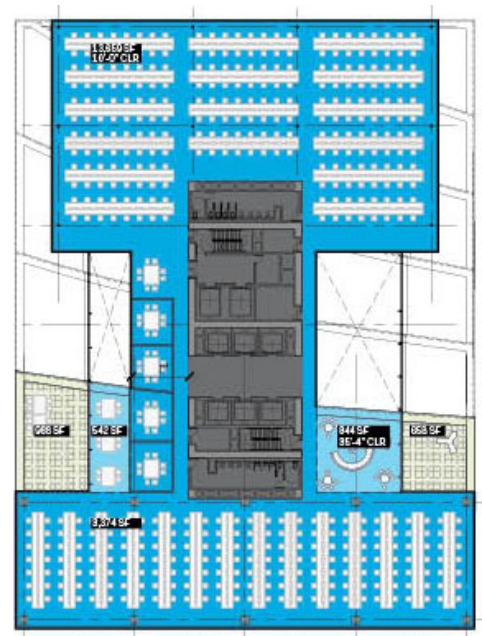
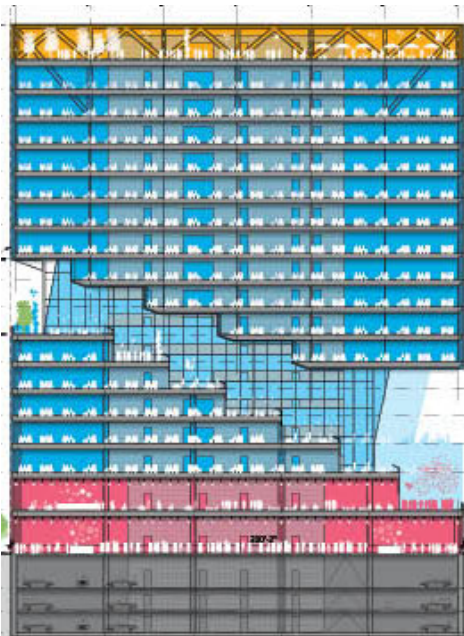
88 SEAPORT

Firm: OMA
Role: Project Architect
Client: WS Development
Where: Boston, MA
Type: Lab & Office
Status: DD
Size: 650,000 s.f.
Budget: \$120 M
S: McNamara Salvia
MEP: WSP
Ext: Thornton Tomasetti
Exec: Jacobs
CM: JMA

88 Seaport is an 18 story Lab & Office building featuring a cut in the massing to reveal the structural core which is supported by a deep foundation. The upper mass hangs from outriggers and a rooftop belt truss.

The diagonal cut connects the Northern water-front park to the datum of the Southern Fort Point neighborhood with a series of cascading sky-light atriums and winter garden terraces.

The facade hangs from a perimeter slab depression allowing the glazing line to be flush with the interior floor finish. The glazing angles alternate to direct oblique views to both the north & south.



PARK GROVE

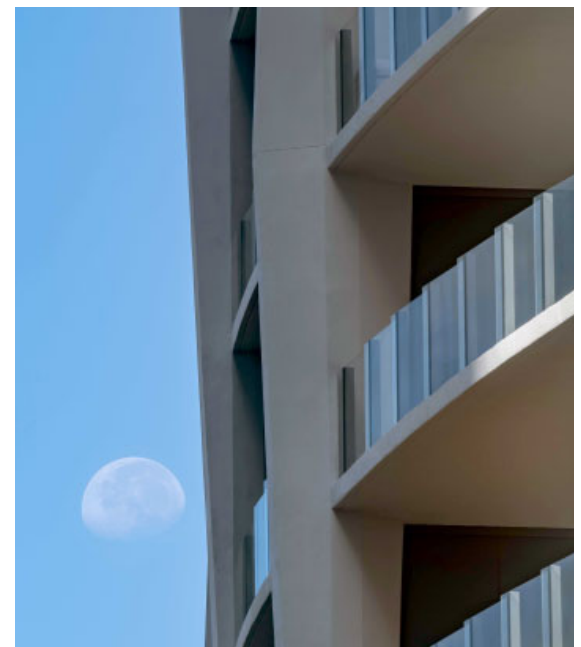
Firm: OMA
Role: Project Architect
Client: Terra Group / Related
Where: Coconut Grove, FL
Type: Residential
Status: Built
Size: 1,400,000 s.f.
Budget: \$310 M
S: DeSimone
MEP: Feller
Ext: GM&P
Exec: Arquitectonica
CM: JMA

Three 21 story residential towers on a four story amenity plinth with lush landscaping and three parking levels are programmed on a five acre site with commanding views of Biscayne Bay; connecting the Coconut Grove community with a new waterfront park.

Faceted perimeter columns respond to the curvilinear form, providing column-free living & panoramic views. Dual structural cores maximize interior layouts and sub-division options.

A high-performance façade controls daylight penetrating deep into each unit and every room. The shingled guardrail eliminates the faceting effect of approximating curvilinear geometries with straight glass.

The entrance glazing system uniquely transitions from a vertical to angled facade while moving around a curve.



FAENA ARTS CENTER

Firm: OMA
Role: Project Architect CA
Client: FAENA
Where: Miami Beach, FL
Type: Cultural
Status: Built
Size: 91,000 s.f.
Budget: Confidential
S: DeSimone
MEP: HNGS
Ext: IBA
Exec: Revuelta
CM: Layton

The Faena Forum in Miami Beach is composed of three buildings; an arts center, retail bazaar and a vertical car park - on three blocks along Collins Avenue. These three distinct buildings & functions are linked by a sequence of public plazas, courtyards and a marina dock as well as by continuous underground parking.

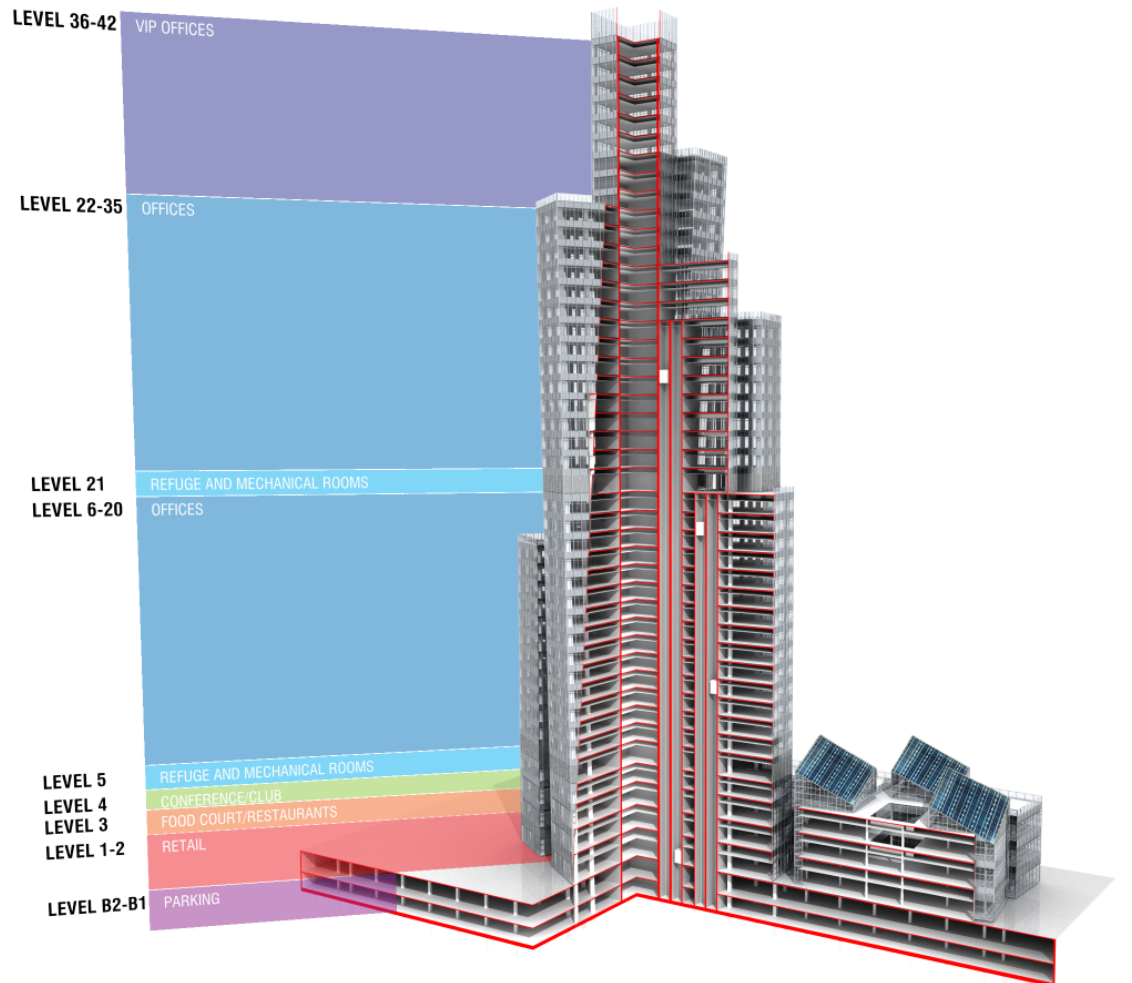
The Art Center is the heart of the complex with two volumes, a cube and cylinder, to achieve the same intimate scale as the Bazaar and Car Park. The cylinder's helical plan circulates pedestrian movement from the plaza to a 45-foot cantilever over the main entrance up to a dramatic balcony level overlooking a classical performance space covered by a spiraling dome. The cube houses a black box theater and cat walk, providing the ultimate programming flexibility.



Eco City

Firm: Kevin Kennon Architect
 Role: Project Architect
 Client: Tianjin Real Estate Development Group
 Where: Eco City, Tianjin, China
 Type: Office & Shopping Mall
 Status: Unbuilt
 Size: 120,000 M²
 45 stories, 570' Tower
 Budget: Confidential
 S: Thornton Tomasetti
 MEP: LDI
 Exec: Beijing Victory Star

Blue Diamond Tower is a landmark building for Eco-City, Tianjin, China, a joint development between China and Singapore. This 120,000 square meter 45 floor office tower and luxury shopping center, developed by Tianjin Real Estate Development & Management Group, LTD, utilizes the most advanced sustainable and biophilic design strategies and technologies to reconnect people with nature. Blue Diamond Tower is inspired by the form and growth of bamboo forests and generates 20% of its clean energy on site—through a combination of hydrogen fuel cells, solar panels, and wind turbines while simultaneously conserving 20% of the energy used by similar fully occupied mixed-use towers.



SHENZHEN STOCK EXCHANGE

Firm: OMA
Role: Project Architect CD's
Client: Shenzhen Stock Exchange
Where: Shenzhen, P.R. China
Type: Office Headquarters
Status: Built
Size: 2.1M s.f. 250m tall
Budget: Confidential
S: ARUP
MEP: ARUP
Ext: ARUP
LDI: Shenzhen Design Institute of Architecture & Design

The Shenzhen Stock Exchange headquarters is a building with podium raised above the ground to create a vast public plaza.

The three story podium is lifted 36m above the ground and cantilevers 36m over the plaza, with a floor area of 48,000m² and an expansive roof garden. Programs include offices, a clearing house, hotel, a Securities Information Company and ancillary services located higher in the tower. The tower is flanked by two glass voids in the raised podium with sky-bridges.

The facade is a textured translucent glass exoskeleton that wraps the robust steel structure - revealing the detail and complexity of construction while creating mysterious crystalline effects with light and shadow.





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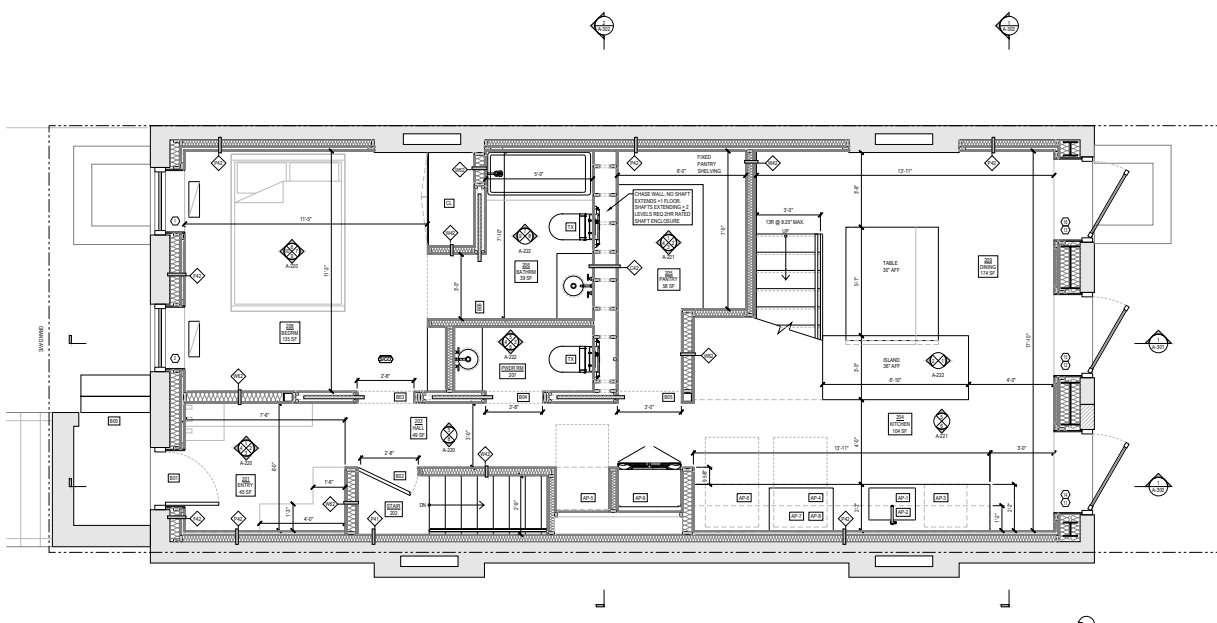
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150 MLK ST. SUITE 3 BOSTON, MA 02109

EXPEDITING + CODE
ANDALONE ARCHITECTURE, PLLC

NO.	MM.DD.YY	DESCRIPTION
01	07.25.2023	SD V1.0

DOB APPROVAL STAMP:

**DRAFT - NOT FOR
CONSTRUCTION**



1 FLOOR PLAN - BASEMENT
SCALE: 1/8"=1'-0"

PLAN NOTES

1. ARCHITECTURAL PLAN PROVIDED CONSTRUCTIVE DESIGN INTENT FOR BUILDING PERMITS AND PERMITS. THIS PLAN WILL BE PROVIDED AS REQUIRED FOLLOWING FIELD OBSERVATION AND APPROVAL ASSESSMENT OF EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ANY REVISIONS TO DRAWINGS ISSUED FOR CONSTRUCTION SHALL BE ISSUED THROUGH EXHIBIT BY CORRESPONDENCE. SETBACKS ISSUES SHALL BE INCLUDED IN THE RECORD SET OF DRAWINGS BY THE GENERAL CONTRACTOR.
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6. EXISTING SURFACES NOT TO RECEIVE NEW GARD TO BE PATCHED TO A MAJOR FINE SURFACE AS REQUIRED. WHERE PATCHING IS NOT SUFFICIENT TO PROVIDE ACCEPTABLE FINISH, NEW GARD TO BE REPAIRED, REFINISHED, OR REPLACED.
7. GENERAL CONTRACTOR TO PROVIDE FIRE RATED WOOD KICKERS ON METAL SHEET TO RECEIVE WALL MOUNTED CABINETS OR EQUIPMENT.

8. IN CASE OF DISCREPANCY BETWEEN THE ARCHITECT'S AND CONTRACTOR'S DRAWINGS, THE WORK SHALL BE PERFORMED AS SHOWN ON THE CONTRACTOR'S DRAWINGS. THE CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
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15. SEE FINISH SCHEDULE FOR ALL NEW AND EXISTING FLOOR CEILING WALL FINISHES MATERIALS AND FINISHES.

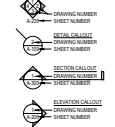
SPRINKLER SYSTEM NOTES

1. GENERAL CONTRACTOR TO PROVIDE ALLOWANCE FOR NEW FIRE SUPPRESSION SYSTEM THROUGHOUT AS REQUIRED PER CODE.

NOTES - BASEMENT PLAN

1. FINISH

SYMBOL CONSTRUCTION LEGEND



ROOM NUMBER	ROOM NAME	GLAZING AREA	GLAZING TYPE	VENTING TYPE	VENTING AREA
204	MECHANICAL	100 SF	100 SF	20 SF	20 SF
205	MECHANICAL	100 SF	100 SF	20 SF	20 SF
206	MECHANICAL	100 SF	100 SF	20 SF	20 SF

NA PROJECT NO. A42303
**348 GRAND AVE
BROOKLYN NY 11238**

FLOOR PLAN BASEMENT

DATE:	6/6/24
SCALE:	1/2"=1'-0"
DESIGN BY:	IN
CHECKED BY:	IN
DRAWING:	1

DOB WORK JOB #
B01040399-1



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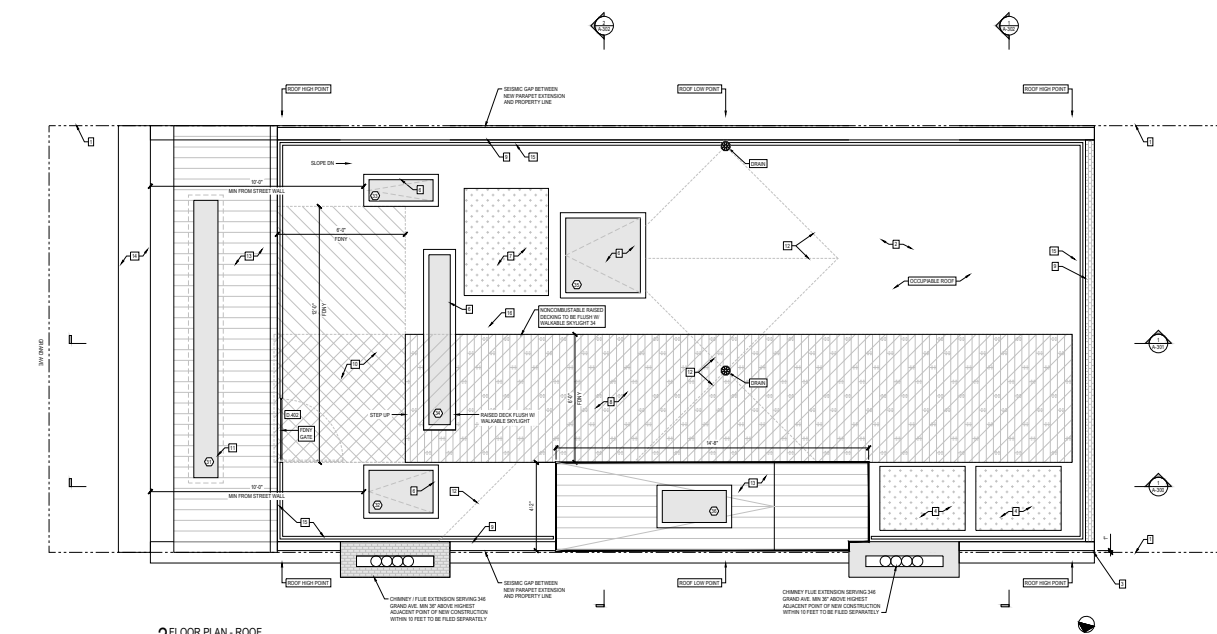
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2 FLOOR PLAN - ROOF
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SPRINKLER SYSTEM NOTES

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NOTES - ROOF PLAN

1. PROPERTY LINE SEE SUPPLY

2. NON-COMBUSTIBLE ROOF DECK ON PRECAST/STTD

3. ROOF DECK TO BE PROTECTED PROPERTY LINE AND NEAR WALL

4. EQUIPMENT TO BE BEHIND

5. BURGLAR RESISTANT WIRE MESH

6. BURGLAR RESISTANT WIRE MESH TO BE BEHIND

7. BURGLAR RESISTANT WIRE MESH TO BE BEHIND

8. BURGLAR RESISTANT WIRE MESH TO BE BEHIND

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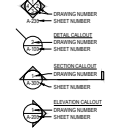
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DATE:	11/26/24
SCALE:	1/2"=1'-0"
DESIGN BY:	IN
CHECKED BY:	IN
DRAWING:	1

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DRAFT - NOT FOR CONSTRUCTION

NA PROJECT NO. 042303

**348 GRAND AVE
 BROOKLYN NY 11238**

WALK SECTIONS

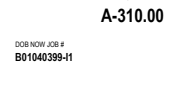
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A-310.00

DOB NOW JOB #
B01040399-1

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SELA RESIDENCE



ARCHITECT
INWORKSHOP ARCHITECTURE PLLC
 540 PRESIDENT ST. SUITE 2L, BROOKLYN, NY 11215

STRUCTURE
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 MWS ENGINEERING LLP
 300 SEVENTH AVE. NEW YORK, NY 10018

PASSIVE HOUSE CONSULTANT
 ZERO ENERGY DESIGN | JORDAN GOLDMAN
 156 MLK ST. SUITE 3, BOSTON, MA 02109

EXPEDITING + CODE
 ANDALONE ARCHITECTURE, PLLC

NO.	MM.DD.YY	DESCRIPTION
01	07.19.2024	NYC DOB PERMIT APPLICATION

DOB APPROVAL STAMP:

DRAFT - NOT FOR CONSTRUCTION

NA PROJECT NO. 042303

**348 GRAND AVE
 BROOKLYN NY 11238**

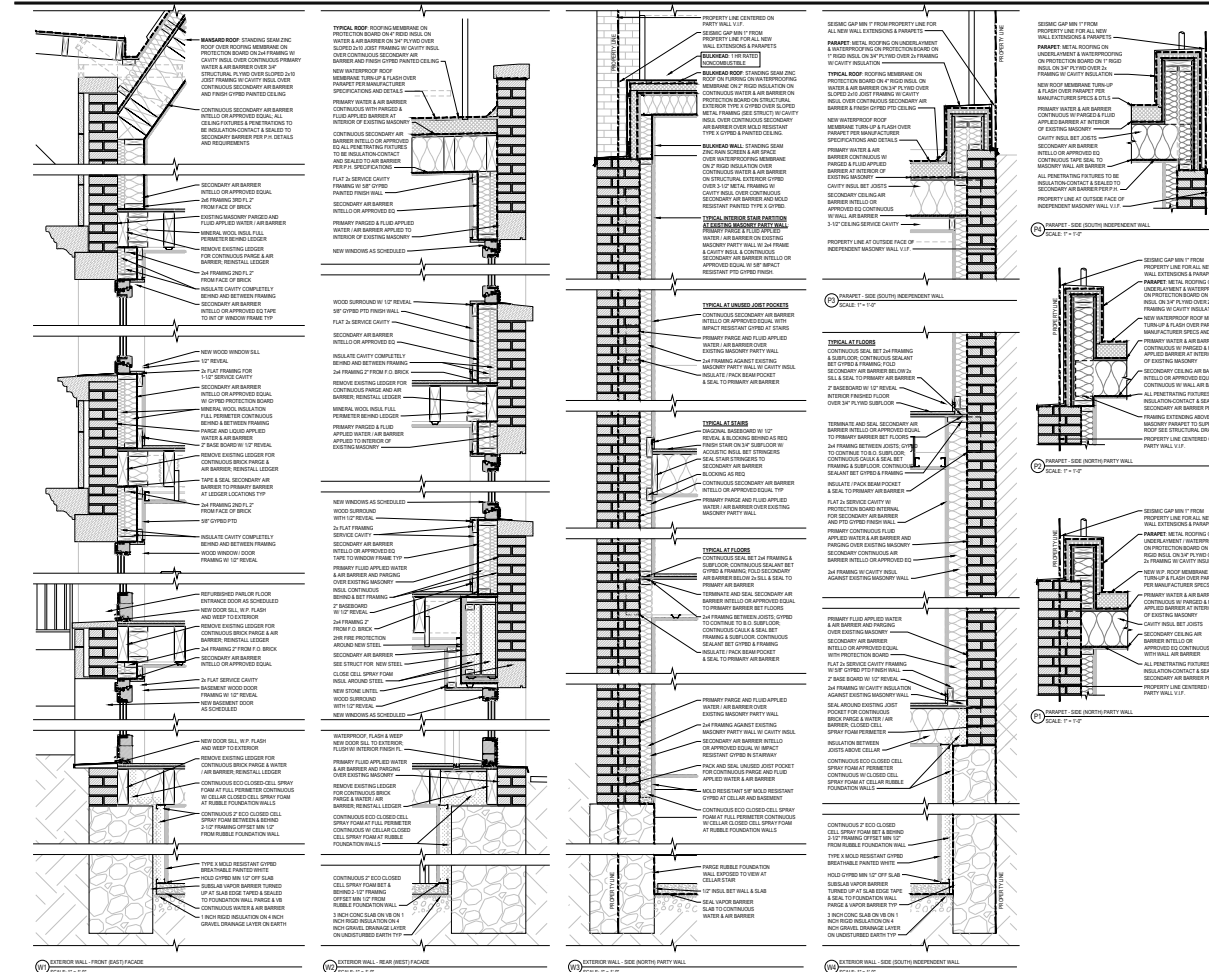
KITCHEN CABINETS

DATE: 11/26/24
 SCALE: 1/4" = 1'-0"
 DESIGNED BY: IN
 CHECKED BY: IN
 DRAWING: 1

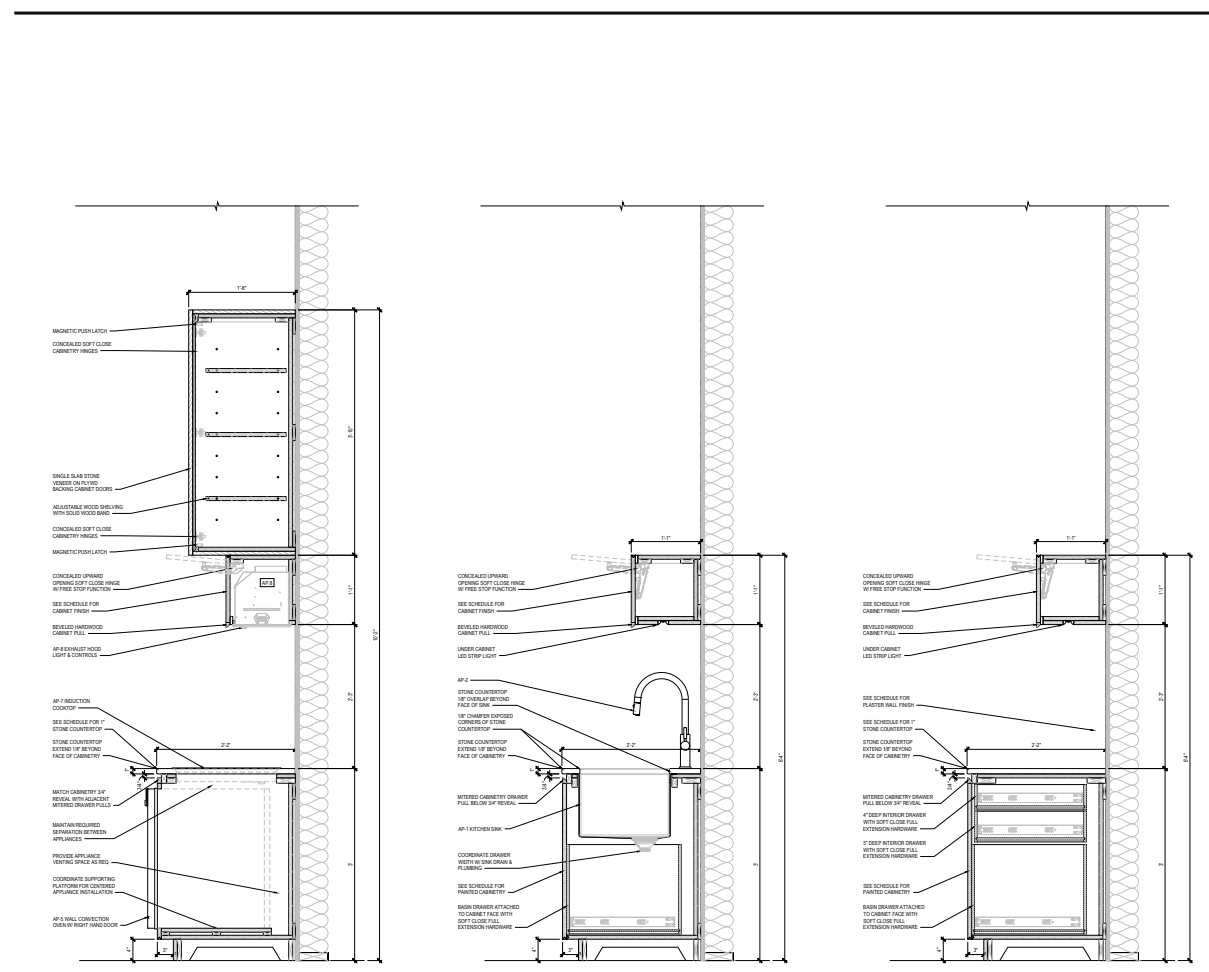
A-530

DOB NOW JOB #
B01040399-1

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EXTERIOR WALL - NEAR WEST FACE SCALE: 1/4" = 1'-0"
 EXTERIOR WALL - NEAR EAST FACE SCALE: 1/4" = 1'-0"
 EXTERIOR WALL - NEAR NORTH PARTY WALL SCALE: 1/4" = 1'-0"
 EXTERIOR WALL - NEAR SOUTH PARTY WALL SCALE: 1/4" = 1'-0"
 EXTERIOR WALL - NEAR SOUTH INDEPENDENT WALL SCALE: 1/4" = 1'-0"



3 KITCHEN CABINETS SCALE: 1/4" = 1'-0"
 2 KITCHEN CABINETS SCALE: 1/4" = 1'-0"
 1 KITCHEN CABINETS SCALE: 1/4" = 1'-0"



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NO.	MM.DD.YY	DESCRIPTION
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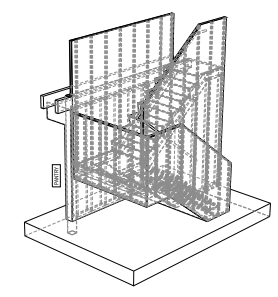
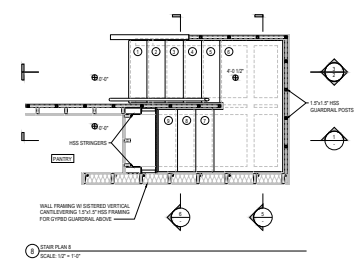
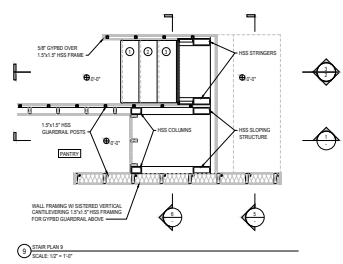
NA PROJECT NO. U42303
**348 GRAND AVE
BROOKLYN NY 11238**

STAIR DRAWINGS

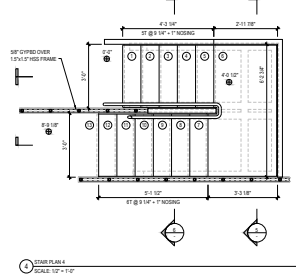
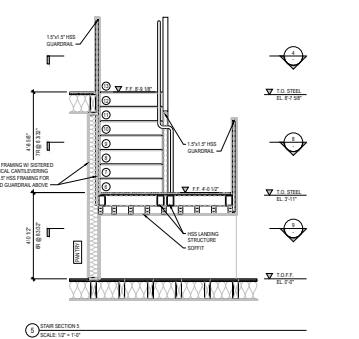
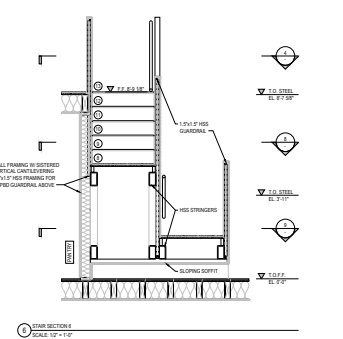
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A-520

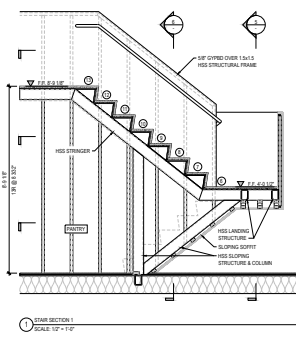
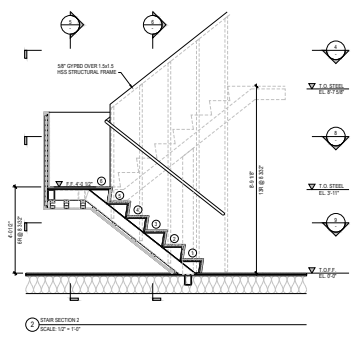
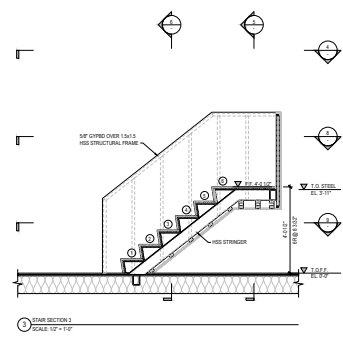
DOB NOW JOB #
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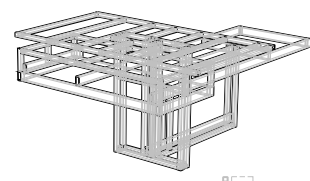
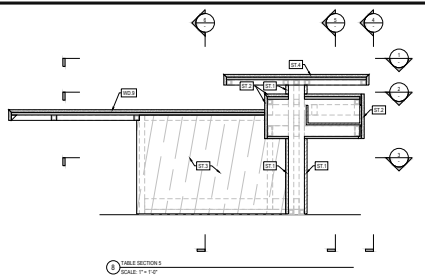
1 STAIR PERSPECTIVE
SCALE: 1/2"=1'-0"



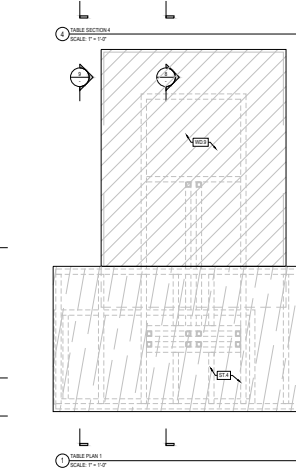
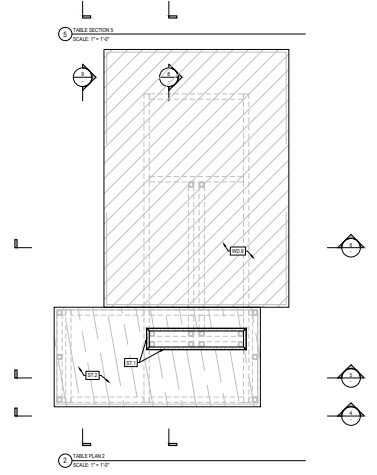
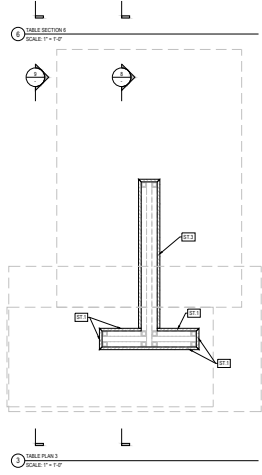
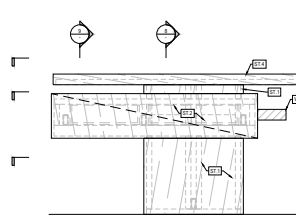
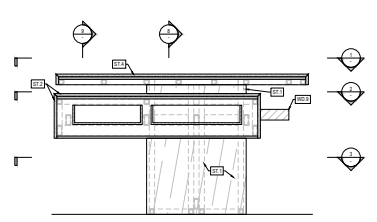
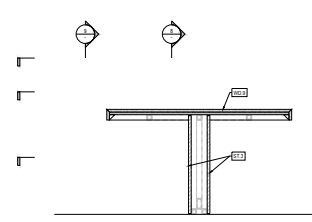
4 STAIR PLAN 3
SCALE: 1/2"=1'-0"



1 STAIR SECTION 1
SCALE: 1/2"=1'-0"



1 TABLE PERSPECTIVE
SCALE: 1/2"=1'-0"



1 TABLE PLAN 1
SCALE: 1/2"=1'-0"



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NO.	MM.DD.YY	DESCRIPTION
01	07.18.2024	NYC DOB PERMIT APPLICATION

DOB APPROVAL STAMP:

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CONSTRUCTION**

NA PROJECT NO. U42303
**348 GRAND AVE
BROOKLYN NY 11238**

TABLE FINISH DRAWINGS

DATE:	11/26/24
SCALE:	1/2"=1'-0"
DESIGN BY:	IN
CHECKED BY:	IN
DRAWING:	1

A-522

DOB NOW JOB #
B01040399-11



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ANGLONLINE ARCHITECTURE PLLC

Table with 2 columns: NO. and DESCRIPTION. Rows include 06/06/2024 BUILDING SUBMISSION SET, 09/03/2024 BUILDING SUBMISSION REV 1, and 10/14/2024 CONSTRUCTION DRAWINGS.

DOB APPROVAL STAMP:

CONSTRUCTION DRAWINGS

NA PROJECT NO. A2303

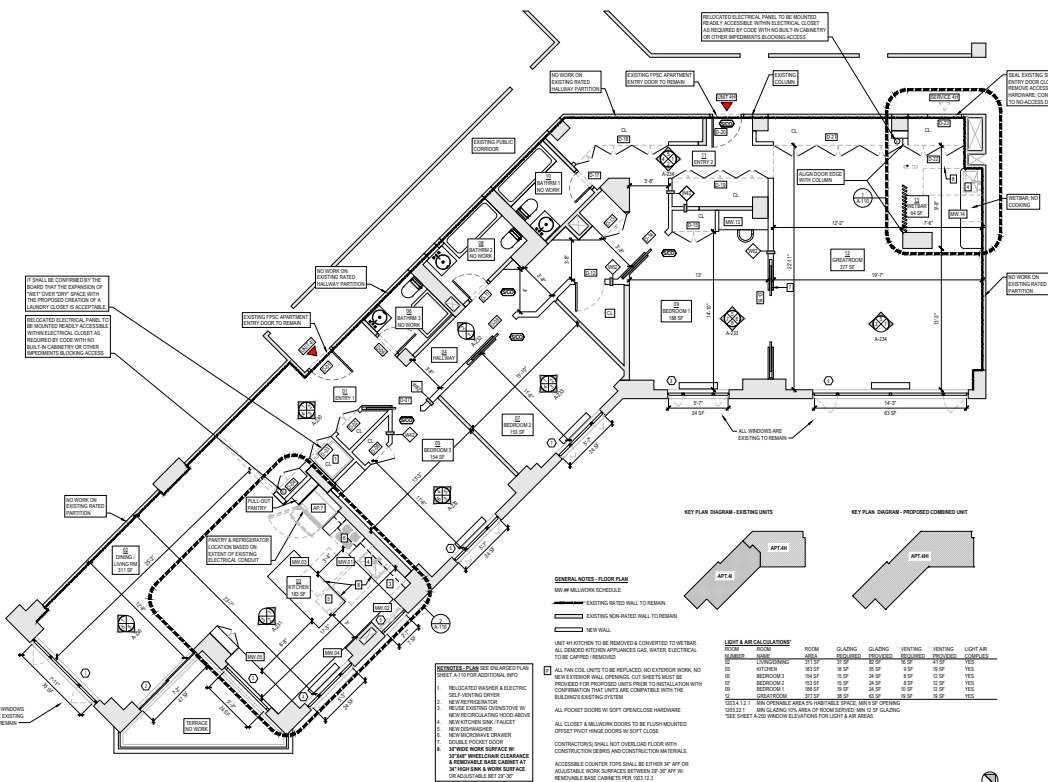
200 EAST END AVENUE UNIT 4I + 4H

4TH FLOOR PROPOSED PLAN

DATE: 11/06/2024
SCALE: 1/4"=1'-0"
DESIGN BY: IN
CHECKED BY: IN
DRAWING: 1

A-100.00

DOB NOW JOB GC SET # M00979522-11



1 4TH FLOOR PLAN - PROPOSED APARTMENTS 4I-4H SCALE: 1/4"=1'-0"

THIS DRAWING IS PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY. THE BUILDING AND STRUCTURE CONSTRUCTION HAVE NOT BEEN PROFESSIONALLY SURVEYED. ALL INFORMATION IS APPROXIMATIVE AND ANY CRITICAL INFORMATION SHALL BE OBTAINED BY OWNER AND CONTRACTOR...



KEY PLAN DIAGRAM - EXISTING UNITS and KEY PLAN DIAGRAM - PROPOSED COMBINED UNIT

GENERAL NOTES - FLOOR PLAN
MWB MULLIGAN SCHEDULE
EXISTING IN RED SHALL TO REMAIN
EXISTING NON-REMOVABLE SHALL TO REMAIN
NEW WALL
NEW FLOOR

LET IT BE INTENDED TO BE REMOVED & RECONSTRUCTED TO MEET ALL CURRENT AND APPLICABLE CODES. WHERE ELECTRICAL TO BE COPIED, REPRODUCED...
ALL FLOOR COUL UNITS TO BE REPLACED. MECHANICAL WORK, NO NEW REFRIGERATION SHALL BE INSTALLED...
CONTRACTOR SHALL NOT OVERLAP FLOOR WITH CONSTRUCTION DEBRIS AND CONSTRUCTION MATERIALS...

Table with columns: ROOM, ROOM NUMBER, ROOM NAME, ROOM AREA, CLADDING, CLADDING TYPE, VENTING, VENTING TYPE, LIGHT FIXTURE, LIGHT FIXTURE TYPE. Rows include KITCHEN, BEDROOM, BATH, etc.

ALL CLOSET WALLS SHOULD BE REFINISHED WITH 1/2" TYPE X GYPSUM BOARD.
CONTRACTOR SHALL NOT OVERLAP FLOOR WITH CONSTRUCTION DEBRIS AND CONSTRUCTION MATERIALS.
ACCESSIBLE COUNTER TOPS SHALL BE EITHER 36" OR 48" WIDE. ALL ACCESSIBLE COUNTER SURFACES BETWEEN 36" AND 48" WIDE SHALL BE 36" WIDE.
REMOVABLE SIZE COUNTER TOPS SHALL BE 36" WIDE.

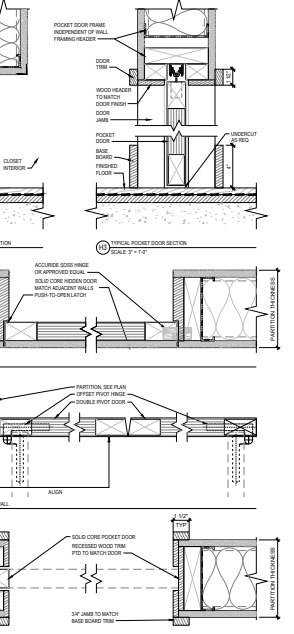
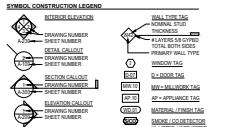
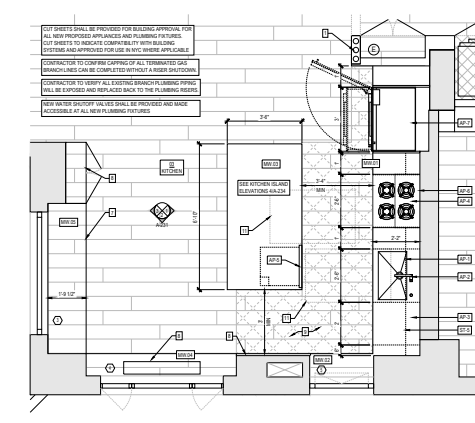


Table with columns: SYMBOL, DESCRIPTION, and NOTES. Lists various door and window types and their specifications.



2 ENLARGED FLOOR PLAN - KITCHEN SCALE: 1/4\"/>

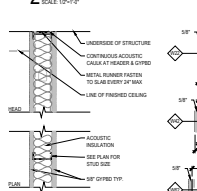
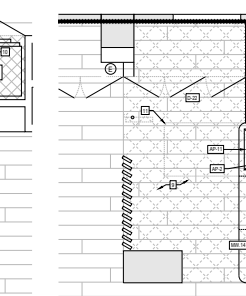


Table with columns: SYMBOL, DESCRIPTION, and NOTES. Lists kitchen fixtures and their specifications.



1 ENLARGED FLOOR PLAN - WETBAR SCALE: 1/4\"/>

Table with columns: SYMBOL, DESCRIPTION, and NOTES. Lists wetbar fixtures and their specifications.



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ANGLONLINE ARCHITECTURE PLLC

Table with 2 columns: NO. and DESCRIPTION. Rows include 06/06/2024 BUILDING SUBMISSION SET, 09/03/2024 BUILDING SUBMISSION REV 1, and 10/14/2024 CONSTRUCTION DRAWINGS.

DOB APPROVAL STAMP:

CONSTRUCTION DRAWINGS

NA PROJECT NO. A2303

200 EAST END AVENUE UNIT 4I + 4H

4TH FLOOR ENLARGED PLANS

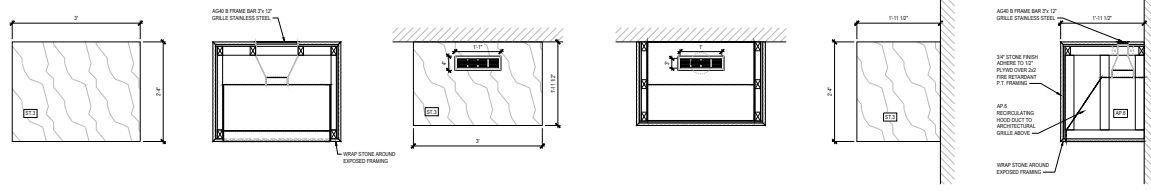
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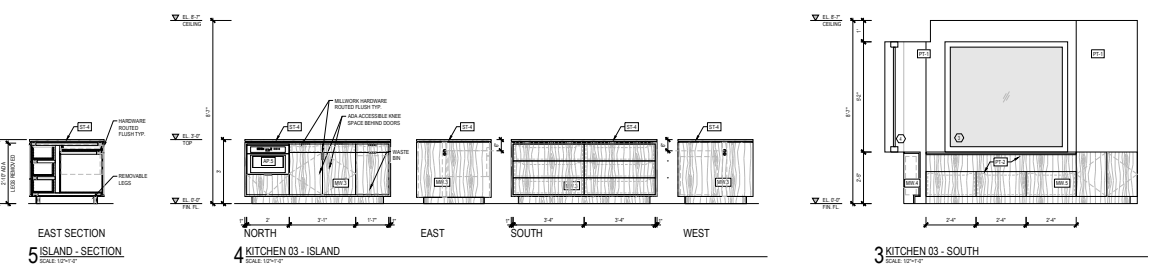
DOB NOW JOB GC SET # M00979522-11



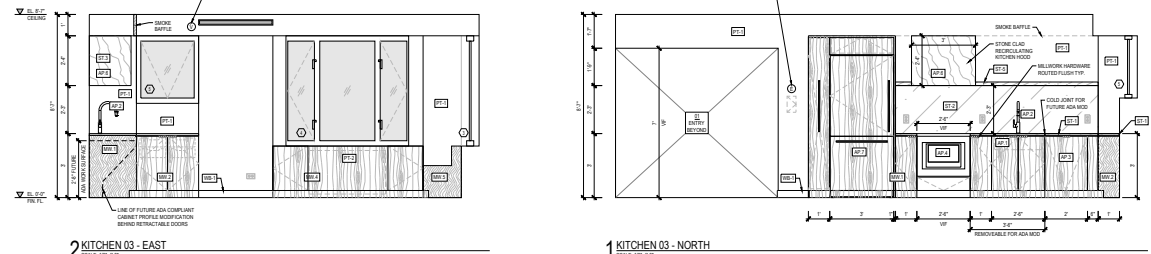
ARCHITECT
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 MWB ENGINEERING LLP
 550 7TH AVE, NEW YORK, NY 10018
 EXPEDITING + C/C/O
 ANJALINE ARCHITECTURE PLLC



11 HOOD - FRONT ELEVATION SCALE 1/4"=1'-0"
 10 HOOD - FRONT SECTION SCALE 1/4"=1'-0"
 9 HOOD - TOP ELEVATION SCALE 1/4"=1'-0"
 8 HOOD - TOP SECTION SCALE 1/4"=1'-0"
 7 HOOD - SIDE ELEVATION SCALE 1/4"=1'-0"
 6 HOOD - SIDE SECTION SCALE 1/4"=1'-0"



5 ISLAND - SECTION SCALE 1/2"=1'-0"
 4 KITCHEN 03 - ISLAND SCALE 1/2"=1'-0"
 3 KITCHEN 03 - SOUTH SCALE 1/2"=1'-0"



2 KITCHEN 03 - EAST SCALE 1/2"=1'-0"
 1 KITCHEN 03 - NORTH SCALE 1/2"=1'-0"

NO.	MM.DD.YY	DESCRIPTION
06/06/2024	06/06/2024	BUILDING SUBMISSION SET
09/03/2024	09/03/2024	BUILDING SUBMISSION REV.1
10/14/2024	10/14/2024	CONSTRUCTION DRAWINGS

DOB APPROVAL STAMP:
CONSTRUCTION DRAWINGS

NA PROJECT NO. U42303
**200 EAST END AVENUE
 UNIT 4I + 4H**

INTERIOR ELEVATIONS
 DATE: 11/06/24
 SCALE: 1/2"=1'-0"
 DRAWN BY: IN
 CHECKED BY: IN
 DRAWING: 1
A-231.00

DOB NOW JOB GC SET # M00979522-11

QUATRY THAWANI RESIDENCE

NAOR SUZUMORI ARCHITECTURE
 NAOR SUZUMORI ARCHITECTURE D.P.C.
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 BROOKLYN, NY 11215

STRUCTURAL - MC STRUCTURAL ENGINEERING PLLC
 BUILDING SYSTEMS - CONCORD CONSULTING ENGINEERING

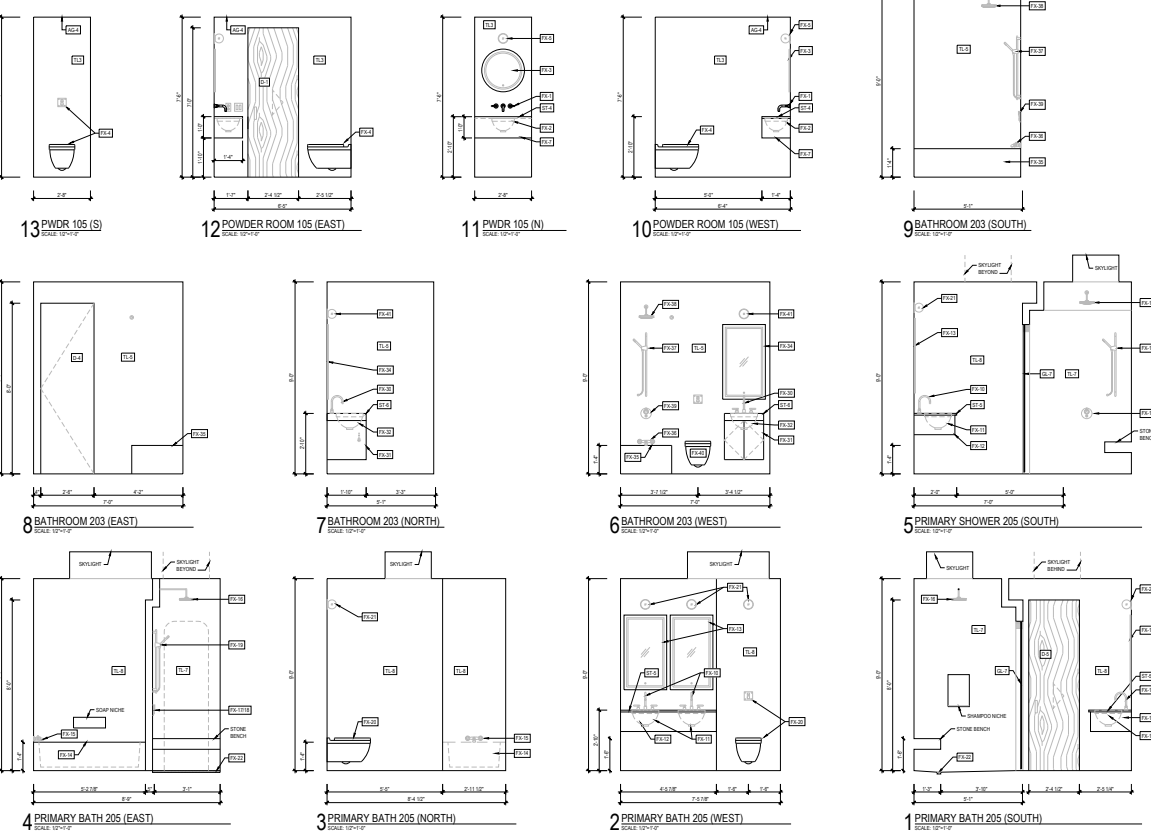
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02.	11.08.2023	DOB PLING SET V.2.0
03.	11.22.2023	DOB PLING SET V.3.0
04.	12.03.2023	DOB PLING SET V.4.0
05.	12.13.2023	DOB PLING SET V.5.0
06.	01.05.2024	DOB SET V.1.0

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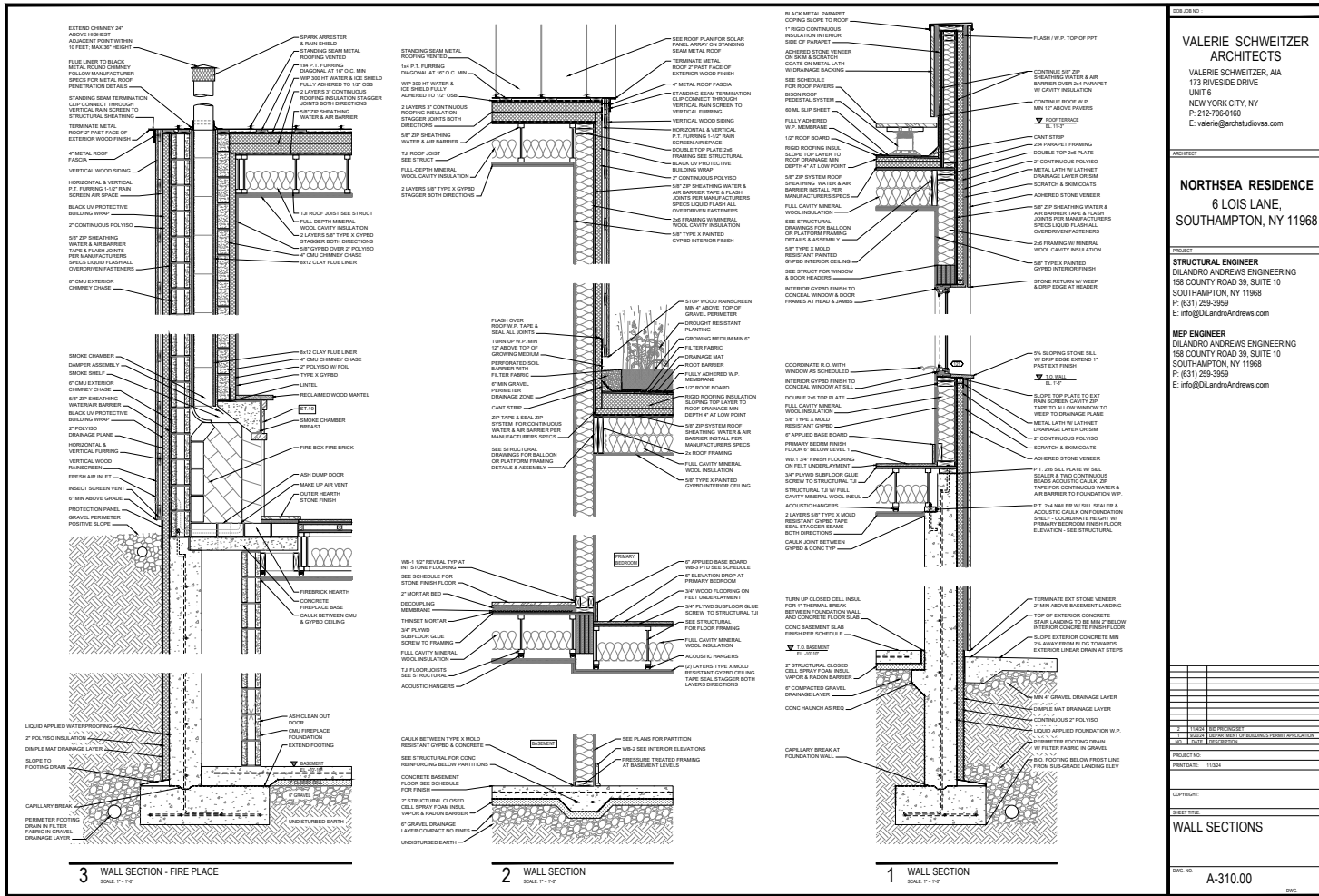
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**321 7TH STREET
 BROOKLYN NY 11215**

INT. ELEVATIONS BATHROOMS

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 CHECKED BY:
 DRAWING:
A-205.00
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 SUBSEQUENT FILE NOS FOR MECH., PLUM., STRUCT.



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ARCHITECT

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 SOUTHAMPTON, NY 11968

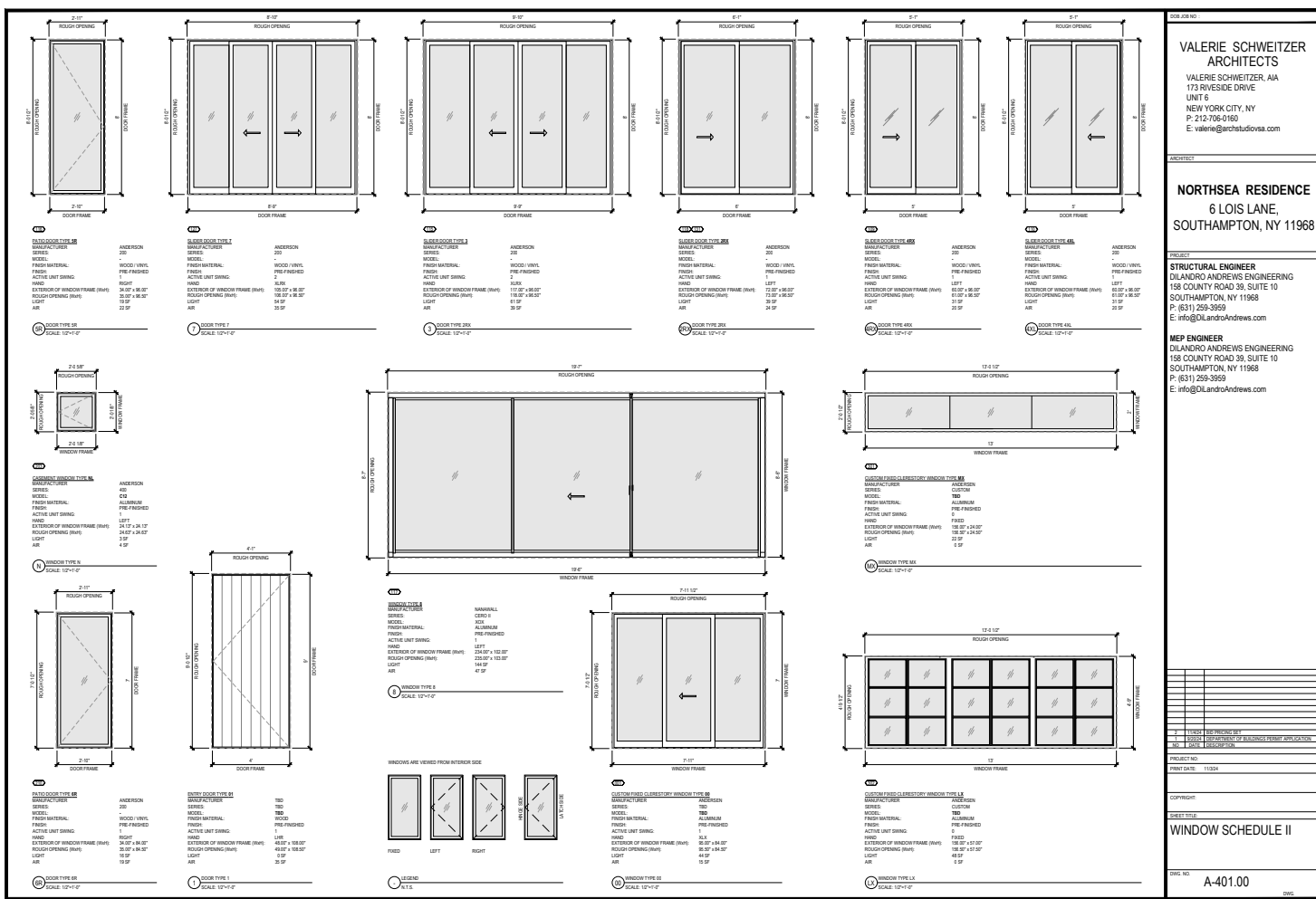
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CONTRACT NO.
 PROJECT NO.
 SHEET TITLE
 WALL SECTIONS

DATE: 11/24/20
 SCALE: 1/4" = 1'-0"

NO: A-310.00



008 008 10
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CONTRACT NO.
 PROJECT NO.
 SHEET TITLE
 WINDOW SCHEDULE II

DATE: 11/24/20
 SCALE: 1/4" = 1'-0"

NO: A-401.00