

PROFESSIONAL
WORK

JUHI BHARDWAJ

MID-RISE

74 BROAD ST
STAMFORD, CT

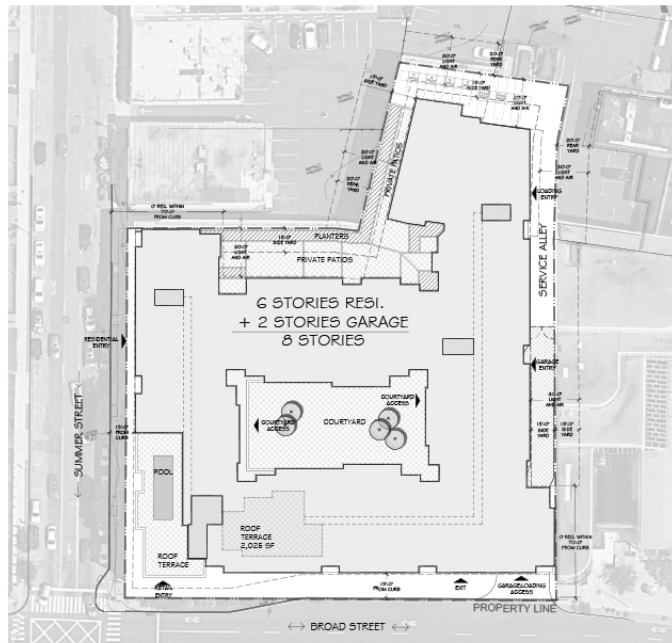
NO. OF UNITS AND PARKING RATIO: 280 units @1.1 PS / unit
AREA : 5,722 SF of Retail
7,000 SF of Amenity
TOTAL AREA : 270,0000 GSF
ROLE: Manager , Senior Designer

RESPONSIBILITIES :

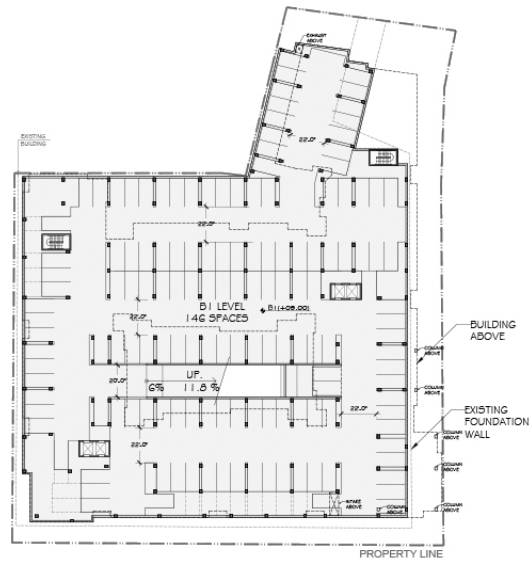
Lead site plan submission and approvals, resolving regulatory comments.
Coordinate with multidisciplinary teams for seamless project execution.
Develop concept studies, including site layouts, elevations, and unit plans.
Present designs to city staff and clients, addressing feedback through official responses

BRIEF: The project will replace the current Burlington Building while utilizing the existing basement walls to support the new basement structure, the Corner of the site is the most prominent corner in the city and hence required a visually significant design to enhance its appeal.

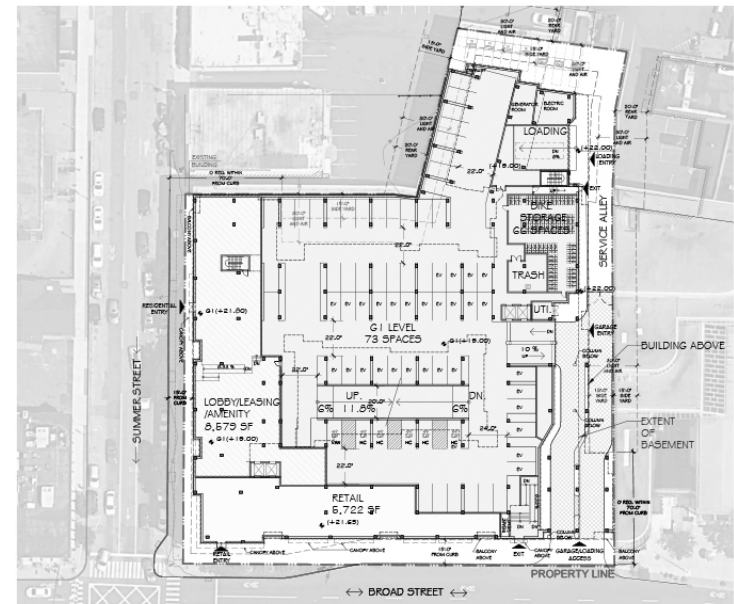




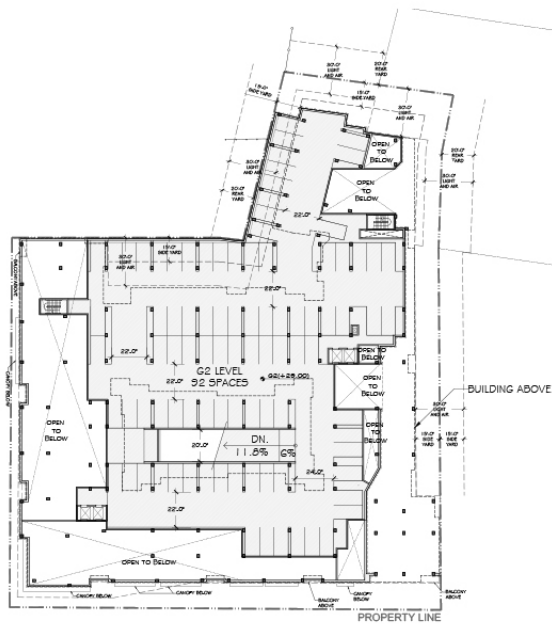
SITE PLAN



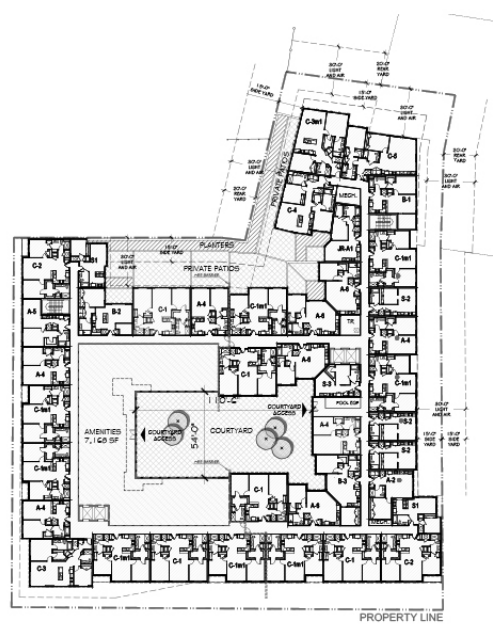
BASEMENT (B1)



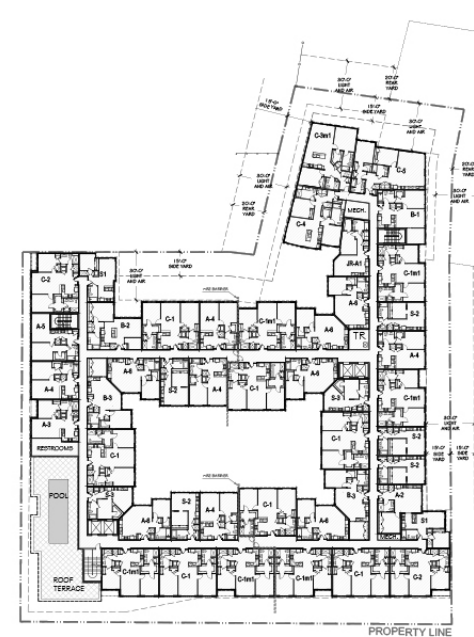
GROUND FLOOR



SECOND FLOOR (G2)

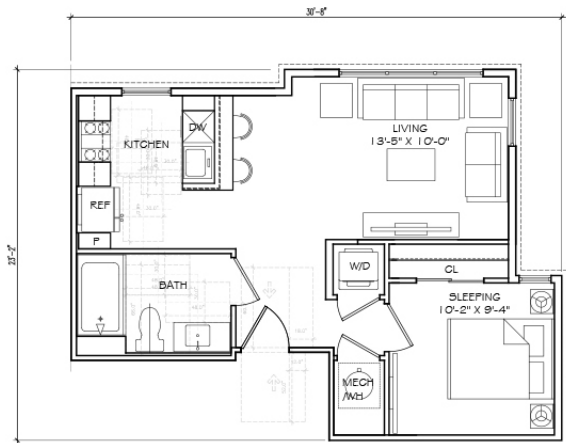


FIRST FLOOR R1

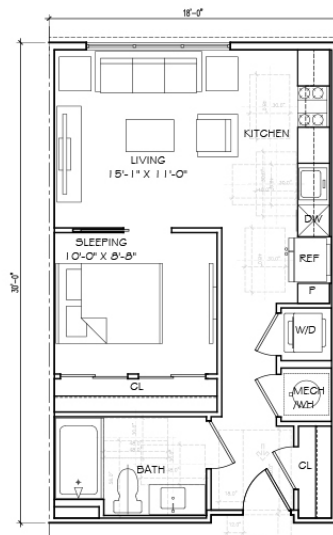


TOP FLOOR R6

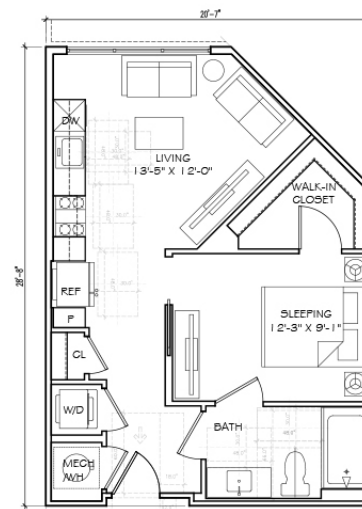
● = BMR UNITS



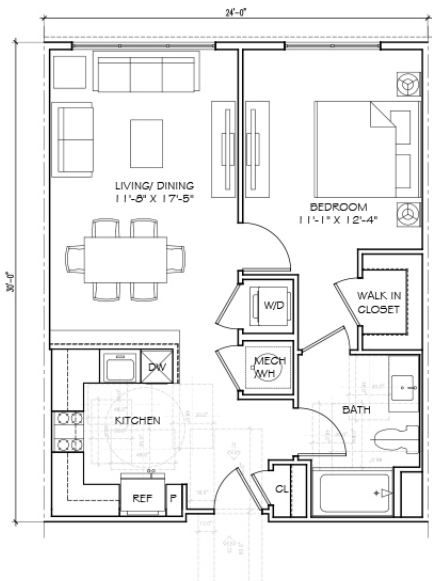
STUDIO TYPE 1



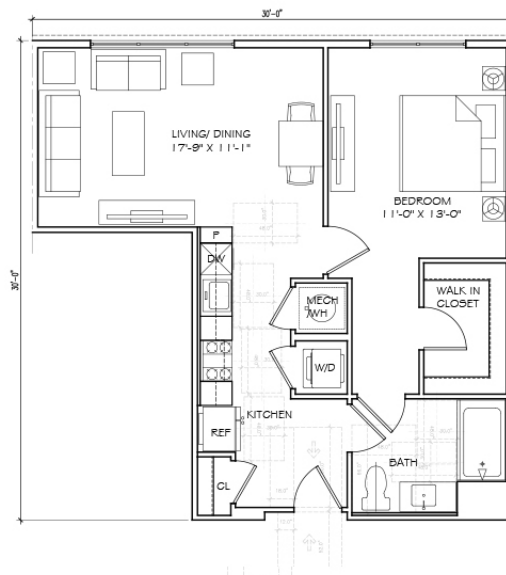
TYPICAL STUDIO TYPE 2



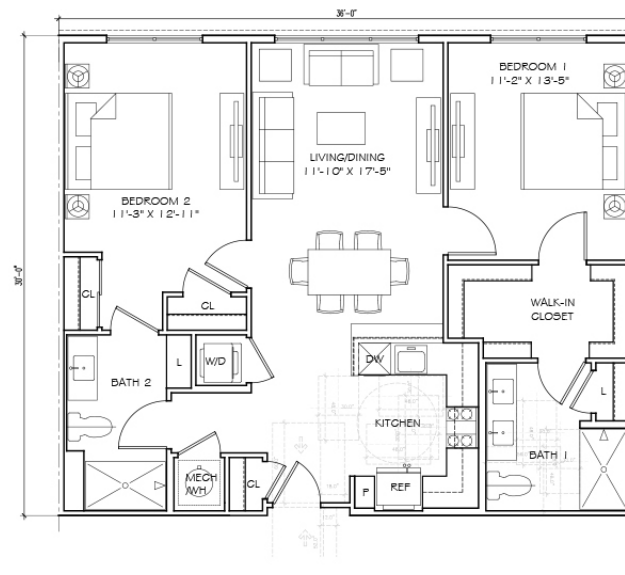
STUDIO TYPE 3



TYPICAL 1 BR/1 BA



1 BR/1 BA
STAIRCASE



TYPICAL 2 BR/2 BA

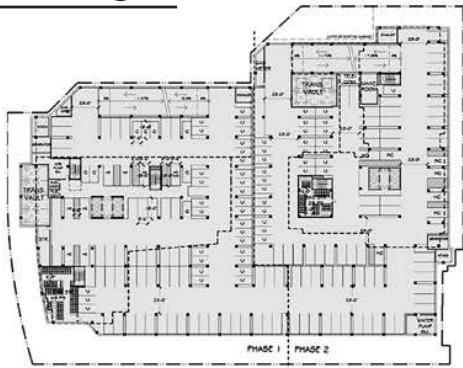
HIGH-RISE

**TYSONS
MCLEAN, VA**

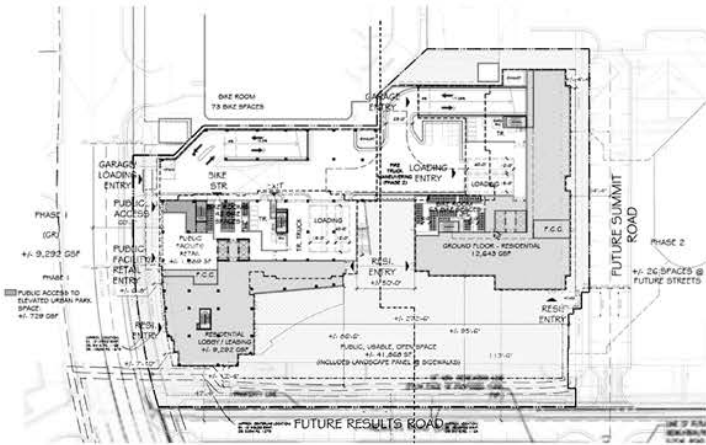
NO. OF UNITS AND PARKING RATIO: 653 units @.98 PS / unit
AREA : 1,880 SF of Retail
 9,290 SF of Amenity
 740,363 GSF
ROLE: Manager , Senior Designer

RESPONSIBILITIES :
 Lead pre application packages, resolving regulatory comments.
 Coordinate with multidisciplinary teams. Assist in concept studies, and
 Develop site layouts, elevations. Assist in presentation to city staff and
 clients, addressing feedback effectively.

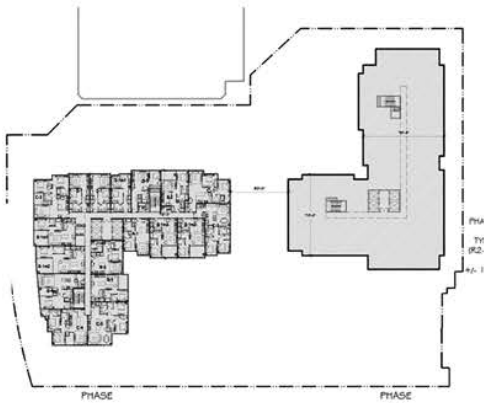
BRIEF: The project features a public community space on the 1St & 2nd-floor. Due to the site's compact size, all utilities are located underground and serviced via the west street, optimizing space and maintaining a clean ground-level.



TYPICAL BASEMENT FLOOR X 3



GROUND FLOOR



TYPICAL FLOOR



LOCATION OF FUTURE STREETS AS APPROVED
SITE PLAN

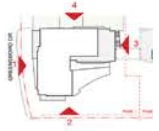


ELEVATION 1

ELEVATION 2

ELEVATION 3

ELEVATION 4



01 BRICK TAN



02 BRICK DARK TAN



03 BRICK IRON SPOT GREY



04 FIBER CEMENT PANEL LIGHT GREY



05 FIBER CEMENT PANEL MEDIUM GREY

06 FIBER CEMENT PANEL DARK GREY



07 GLASS RAILING DARK GREY



08 JULIETTE BALCONY DARK GREY



09 ALUMINIUM WINDOWS & DOORS DARK GREY



10 ALUMINIUM LOUVRES DARK GREY



11 METAL CANOPY DARK GREY

MID-RISE

CHAINBRIDGE FAIRFAX, VA

NO. OF UNITS AND PARKING RATIO: 250 units @1.5 PS / unit
AREA : 6,300 SF of Retail

7,320 SF of amenity
287,300 GSF

TOTAL AREA :

ROLE:

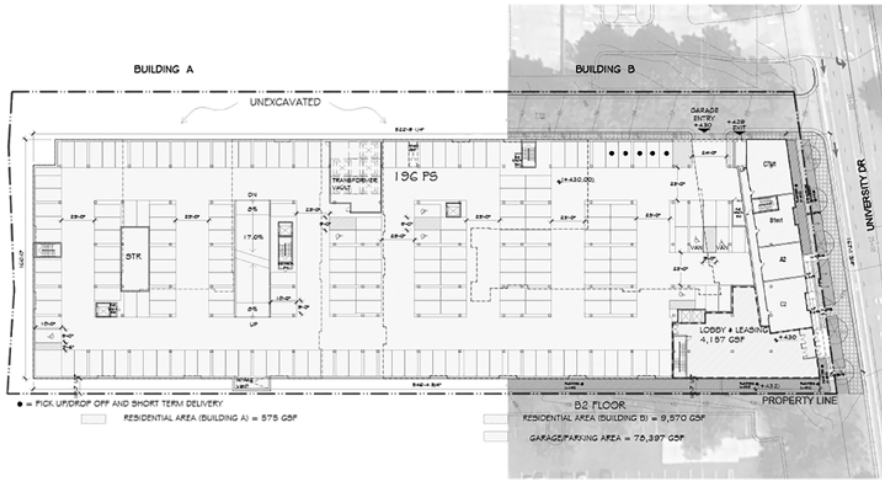
Manager , Senior Designer

RESPONSIBILITIES :

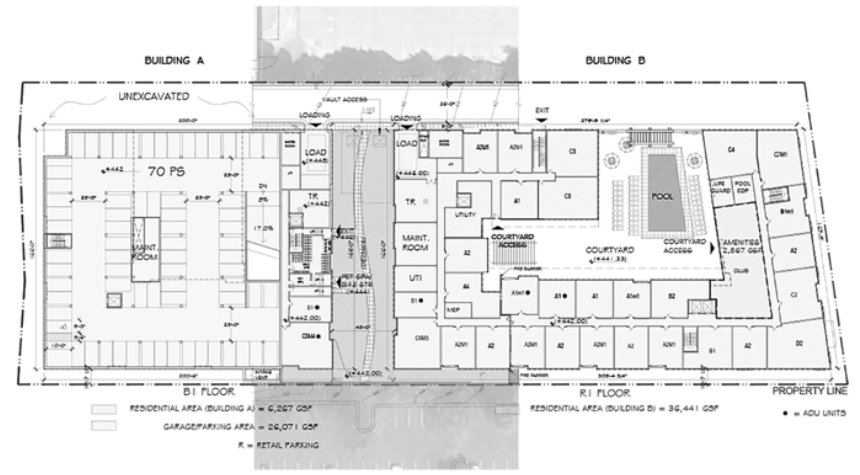
Lead site plan submission and pre app packages, resolving regulatory Comments. Coordinate with multidisciplinary teams. Develop concept studies, including site layouts, elevations, and unit block outs. Present designs to clients and address feedback effectively.

BRIEF: The project sits on a steeply sloped site with street access on 2 levels over 10 feet apart. Key challenges include creating a visually distinct entry, integrating an ADA-compliant service alley, respecting the nearby historic district's character, and incorporating a large retail space as required by the city.

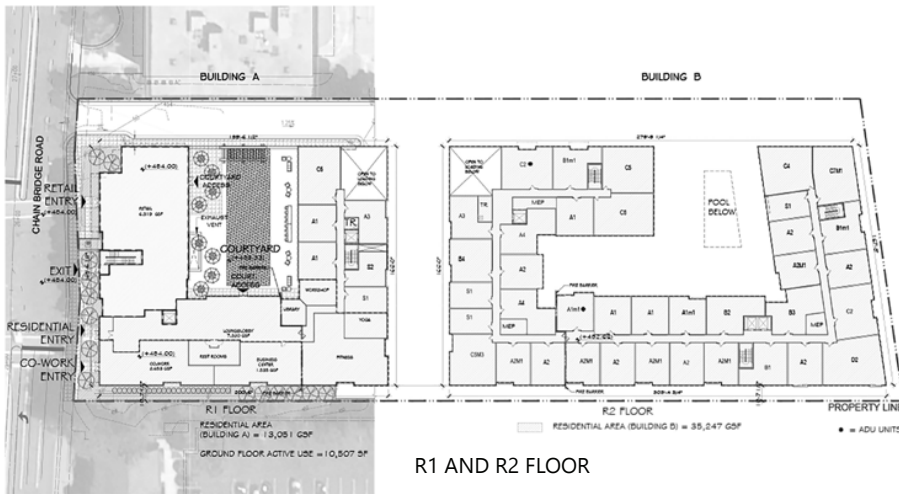




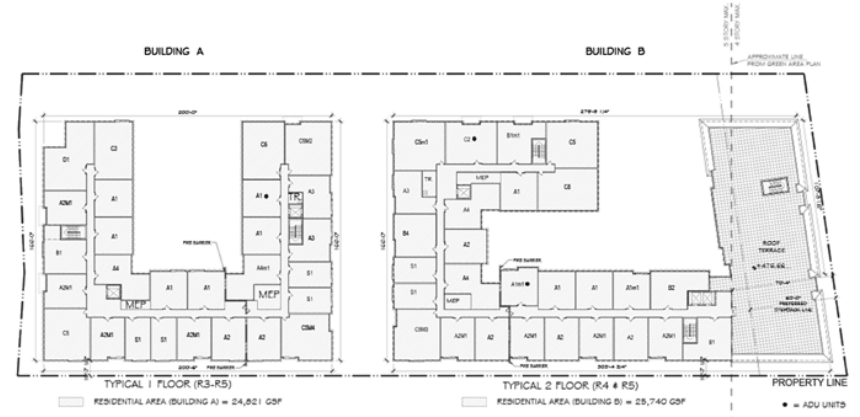
BASEMENT 2



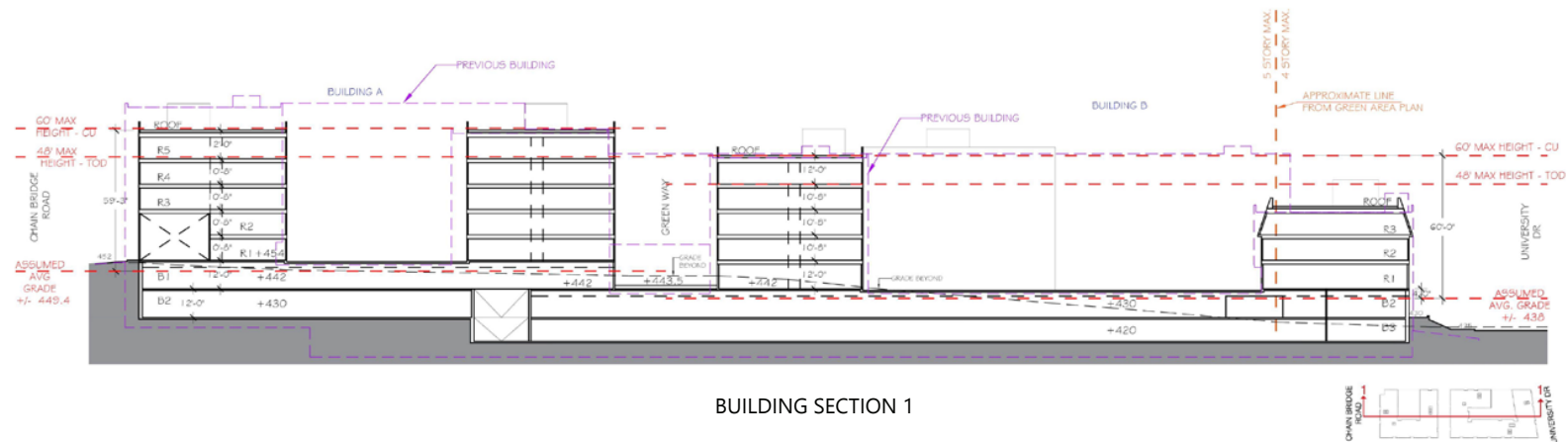
B1 AND R1 FLOOR



R1 AND R2 FLOOR



R3-R5 AND R4-R5 FLOOR



BUILDING SECTION 1

MID-RISE

188 LFAYETTE ST
NEW HAVENS, CT

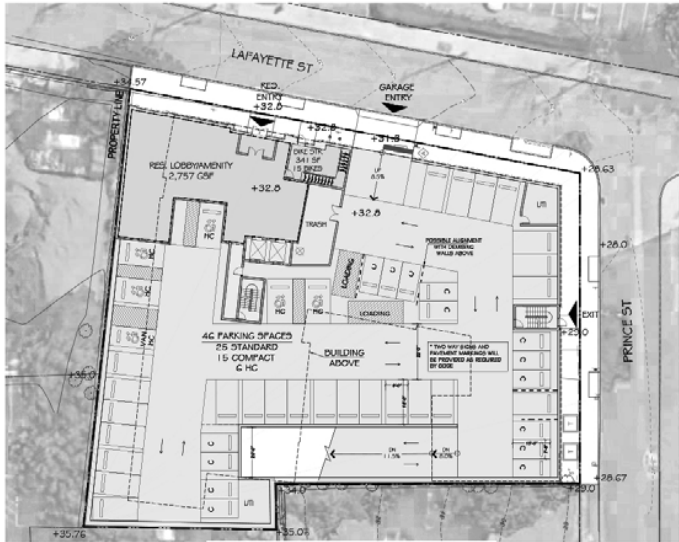
NO. OF UNITS AND PARKING RATIO: 112 Units@1.5 PS / unit
AREA : 2,870 SF of Amenity

TOTAL AREA : 111,683 GSF
ROLE: Architectural Designer II

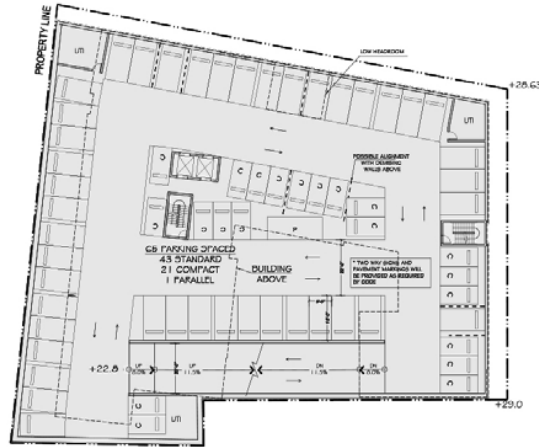
RESPONSIBILITIES :
Lead the development of Concept study, Site plan and Schematic Design packages ,Develop Elevation design and populating plans with unit block outs.

BRIEF: The project was relatively straightforward due to the city's simple zoning regulations. As the site is owned by Yale University, they requested that a portion of the building's parking be allocated for students or the general public, available on a pay-per-use basis.

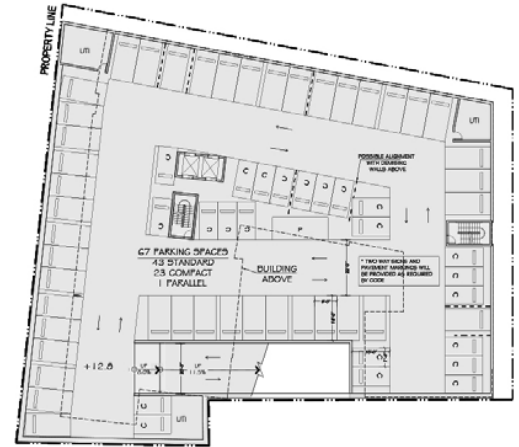




GR FLOOR



GARAGE 1



BASEMENT 1



R1 FLOOR



TYPICAL RESIDENTIAL FLOOR



BUILDING ELEVATION 1



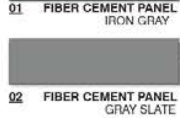
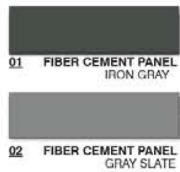
BUILDING ELEVATION 3



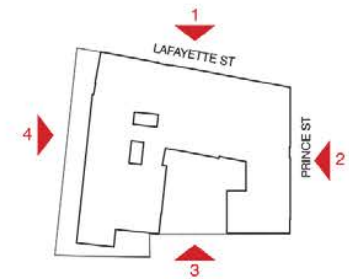
BUILDING ELEVATION 2



BUILDING ELEVATION 4



- 04 ALUMINUM DOORS AND VINYL WINDOWS BLACK
- 05 OVERHEAD GARAGE DOOR GLASS BLACK
- 06 DECORATIVE DOWN LIGHT FIXTURE



MID-RISE



275 BROAD ST
STAMFORD, CT

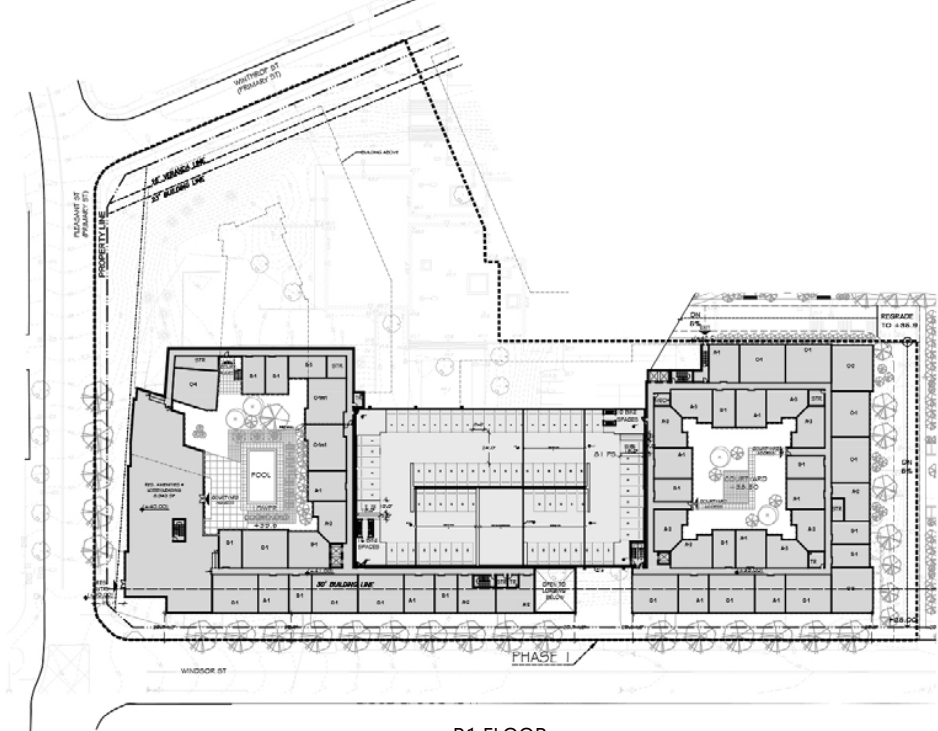
NO. OF UNITS AND PARKING RATIO: 473 units @ 1.0 PS / unit
AREA : 10,500 SF of Amenity

TOTAL AREA : 463,200 GSF
ROLE: Manager, Senior Designer

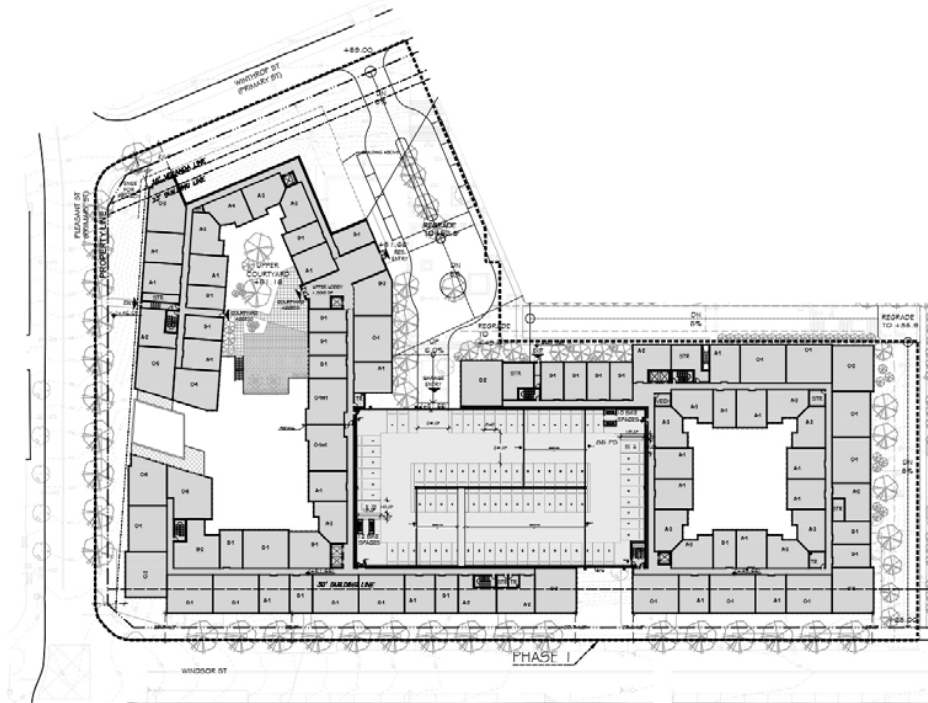
RESPONSIBILITIES :
Lead Phase 1 Planning and Zoning approvals for master plan. Develop Phase 2 master plan, integrating site and zoning analysis. Coordinate with teams for submissions and address regulatory comments. Develop concept studies, elevations, and massing model. Assist in presentation to city staff and client.

BRIEF: The project faced a challenge with building line set at least 25 feet back from the existing curbs on the north and south streets. To maximize unit yield, it was crucial to ensure the master plan's layout appealed to city officials and aligned with their expectations.

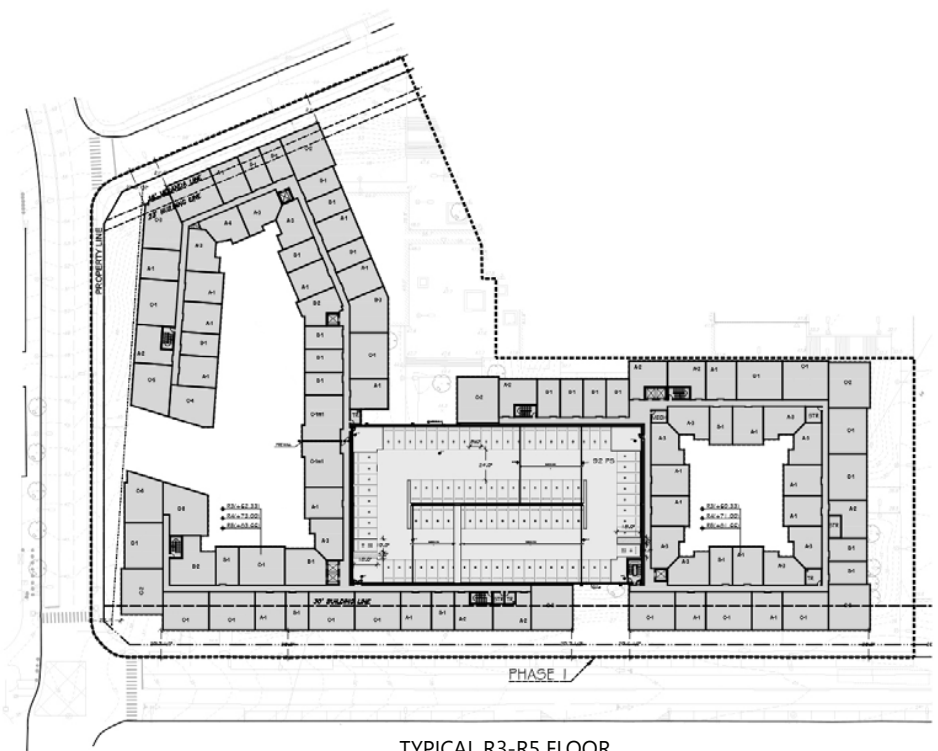




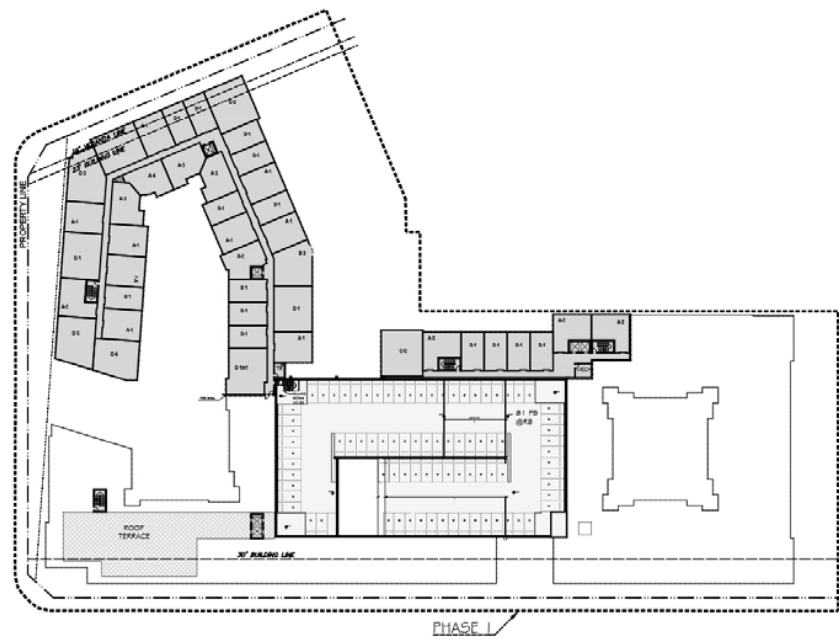
R1 FLOOR



R2 FLOOR



TYPICAL R3-R5 FLOOR



R6 FLOOR



275 W

MID-RISE

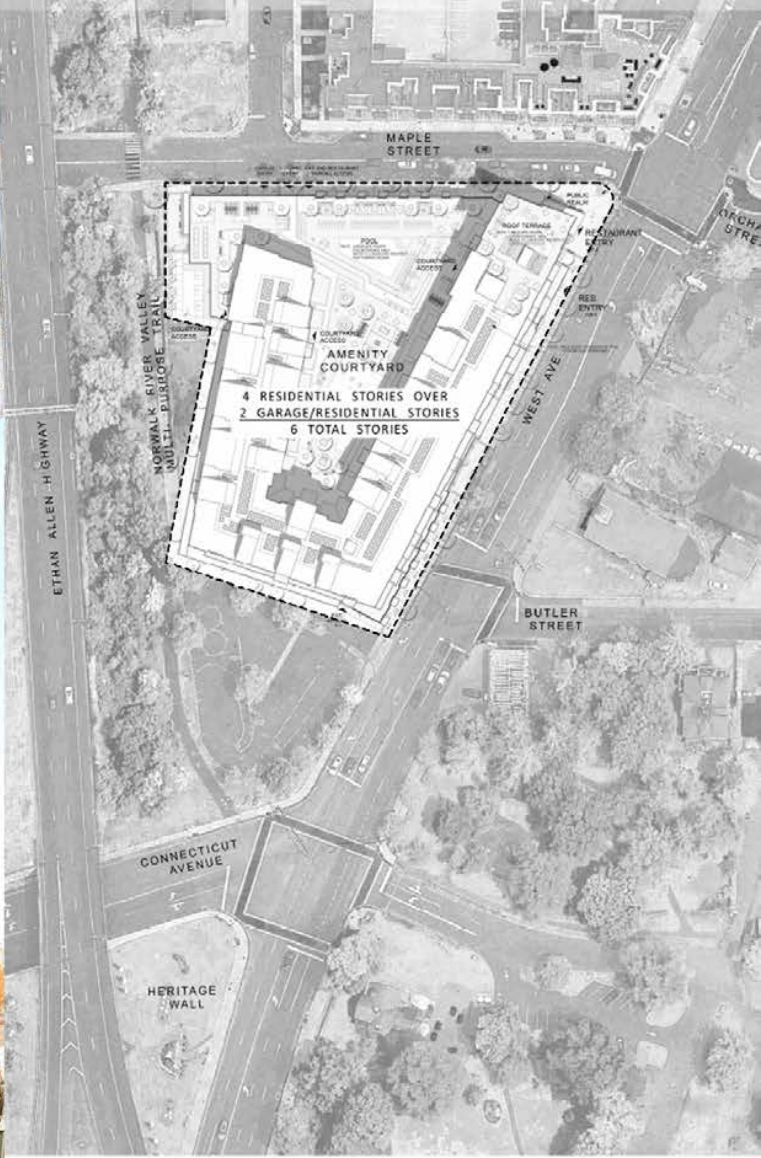


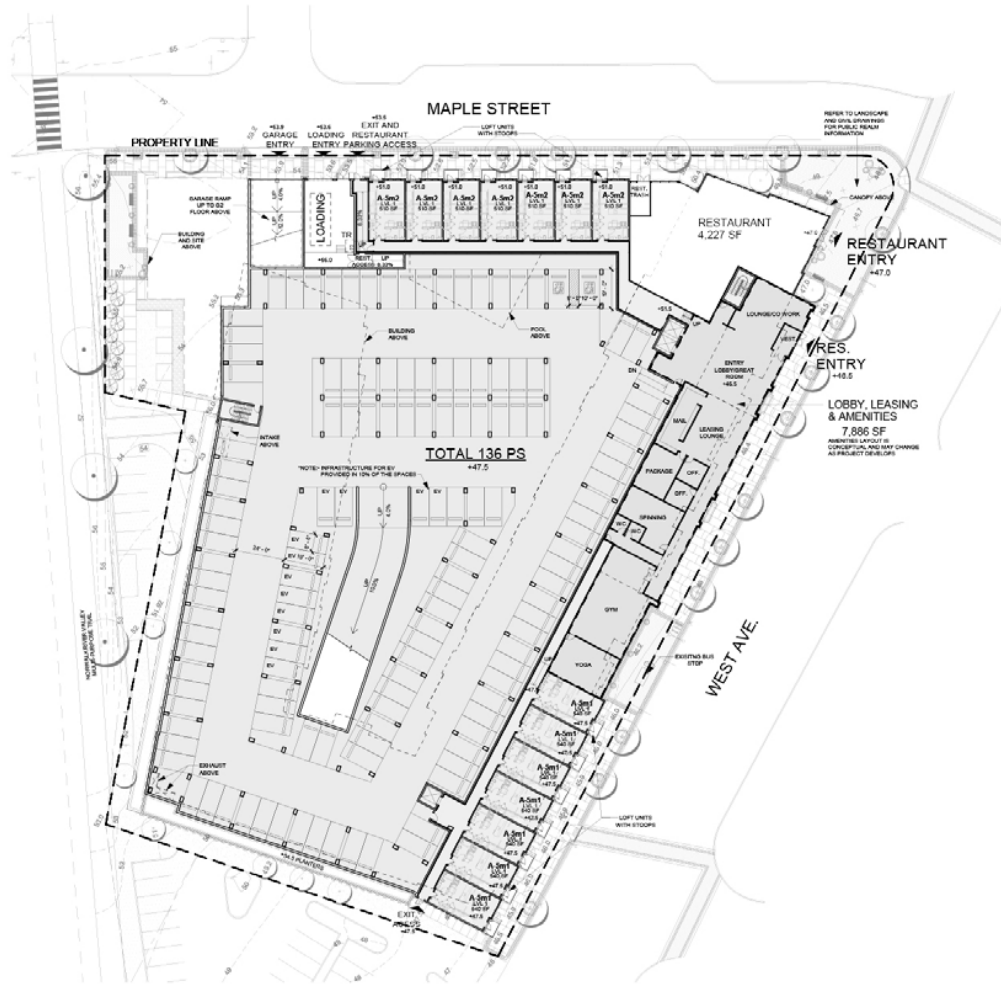
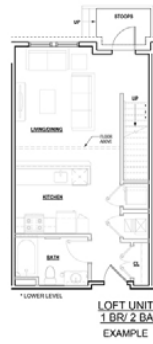
370 WEST AVENUE NORWALK, CT

| | |
|---------------------------------|---|
| NO. OF UNITS AND PARKING RATIO: | 204 Units @1 PS / unit |
| AREA : | 4,220 SF of Restaurant 15,600 SF of Amenity 220,000 GSF |
| TOTAL AREA : | 220,000 GSF |
| ROLE: | Architectural Designer III |
| RESPONSIBILITIES : | |

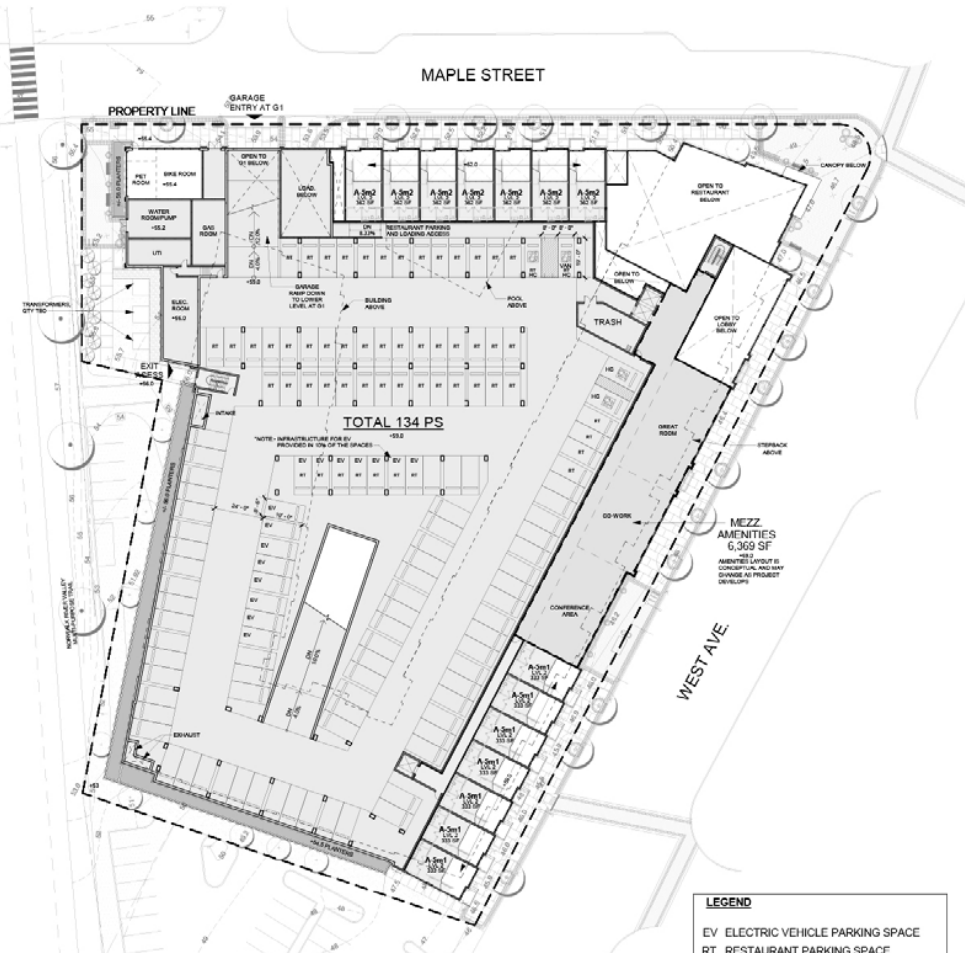
Assist in concept studies and approval efforts. Develop 3D model in Sketch-Up for initial concept studies, elevation design, and site planning. Create unit layouts and Oversee production of Schematic Design and Site Plan packages.

BRIEF: The elevation design adheres to the city's form-based code, ensuring cost efficiency. The prominent corner at the intersection of two streets demanded meticulous design attention, as it will function as a public plaza and gateway, requiring both visual appeal and functional excellence.



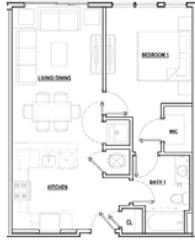


GROUND FLOOR PLAN

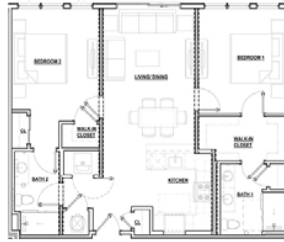


GARAGE FLOOR PLAN

- LEGEND**
- EV ELECTRIC VEHICLE PARKING SPACE
 - RT RESTAURANT PARKING SPACE
 - HC HANDICAP PARKING SPACE
 - RESIDENTIAL PARKING SPACE



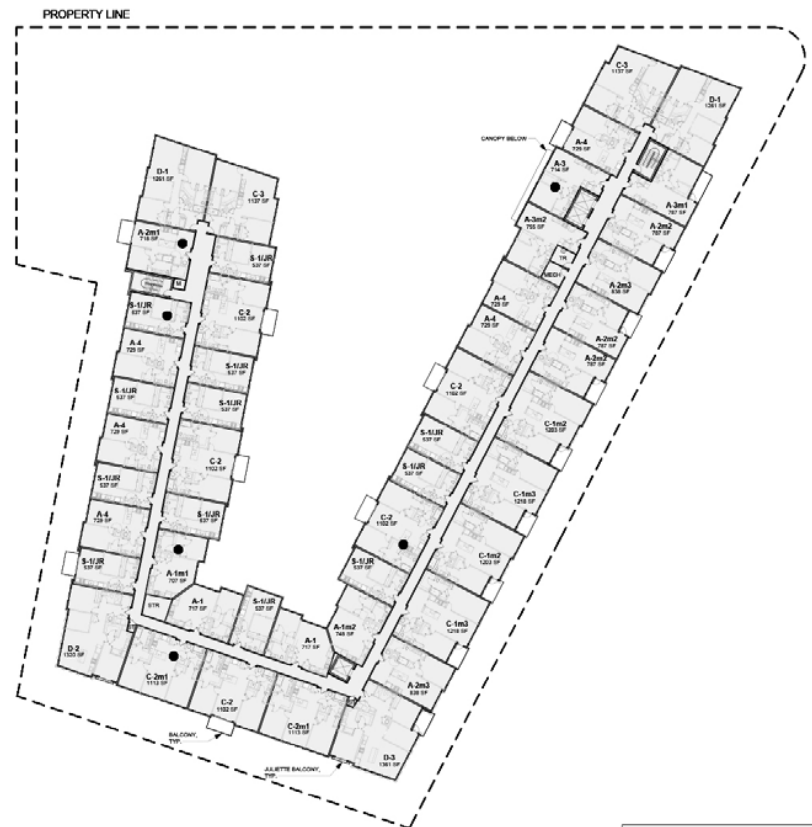
1 BR/ 1 BA
EXAMPLE



2 BR/ 2 BA
EXAMPLE



R1 FLOOR PLAN



TYPICAL FLOOR PLAN

LOW-RISE



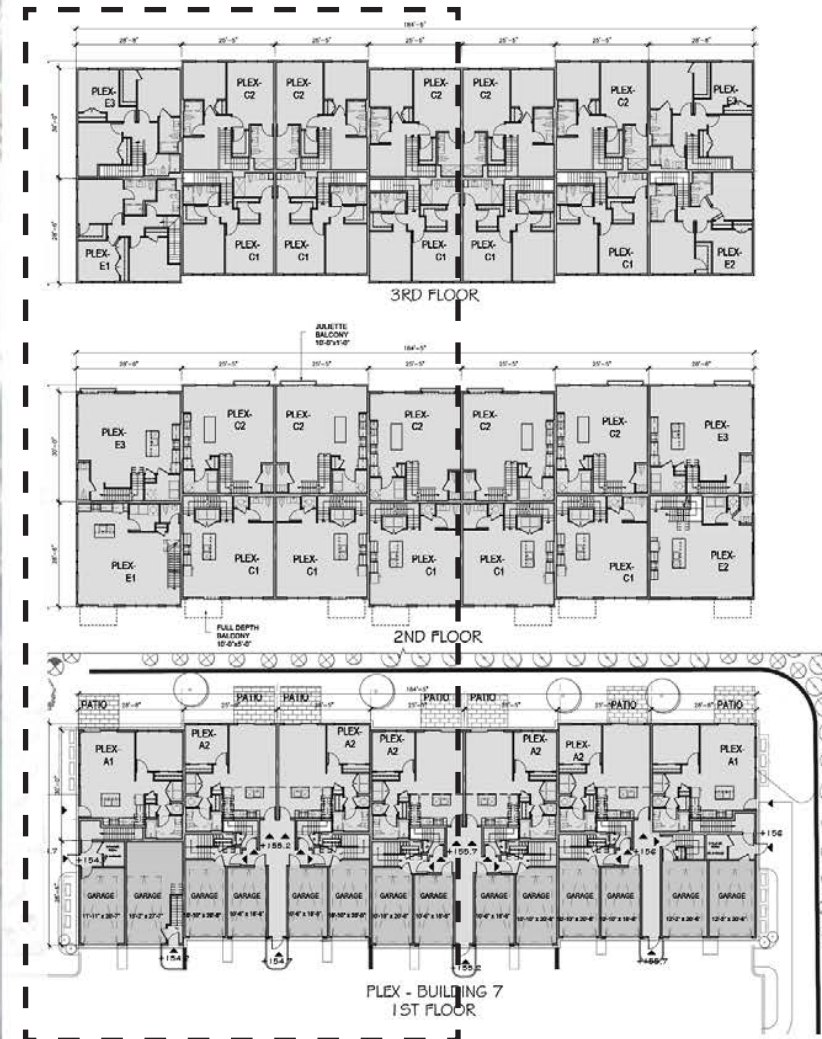
64 DANBURY WILTON, CT

NO. OF UNITS AND PARKING RATIO: 93 units @2 PS / unit
 AREA : 2,600 SF of Amenity
 TOTAL AREA : 378,000 GSF
 ROLE: Manager , Senior Designer

RESPONSIBILITIES :
 Lead site plan submissions and approvals, resolving regulatory comments.
 Coordinate with multidisciplinary teams. Develop concept studies, including site layouts, elevations, and unit plans. Present designs to city staff, fire Department and clients, addressing feedback effectively.

BRIEF: The elevation design faced strict scrutiny by the architectural board, with 6-7 iterations before finalizing the best option. Units are grouped into modules—one ground-floor unit and two two-story units above. Site planning focused on harmonizing pedestrian and vehicular flow for a cohesive design.

TYPICAL 4 MODULE BUILDING





MID-RISE



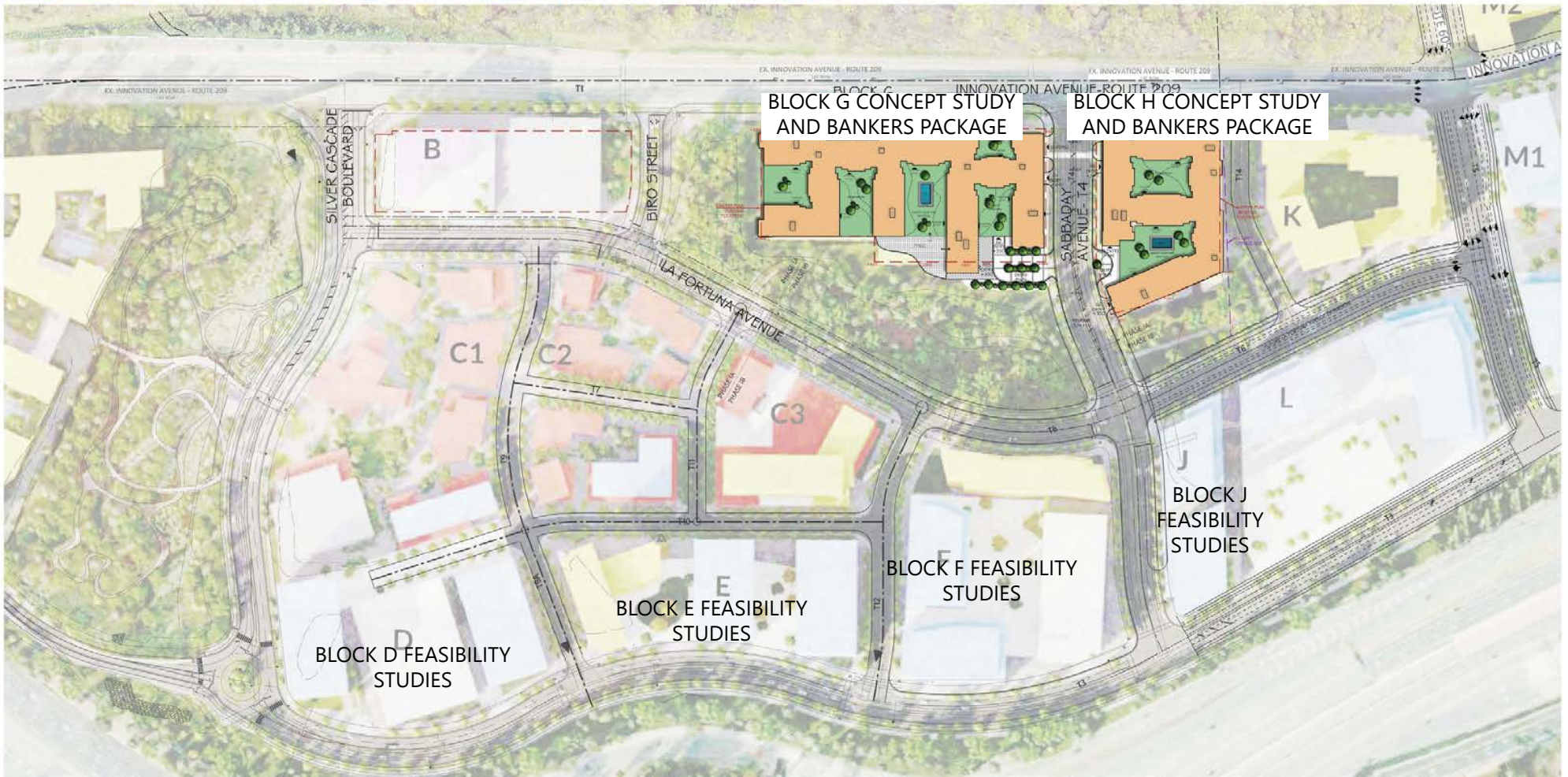
RIVANA INOVATION CENTER HERNDON, VA

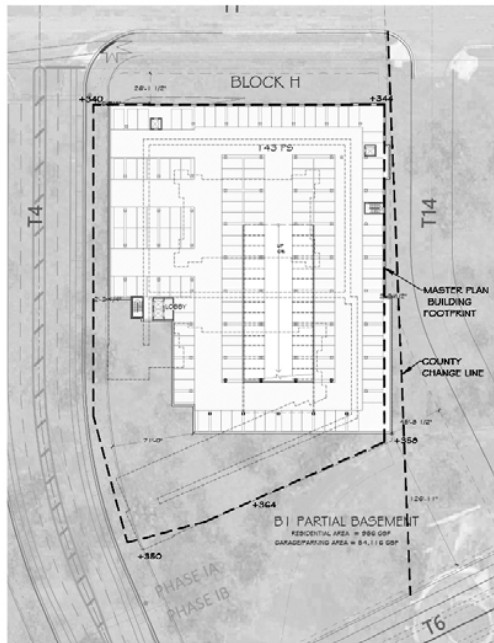
NO. OF UNITS AND PARKING RATIO: 798 Units @1.5 PS / unit
AREA : 19,600 SF of Amenity
TOTAL AREA : 815,000 GSF
ROLE: Manager , Senior Designer

RESPONSIBILITIES :
Develop concept study Feasibility study and bankers packages. Create elevation designs, site plans, and populate plans with unit layouts for parcel G & H

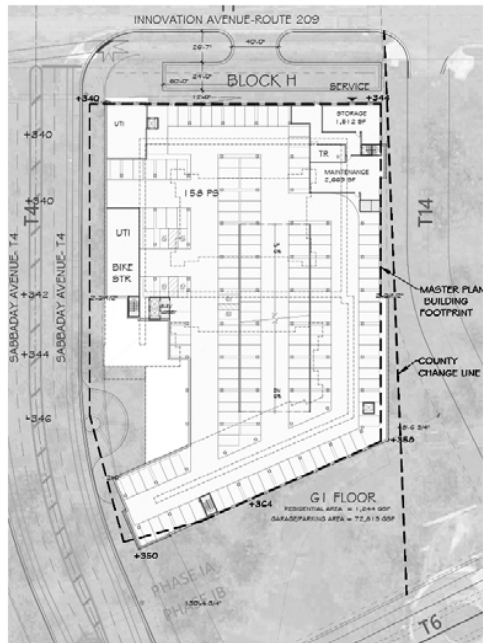
Conduct feasibility studies to evaluate site potential and determine optimal program fit across multiple parcels(D,E,F,J). Assist in client meetings, Presenting design drawings and addressing feedback to refine the program.

BRIEF: The pre-approved master plan required further refinement to attract investors. The task involved optimizing the program, parking, and building layout, while preparing for future site plan submission. Significant grading adjustments and close coordination with civil engineers were necessary, particularly due to the tree reserve protection area to the south of the site. The design prioritized orienting maximum views toward this green space.

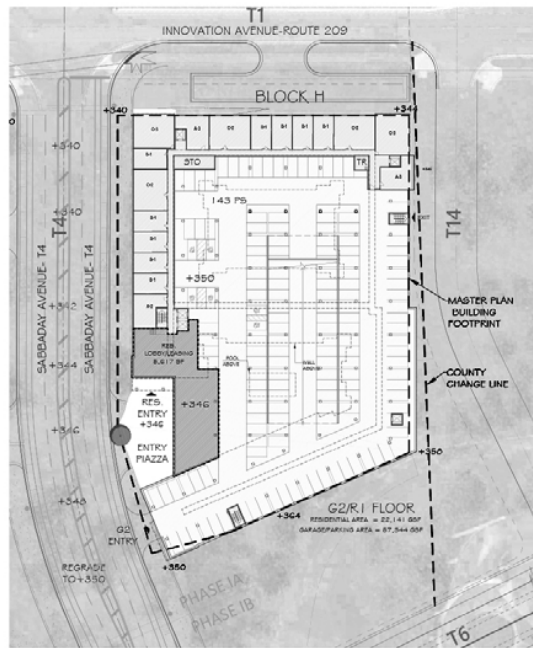




B1 PARTIAL BASEMENT



G1 FLOOR



G2/R1 FLOOR



R2 FLOOR

PARTIAL PLAN



BUILDING ELEVATION A



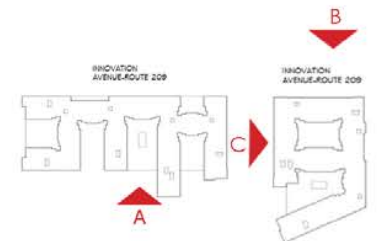
BUILDING ELEVATION B



BUILDING ELEVATION C

MATERIAL LEGEND

- 01 BRICK 1 - RED
- 02 FEATURE SIDING (LONG BOARD) - MEDIUM GRE
- 03 METAL PANEL 1 - LIGHT GREY
- 04 METAL PANEL 2 - MEDIUM GREY
- 05 GLASS RAILING
- 06 ALUMINIUM WINDOWS & DOORS
- 07 METAL LOUVER - LIGHT GREY
- 08 METAL PANEL TRIM - DARK GREY
- 09 METAL PANEL TRIM - MEDIUM GREY
- 10 DECORATIVE GRILLS
- 11 ALUMINIUM BOX





NO. OF UNITS AND PARKING RATIO: 230 Units @1.65 PS / unit
284,200 GSF

TOTAL AREA :
ROLE: Manager , Senior Designer

RESPONSIBILITIES :
Assist in the concept study. Develop Elevation designs and Assist in presentations and addressing comments, meeting with city for Zoning text changes.

BRIEF: The project while on concept level demanded a creative integration of bold, vibrant colors and thoughtfully designed amenity spaces to foster a lively and engaging atmosphere.

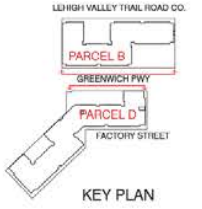




BUILDING ELEVATION PARCEL B



BUILDING ELEVATION PARCEL D



MID-RISE

100 CLINTON
STAMFORD, CT

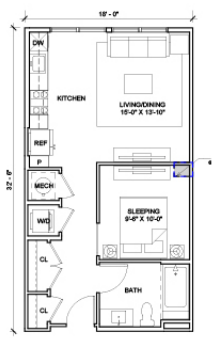
NO. OF UNITS AND PARKING RATIO: 471 Units @0.9 PS / unit
AREA : 25,300 SF of Amenity

TOTAL AREA : 544,000 GSF
ROLE: Architectural Designer III

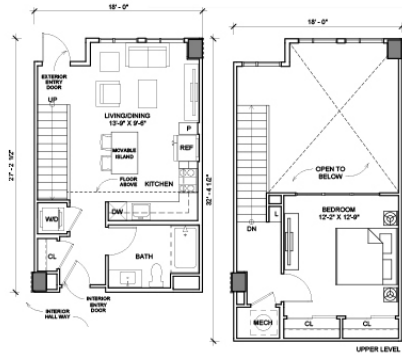
RESPONSIBILITIES :
Assist in the concept study and approval efforts. Assist in Elevation designs
Site planning, floor plans and unit plans. Lead the Site plan and Schematic
Design drawings production.

BRIEF: Block B, oriented toward the river, prioritized maximizing views and
creating stepped terraces leading toward the water. In contrast, Parcel B faced
the opposite direction. The unit layouts demanded a unique approach,
tailored to the client's vision and functional requirements.

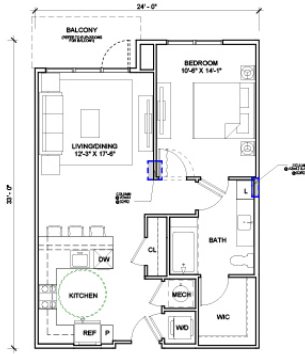




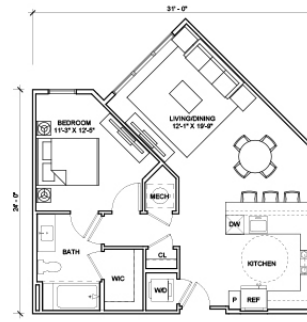
STUDIO



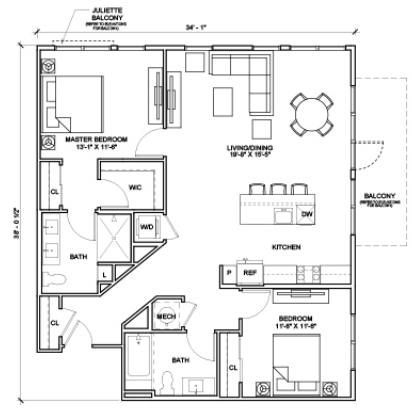
2 STORY 1 BED/1BR



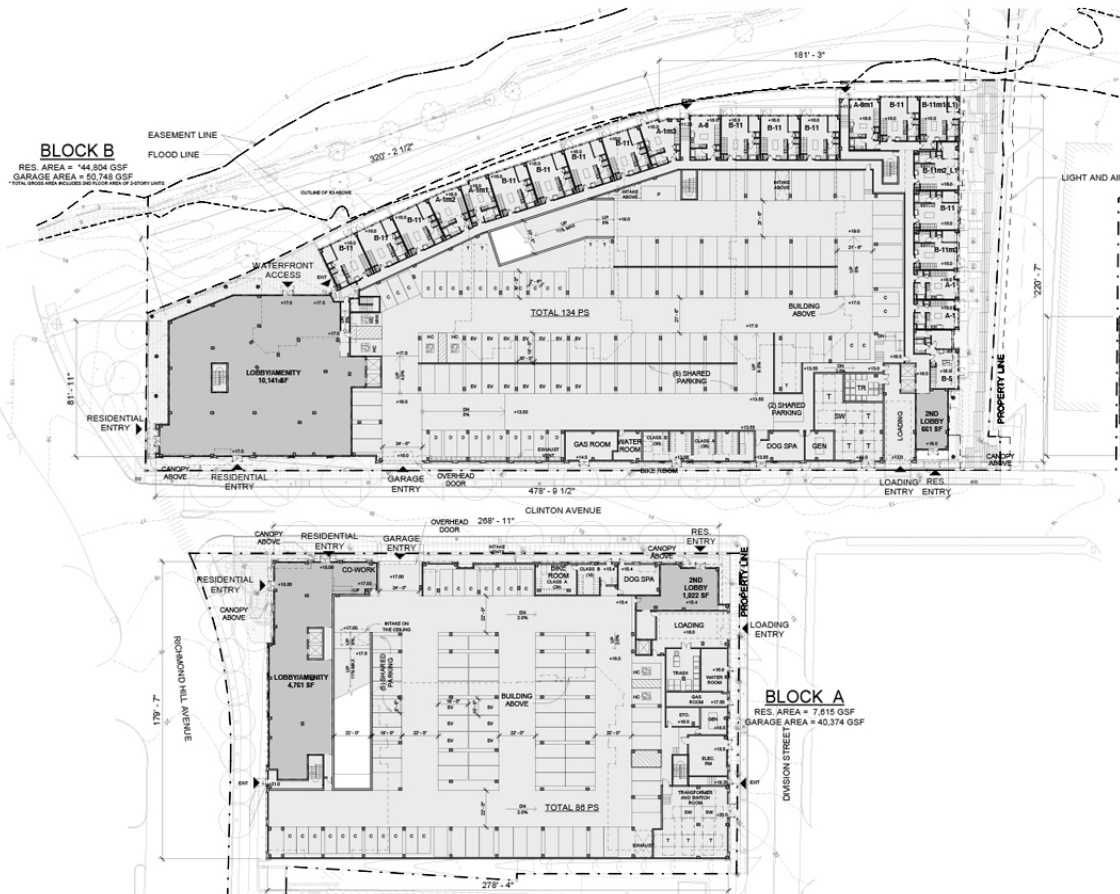
1 BED/1BR



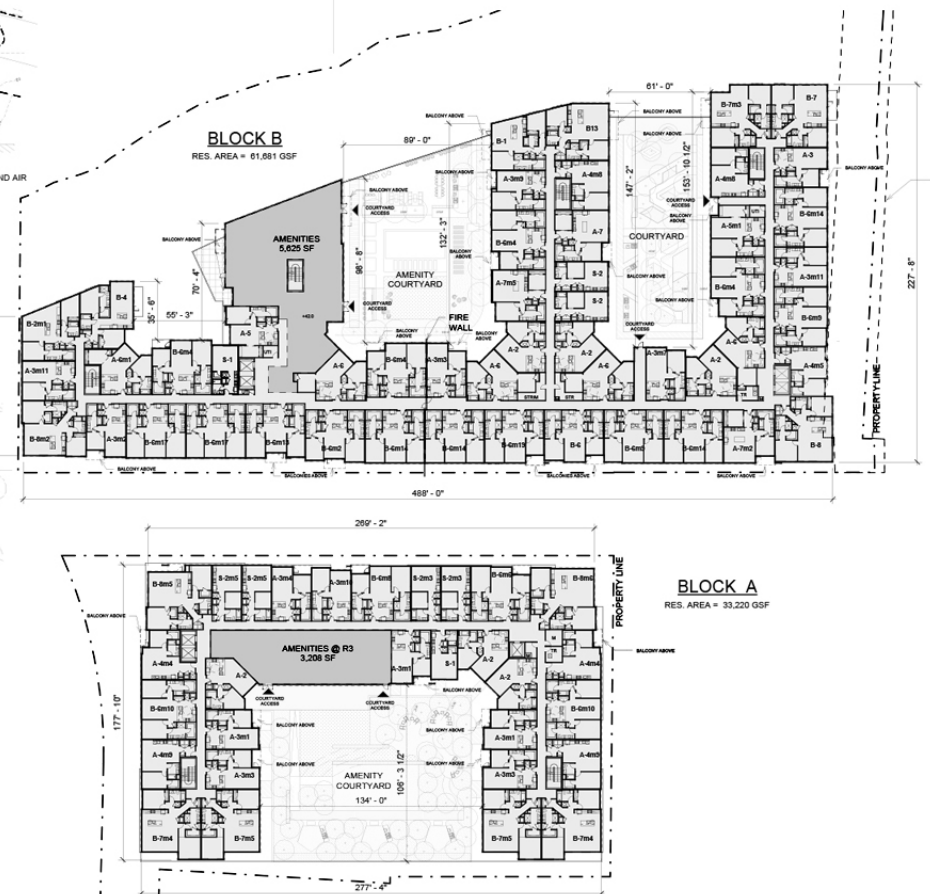
KUNKLE 1 BED/1BR



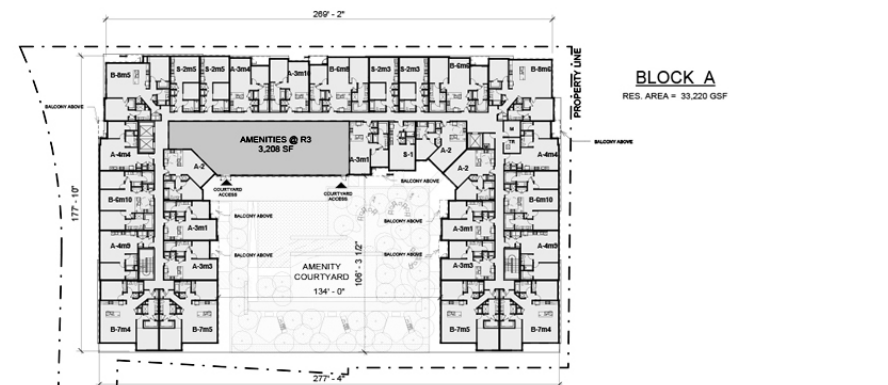
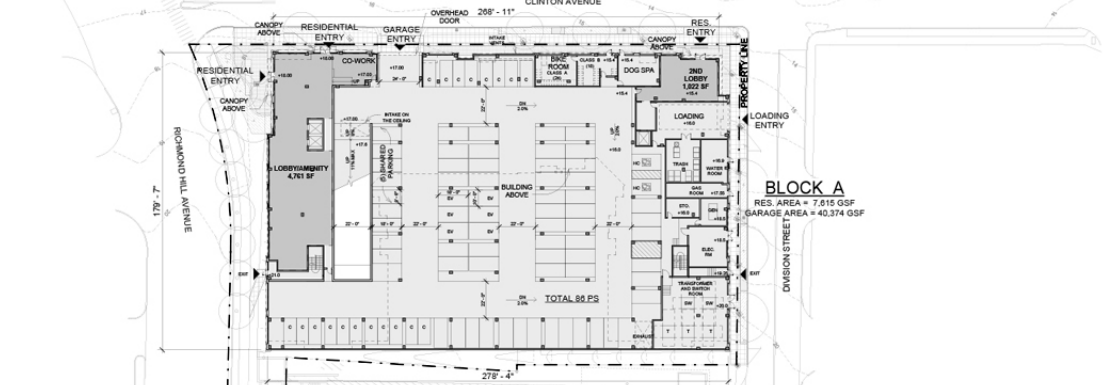
CORNER 2 BED/2 BR



GROUND FLOOR PLAN



TYPICAL FLOOR PLAN



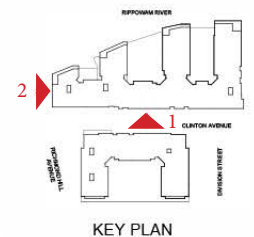
GROUND FLOOR PLAN

TYPICAL FLOOR PLAN



MATERIAL LEGEND

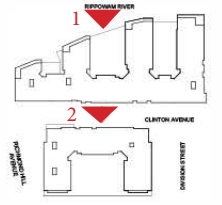
- 01 BRICK - GREY
- 02 FIBER CEMENT BOARD AND BATTEN PANEL - MEDIUM GREY
- 03 FIBER CEMENT PANEL - LIGHT GREY
- 04 FIBER CEMENT SIDING - WOOD PATTERN
- 05 METAL ACCENT - DARK GREY
- 06 FIBER CEMENT PANEL - DARK GREY
- 07 METAL CANOPY
- 08 WIRE MESH RAILING
- 09 GLASS RAILING
- 10 JULIETTE BALCONY





MATERIAL LEGEND

- 01 BRICK - GREY
- 02 FIBER CEMENT BOARD AND BATTEN PANEL - MEDIUM GREY
- 03 FIBER CEMENT PANEL - LIGHT GREY
- 04 FIBER CEMENT SIDING - WOOD PATTERN
- 05 METAL ACCENT - DARK GREY
- 06 FIBER CEMENT PANEL - DARK GREY
- 07 METAL CANOPY
- 08 WIRE MESH RAILING
- 09 GLASS RAILING
- 10 JULIETTE BALCONY



KEY PLAN



MID-RISE

ALEXANDRIA CROSSING ALEXANDRIA, VA

NO. OF UNITS AND PARKING RATIO:

466 Units
 385 MF units +
 46 stacked units +
 35 townhomes
 @1.5 ps / unit
 47,900 SF of amenity
 394,000 GSF -MF
 Architectural Designer II

AREA :

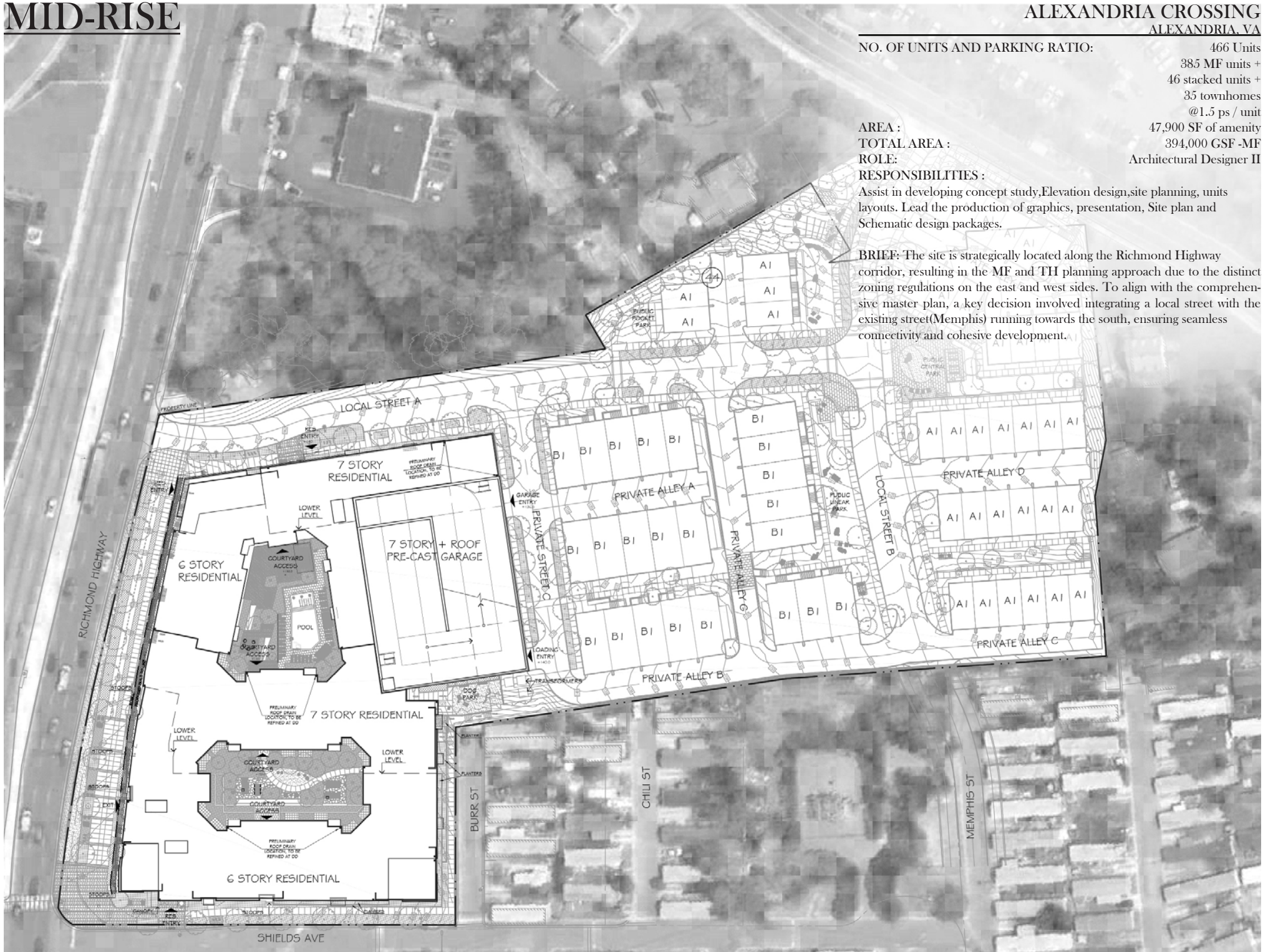
TOTAL AREA :

ROLE:

RESPONSIBILITIES :

Assist in developing concept study, Elevation design, site planning, units layouts. Lead the production of graphics, presentation, Site plan and Schematic design packages.

BRIEF: The site is strategically located along the Richmond Highway corridor, resulting in the MF and TH planning approach due to the distinct zoning regulations on the east and west sides. To align with the comprehensive master plan, a key decision involved integrating a local street with the existing street (Memphis) running towards the south, ensuring seamless connectivity and cohesive development.

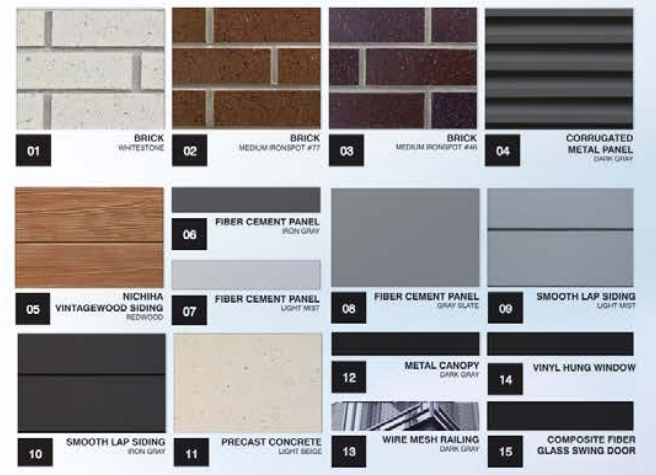




BUILDING ELEVATION 1



BUILDING ELEVATION 2





R3 FLOOR PLAN



R4-R7 FLOOR PLAN

NO. OF UNITS AND PARKING RATIO: 6,255 Units @1 PS / unit
 ROLE: Architectural Designer III
 RESPONSIBILITIES :
 Develop feasibility studies, including area analysis and unit calculations
 Lead the production of graphics and presentation materials for client.

BRIEF: The project requires demolishing existing structures and developing new designs to enhance unit and parking replacement rates, better serving the city's needs.

| Overall Replacement Units | |
|--|------------|
| Total Units Displaced | 1,564 |
| Total Units New - multifamily | 5,817 |
| Total Units New - 2/2s or triplex | 438 |
| Total Units New - MF + 2/2s or triplex | 6,255 |
| Replacement Ratio | 4.0 |
| Total Units to remain | 701 |
| Overall Total (new + old) | 6,956 |
| Amenity and Retail Overall GSF | |
| Amenity Pavilion (gsf) | 11,850 |
| Retail (gsf) | 81,894 |



| Town Center District Replacement Unit Analysis | | | |
|--|-----------------|--------------|-------------------------|
| Phase | Units Displaced | Units New | Units Replacement Ratio |
| T1a,T1b | 108 | 631 | 5.8 |
| T2 | 90 | 397 | 4.4 |
| T3 | 117 | 431 | 3.7 |
| T4 | 79 | 344 | 4.4 |
| T5 | 76 | 262 | 3.4 |
| T6 | 88 | 398 | 4.5 |
| T7 | 129 | 529 | 4.6 |
| T8 | | 60 | |
| Total | 687 | 3,052 | 4.4 |
| Amenity Pavilion (gsf) | | | 7,900 |
| Retail (gsf) | | | 59,590 |

| Unit Type | Allowed New Units w/ 30% bonus | w/15% increase | Provided New |
|-----------------|--------------------------------|----------------|--------------|
| Multi-family | 2,949 | 3,391 | 2,992 |
| TH's | 65 | 75 | 60 |
| Total | 3,014 | 3,466 | 3,052 |
| Units to remain | | | 115 |

| CDD Base density | Bonus Used | ADU Calc 1/3 of Bonus used |
|---------------------------------|------------|----------------------------|
| 2260 | 723 | 241 |
| 50 | 10 | 3 |
| Total ADU (1/3 of Bonus) | | 244 |

to be confirmed

| Garden District Replacement Unit Analysis | | | |
|---|-----------------|--------------|-------------------------|
| Phase | Units Displaced | Units New | Units Replacement Ratio |
| G1 | 129 | 368 | 2.8 |
| G2 | 85 | 417 | 4.9 |
| G3 | 84 | 181 | 2.8 |
| G4 | 86 | 299 | 3.5 |
| Total | 364 | 1,265 | 3.5 |
| Amenity Pavilion (gsf) | | | 0 |
| Retail (gsf) | | | 16,740 |

| Unit Type | Allowed New Units w/ 30% bonus | w/15% increase | Provided New |
|-----------------|--------------------------------|----------------|--------------|
| Multi-family | 946 | 1,088 | 1,084 |
| TH's | 260 | 299 | 181 |
| Total | 1,206 | 1,387 | 1,265 |
| Units to remain | | | 108 |

| CDD Base density | Bonus Used | ADU Calc 1/3 of Bonus used |
|---------------------------------|------------|----------------------------|
| 728 | 356 | 119 |
| 200 | N/A | N/A |
| Total ADU (1/3 of Bonus) | | 119 |

to be confirmed

| Greenway Replacement Unit Analysis | | | |
|------------------------------------|-----------------|--------------|-------------------------|
| Phase | Units Displaced | Units New | Units Replacement Ratio |
| W1 | 64 | 399 | 6.24 |
| W2 | 88 | 104 | 1.18 |
| W3 | 44 | 268 | 6.10 |
| W4 | 88 | 357 | 4.06 |
| W5 | 87 | 375 | 4.31 |
| W6a | 142 | 342 | 3.06 |
| W6b | | 93 | |
| Total | 513 | 1,938 | 3.78 |
| Amenity Pavilion (gsf) | | | 3,950 |
| Retail (gsf) | | | 8,954 |

| Unit Type | Allowed New Units CDD w/ 30% bonus | w/15% increase | Provided New |
|------------------|------------------------------------|----------------|--------------|
| Multi-family | 2,052 | 2,360 | 1,741 |
| TH's | 325 | 374 | 197 |
| Total New | 2,377 | 2,734 | 1,938 |
| Units to remain | | | 478 |

| CDD Base density | Bonus Used | ADU Calc 1/3 of Bonus used |
|---------------------------------|------------|----------------------------|
| 1,579 | 162 | 54 |
| 250 | N/A | N/A |
| Total ADU (1/3 of Bonus) | | 54 |

HIGH-RISE

ASTORIA CONDOS MCLEAN, VA

NO. OF UNITS AND PARKING RATIO: 130 Units @0.75 PS / unit
AREA : 10,000 SF of Amenity
2,700 SF Retail
TOTAL AREA : 275,000 GSF

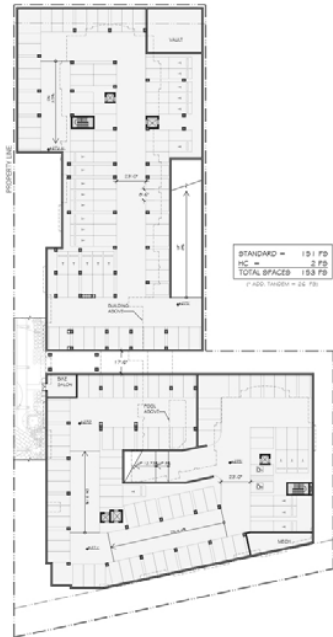
ROLE: Architectural Designer III, Manager

RESPONSIBILITIES :

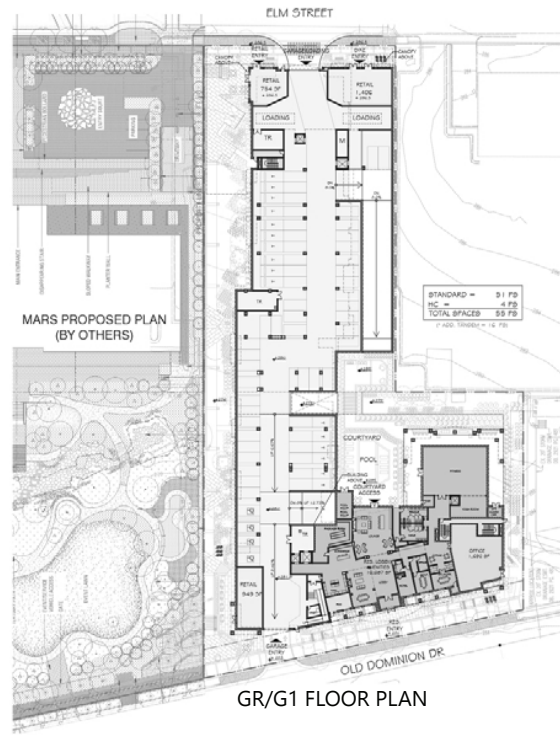
Assist in concept studies and approval efforts. Develop 3D models in Sketch-Up for initial concept studies, elevation designs, and site planning. Assist in developing unit layouts and contribute to Schematic Design. Lead the production of Schematic Design and Site plan Packages, Resolve regulatory comments via Comment and Response Matrix

BRIEF: The project demands an active street frontage on both sides facing the street while stepping the building down toward the north. A key design feature involves breaking the structure into distinct architectural elements to avoid a monolithic appearance. A unique challenge was the stormwater channel running East to West through the site, which required splitting the basement into two floor plates while maintaining connectivity at the garage level.





B1 FLOOR PLAN



GR/G1 FLOOR PLAN



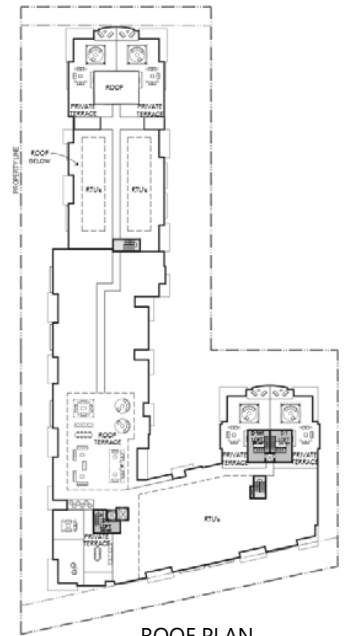
R1 FLOOR PLAN



R2-R5 FLOOR PLAN



R6 FLOOR PLAN



ROOF PLAN



BUILDING ELEVATION 1



BUILDING ELEVATION 2



BUILDING ELEVATION 3

