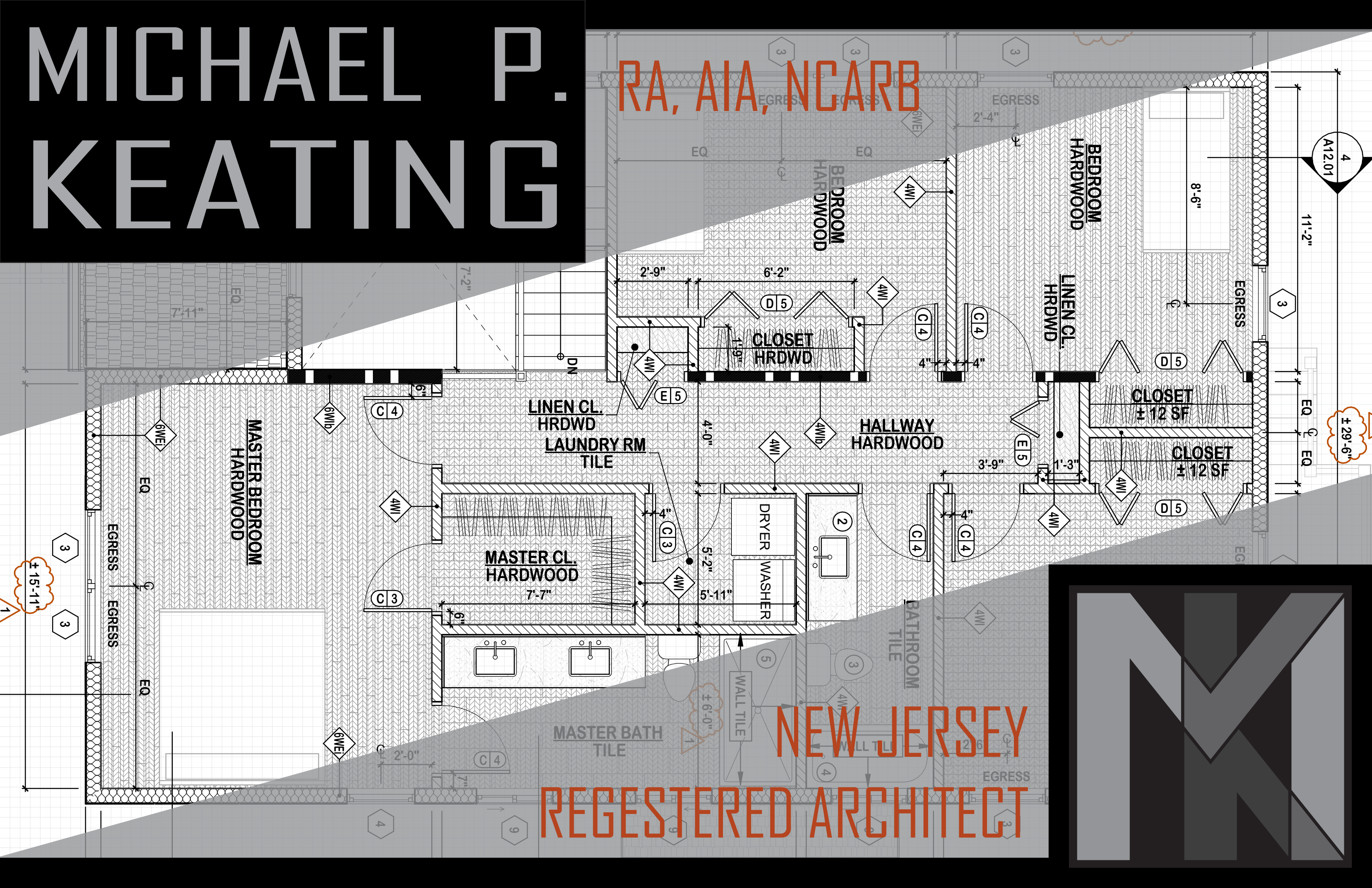


MICHAEL P.
KEATING

RA, AIA, NCARB



NEW JERSEY
REGISTERED ARCHITECT



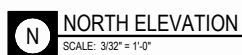
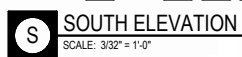


Straight Edge Striping
2024-2025

Architect on Record:
Roberto Martinez
Project Architect:
Michael Keating
Programs Used:
Revit

Scope of Work:
New building with Office Space, Vehicle Service Areas, & Warehouse Storage.
Responsibilities:
Drafting of 100% of drawing set to 95% completion before review. Coordination & review of other team member's drawings. Construction Administration services, including: Submittal Reviews, RFI Responses, Site Observations, Construction Drawing Revisions, Project Completion Punchlist.





NAME	MATERIAL	DESCRIPTION
ACM-1	ALUMINUM COMPOSITE METAL	TO MATCH SHERWIN WILLIAMS SW 7006 EXTRA WHITE
ACM-2	ALUMINUM COMPOSITE METAL	TO MATCH SHERWIN WILLIAMS SW 4030 NICKEL
ACM-3	ALUMINUM COMPOSITE METAL	TO MATCH SHERWIN WILLIAMS SW 4032 VACUUM BLACK
ACM-4	ALUMINUM COMPOSITE METAL	TO MATCH SHERWIN WILLIAMS SW 4084 SAFETY YELLOW
CW-1	CURTAIN WALL FRAMING	KAWNEER 1600 SYSTEM BUTT JOINED, BLACK
EXP-1	EXTERIOR PAINT	SHERWIN WILLIAMS SW 7006 EXTRA WHITE
SF-1	STOREFRONT FRAMING	KAWNEER TRIFAB 451 SYSTEM BUTT JOINED, BLACK

2024-2025 Straight Edge Striping



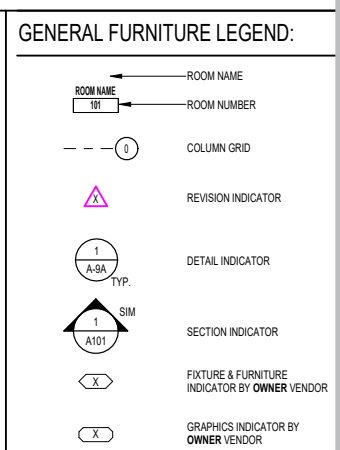


John Johnson Jeep
2023-2024

Architect on Record:
Roberto Martinez
Project Architect:
Michael Keating
Programs Used:
Revit

Scope of Work:
Renovation of exting showroom & addition of service area.
Responsibilities:
Drafting of 100% of drawing set to 95% completion before review. Coordination & review of other team member's drawings. Construction Adminis-
tration services, including: Submittal Reviews, RFI Responces, Site Observations, Construction Drawing Revisions, Project Completion Punchlist.





1. THIS DRAWINGS IS FOR REFERENCE ONLY.

2. FURNITURE SPECIFICATIONS AND LOCATIONS NOT FINAL.

F.03 MILLWORK PLANK ACCENT OVER TRAIL WALL TO UNDERSIDE CEILING.

TYPE NO.	DESCRIPTION
BY FIXTURE VENDOR	
F-1	RETAIL, EXPLORATION TABLE
F-2	RETAIL, PRODUCT VIGNETTE
F-3	RETAIL, MERCH STACKING TABLE
F-4	RETAIL, MERCH STACKING TABLE
F-5	RETAIL, TRAIL WALL
F-6	PLANTER BOX
F-7	NEW VEHICLE DELIVERY PLANTERS
MGR	SALES MANAGER DESK
MGR-2	SALES MANAGER DESK, 2 PERSON
MGR-3	SALES MANAGER DESK, 3 PERSON
MNTN	JEEP MOUNTAIN BY MSI
PLNT-2	BAMBOO / GLASS CASE BY PLANTERRA
PLNT-3	FAUX GRASS PLANTER BY PLANTERRA
RCPT-C	RECEPTION CREDENZA
RCPT-D	RECEPTION DESK
SW-1	SERVICE PODIUM, JEEP
TECH	TECH BAR, JEEP
WGNR	WAGONEER DISPLAY, BY MSI

BY FURNITURE VENDOR	
D-1	DESK U-SHAPED
D-2	DESK U-SHAPED
D-3	DESK EXECUTIVE
S-1	CHAIR, TASK
S-2	CHAIR, GUEST
S-3	CHAIR, LOUNGE, LEATHER
S-4	CHAIR, LOUNGE, APHOLSTERED
S-5	CHAIR, CAFE
S-6	STOOL, LOUNGE
ST-1	STORAGE, LATERAL FILE
ST-2	STORAGE, WARDROBE
T-1	TABLE, COFFEE
T-2	TABLE, CAFE, LOW
T-3	TABLE, CAFE, HIGH
WS-1	SALES DESK TERRACE

BEVL	BEVEL, ASIAN AMBER
CAFE	CAFE FIXTURE, CUSTOM
PLNT-2	BAMBOO SURROUND, CUSTOM

  **MEZZANINE FURNITURE/OUTLET PLAN**
SCALE: 3/32" = 1'-0"

2023-2024
John Johnson Jeep





Barrows Family Kitchen Addition
2024

Architect:
Michael Keating
Designer:
Michael Keating
Programs Used:
Revit

Scope of Work:
Conversion of Sunroom into Kitchen Addition
Responsibilities:
Survey & drafting of existing conditions. Design & build overall schematic design options for full house renovation. Drafting of 100% of Construction Documents to 100% completion. Communicating with Township for permit acceptance. Observation & Documentation of the Construction Process. All necessary construction administration as needed throughout construction.





Litterio Family House Flip
2022

Architect:
Michael Keating
Designer:
Michael Keating
Programs Used:
Revit

Scope of Work:
Whole House Renovations & 2nd Floor Addition
Responsibilities:
Survey & drafting of existing conditions. Design & build overall schematic design options for full house renovation. Drafting of 100% of Construction Documents to 100% completion. Communicating with Township for permit acceptance. Observation & Documentation of the Construction Process. All necessary construction administration as needed throughout construction.



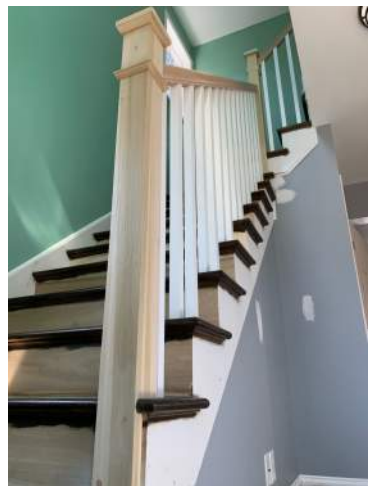




Keating Family Home Renovation
2020

Architect:
Michael Keating
Designer:
Michael Keating
Programs Used:
Revit

Scope of Work:
Whole House Renovations & 2nd Floor Addition
Responsibilities:
Survey & drafting of existing conditions. Design & build overall schematic design options for full house renovation. Drafting of 100% of Construction Documents to 100% completion. Communicating with Township for permit acceptance. Observation & Documentation of the Construction Process. All necessary construction administration as needed throughout construction.



KEATING FAMILY HOME RENOVATIONS

66 GAYWOOD AVENUE
COLONIA, NEW JERSEY 07067

FRONT ELEVATION
SCALE: 1/4" = 1'-0"

REAR ELEVATION
SCALE: 1/4" = 1'-0"

FIRST FLOOR
NTS

SECOND FLOOR
NTS

**MICHAEL R. KEATING
ARCHITECT**

66 GAYWOOD AVENUE
COLONIA, NJ 07067

MKEATING123@GMAIL.COM

Seal & Signature:
MICHAEL R. KEATING
ARCHITECT

Typical Graphics Legend:

Project Client:
HOME RENOVATIONS
FOR MICHAEL & KRISTINE

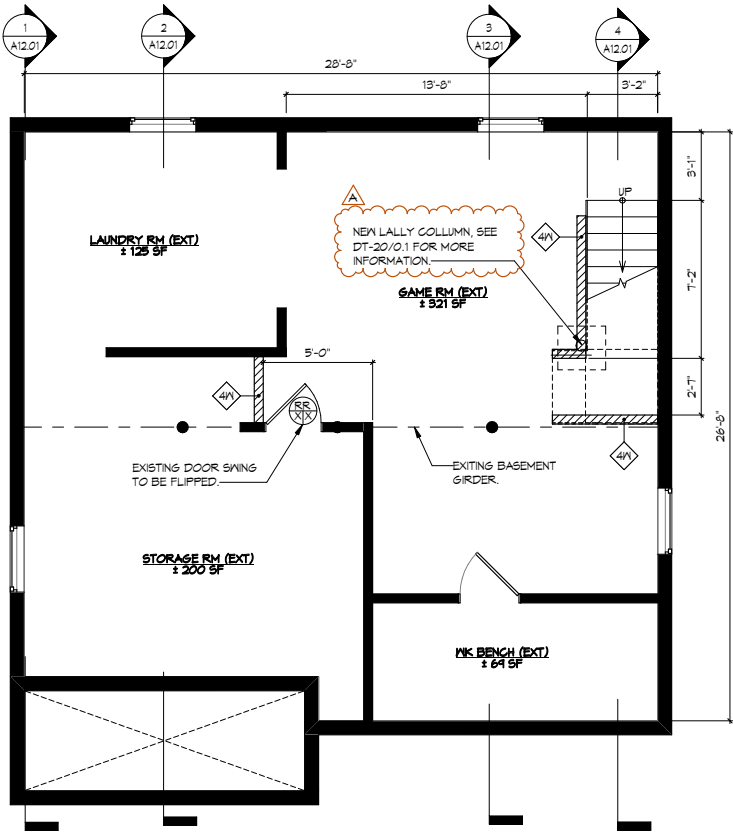
Project Location:
66 GAYWOOD AVE
COLONIA, NJ 07067
BLOCK: 491.01 LOT: 7

Drawing Issue:
AS-BUILT DRAWINGS
2021-04-06

Typical Drawing Legend:

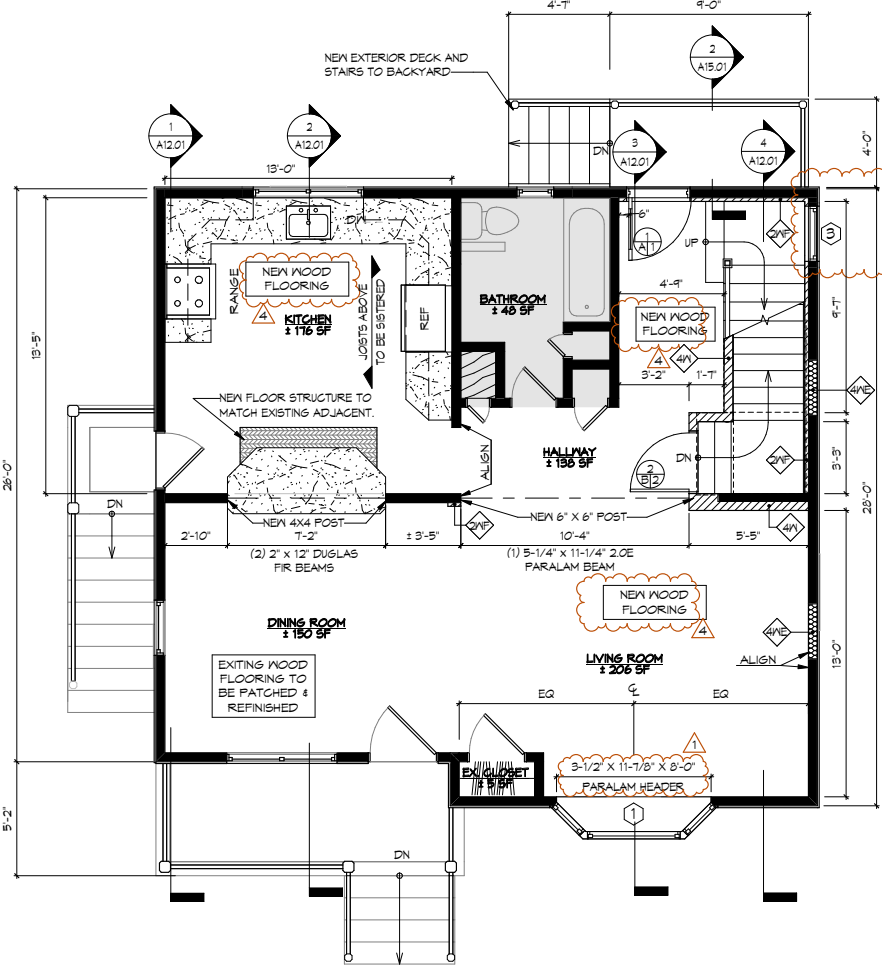
COVER SHEET

Drawn By: MK
Date: 04/06/2021
Title: A01.01
Scale: 1/4" = 1'-0"



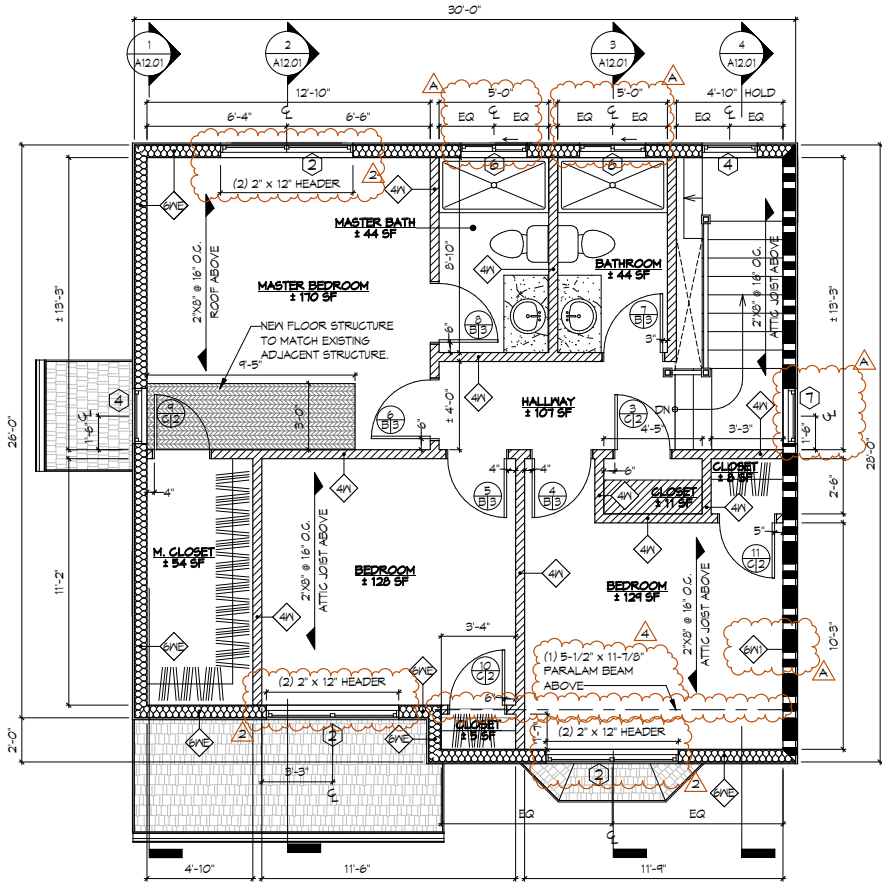
BASEMENT

SCALE: 1/4" = 1'-0"



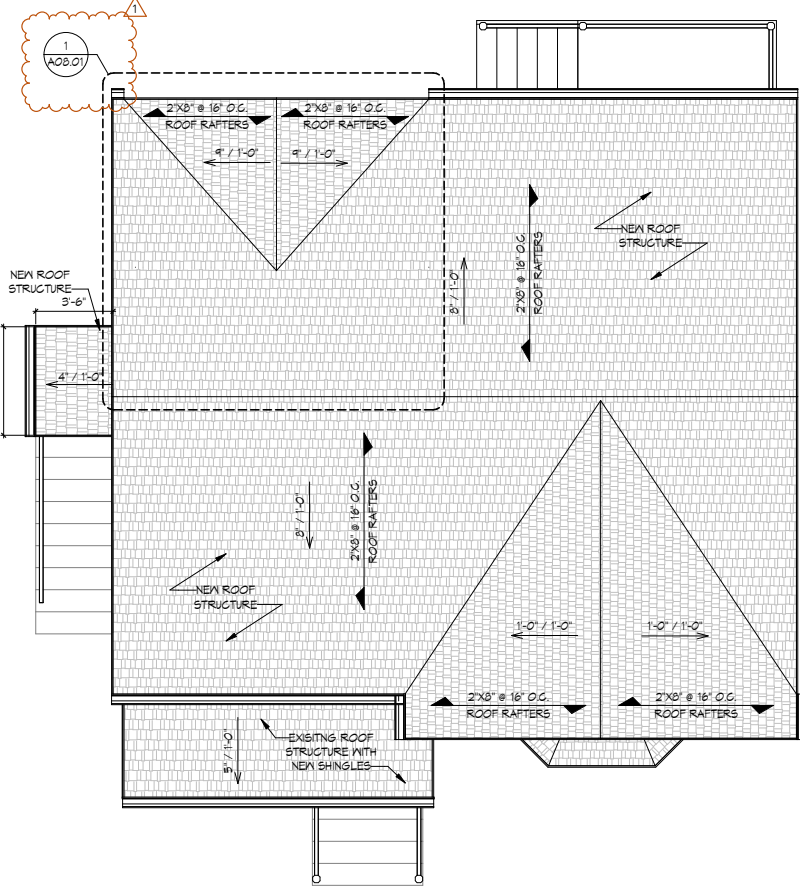
FIRST FLOOR

SCALE: 1/4" = 1'-0"



SECOND FLOOR

SCALE: 1/4" = 1'-0"



ROOF

SCALE: 1/4" = 1'-0"

WALL TYPES LEGEND

- 2A/F** INTERIOR 2" Furring to align IV 2"x6" WALLS
- CONSTRUCTION: TBD
- INSULATION: TBD
- INTERIOR FINISH: NONE
- EXTERIOR FINISH: 1 LAYER OF 1/2" GYP.
- 4A/F** INTERIOR 2" X 4" WOOD STUD WALL @ 16" OC
- CONSTRUCTION: DB. TOP PL., SGL. BOT. PL.
- INSULATION: NONE
- INTERIOR: (1) LAYER OF 1/2" GYP. WALL BOARD
- EXTERIOR: (1) LAYER OF 1/2" GYP. WALL BOARD
- 4A/E** EXTERIOR 2" X 4" WOOD STUD WALL AT 16" OC
- CONSTRUCTION: DB. TOP PL., SGL. BOT. PL.,
- INSULATION: 3 1/2" FG BATTs, R-19
- INTERIOR: (1) LAYER OF 1/2" GYP. WALL BOARD
- EXTERIOR FINISH: TYVEG BUILDING WRAP ON 1/2" PLYWOOD SHEATHING, EXT. GLUE 32/16, WITH VINYL SIDING
- 6A/F** EXTERIOR 2" X 6" WOOD STUD WALL AT 16" OC
- 1HR RATED
- CONSTRUCTION: DB. TOP PL., SGL. BOT. PL., &
- INSULATION: 5 1/2" FG BATTs, R-19
- INTERIOR FINISH: (1) LAYER OF 5/8" GYP.
- EXTERIOR FINISH: TYVEG BUILDING WRAP ON 5/8" PLYWOOD SHEATHING, EXT. GLUE 32/16, WITH VINYL SIDING
- 6A/E** EXTERIOR 2" X 6" WOOD STUD WALL AT 16" OC
- CONSTRUCTION: DB. TOP PL., SGL. BOT. PL.,
- INSULATION: 5 1/2" FG BATTs, R-19
- INTERIOR FINISH: (1) LAYER OF 1/2" GYP.
- EXTERIOR FINISH: TYVEG BUILDING WRAP ON 1/2" PLYWOOD SHEATHING, EXT. GLUE 32/16, WITH VINYL SIDING

WINDOW LEGEND

- 1** 45 DEG. BAY WINDOW
- SIZE: 1'-0" W X 5'-0" H X 1'-6" D
- SILL HEIGHT: 2'-0" AFF
- GLAZING: CLEAR
- 2** (2) DOUBLE HUNG WINDOWS
- SIZE: (2) 30" W X 60" H
- SILL HEIGHT: 2'-0" AFF
- GLAZING: CLEAR
- 3** (1) DOUBLE HUNG WINDOW
- SIZE: 2'-6" W X 3'-0" H
- SILL HEIGHT: 4'-0" AFF
- GLAZING: TEMPERED
- 4** (1) DOUBLE HUNG WINDOW
- SIZE: 2'-6" W X 3'-0" H
- SILL HEIGHT: 3'-0" AFF
- GLAZING: CLEAR
- 6** (1) DOUBLE SLIDING WINDOWS
- 3'-0" W X 2'-0" H
- SILL HEIGHT: 5'-0"
- GLAZING: TEMPERED
- 7** (1) DOUBLE HUNG WINDOW
- SIZE: 2'-6" W X 3'-0" H
- SILL HEIGHT: 3'-0" AFF
- GLAZING: TEMPERED

DOOR TYPES LEGEND

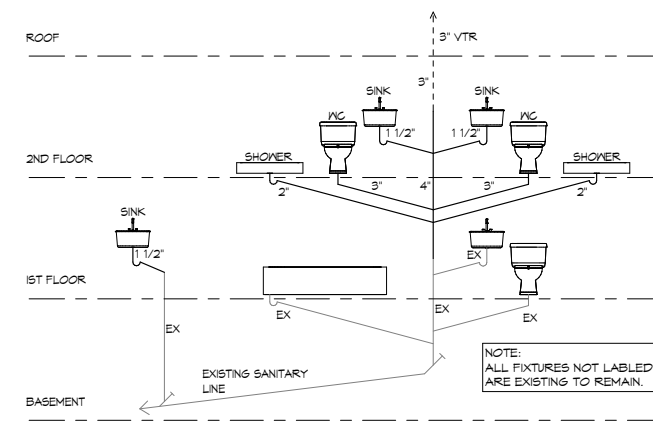
- A** EXTERIOR DOOR WITH FULL GLASS INLAY
- NON-FIRE RATED
- SIZE: (1) 2'-0" W X 6'-8" H X 1.75" THICK
- CORE: SOLID
- FINISH: PAINT GRADE
- FRAME: WOOD
- GLAZING: 1/4" TEMPERED, CLEAR
- B** INTERIOR STANDARD DOOR
- NON-FIRE RATED
- SIZE: 2'-0" W X 6'-8" H X 1.75" THICK
- CORE: SOLID
- FINISH: PAINT GRADE
- FRAME: WOOD
- C** INTERIOR STANDARD DOOR
- NON-FIRE RATED
- SIZE: 2'-0" W X 6'-8" H X 1.75" THICK
- CORE: SOLID
- FINISH: PAINT GRADE
- FRAME: WOOD

PLUMBING LEGEND

- DOMESTIC WATER CLOSET
- NEW DISHWASHER
- NEW KITCHEN SINK
- NEW SHOWER
- NEW VANITY SINK

HARDWARE SETS

- 1** EXTERIOR GRADE LATCH:
- TYPE: BUILDING ENTRY
- LOCKSET: LOCKABLE WITH DEADBOLT
- FINISH: TBD
- 2** INTERIOR GRADE KNOB:
- TYPE: HALL/CLOSET
- LOCK: NONE
- FINISH: TBD
- 3** INTERIOR GRADE KNOB:
- TYPE: BEDROOM/BATHROOM
- LOCK: LOCKABLE
- FINISH: TBD



PLUMBING RISER DIAGRAM

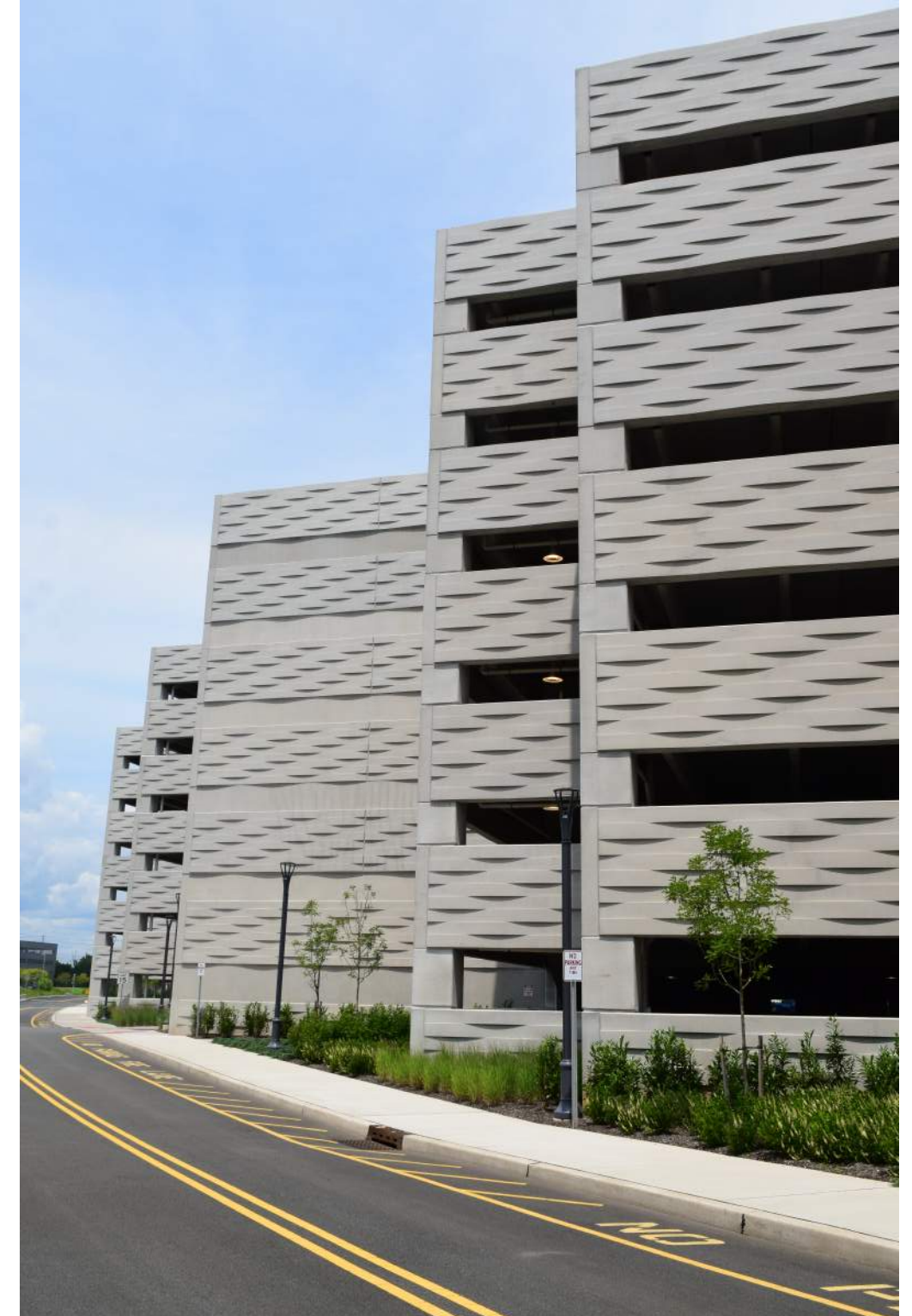
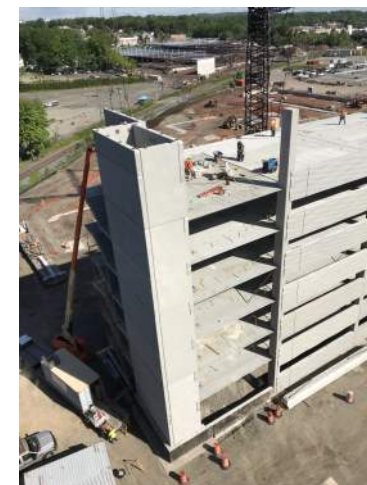
N.T.S.



On3: 100-200 Parking Garage
2018-2020

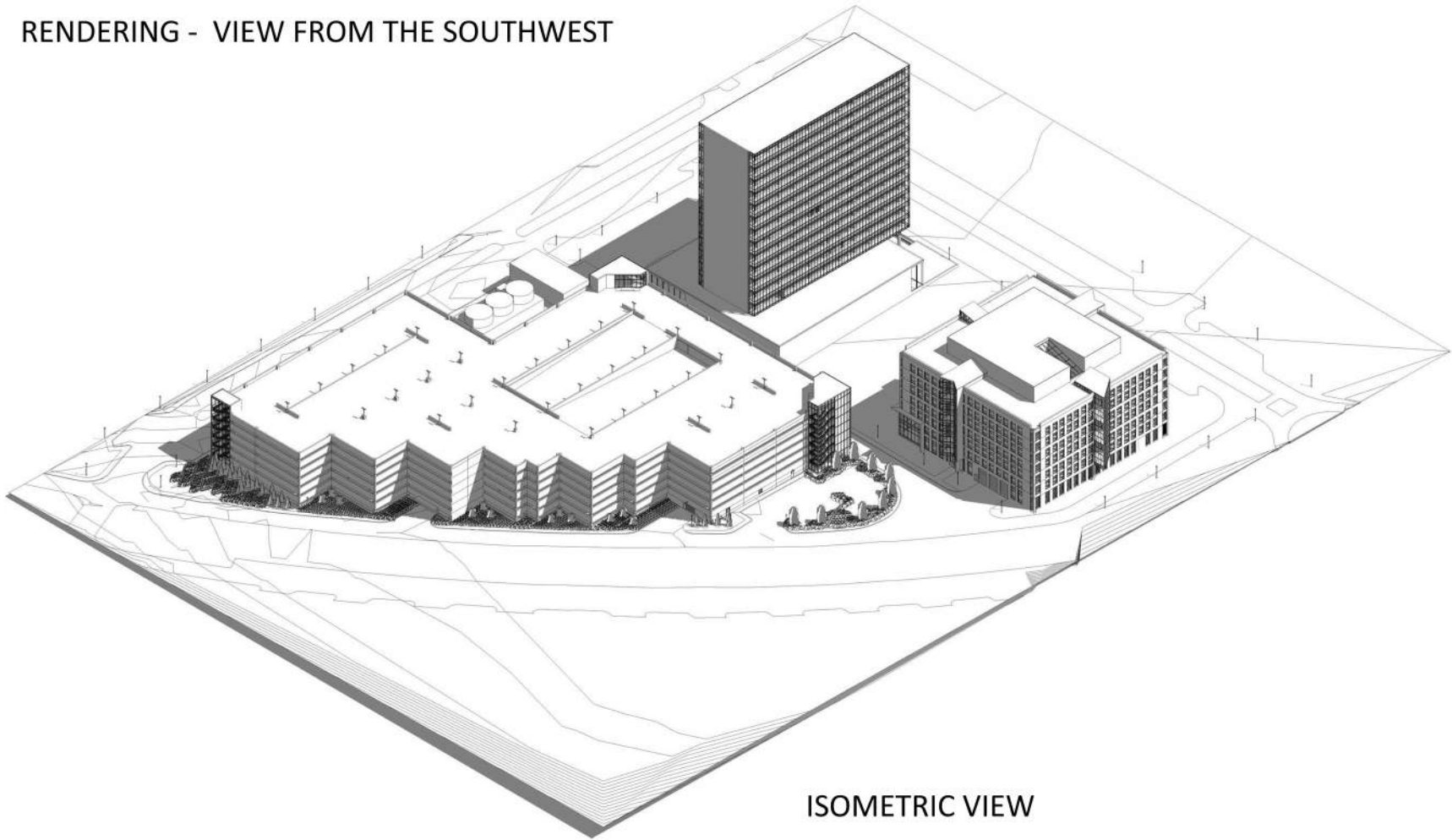
Architect:
Charles Logan
Designer:
Susan Baumann
Programs Used:
AutoCAD Architecture/Revit

Scope of Work:
New precast parking garage for building 100 & 200 at new On3 Campus
Responsibilities:
Design & build overall schematic design options for overall footprint & layout. Design of precast panel visual pattern. Drafting of 100% of Planning Board Sets & Renderings. Drafting of 100% of drawing set to 95% completion before review. Coordination & review of consultant's drawings. Filing, organizing, review and issuing of construction administration documents.





RENDERING - VIEW FROM THE SOUTHWEST



ISOMETRIC VIEW



GROUND FLOOR PLAN

2018-2020
On3: 100-200 Parking Garage

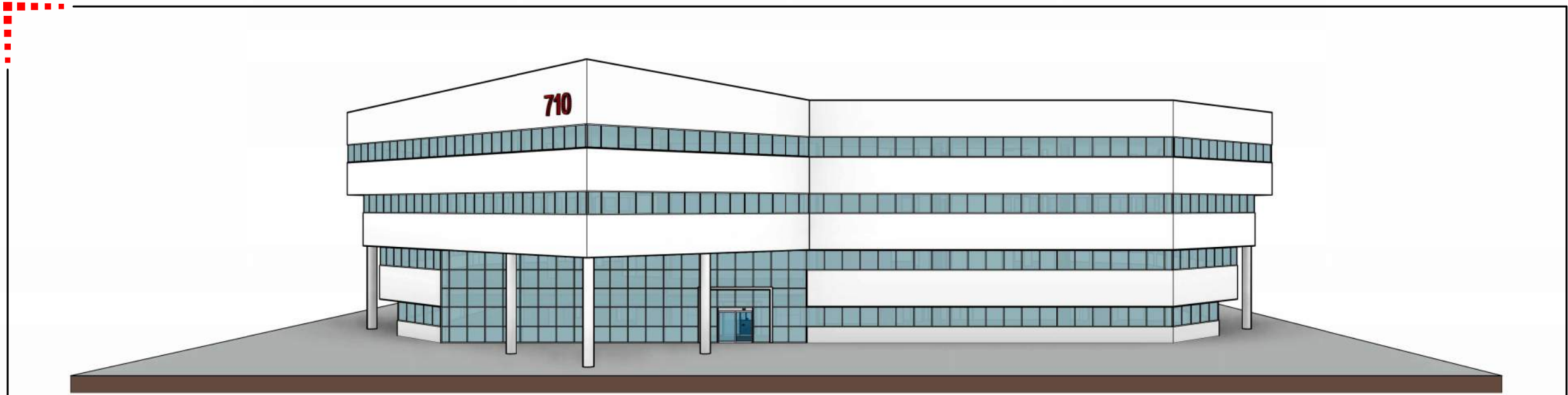




710 Rt. 46 Exterior & Atrium
2022

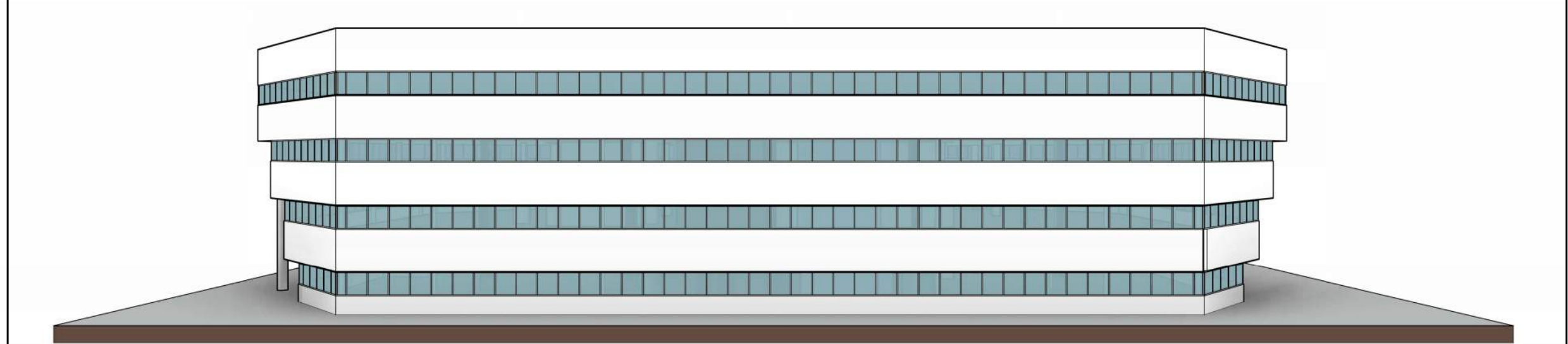
Architect:
Susan Baumann
Designer:
Michael Keating
Programs Used:
Revit

Scope of Work:
Updated Facade and New Interior Lobby
Responsibilities:
Design & build overall schematic design options for Building Exterior & Atrium



3D FRONT ELEVATION

N.T.S.



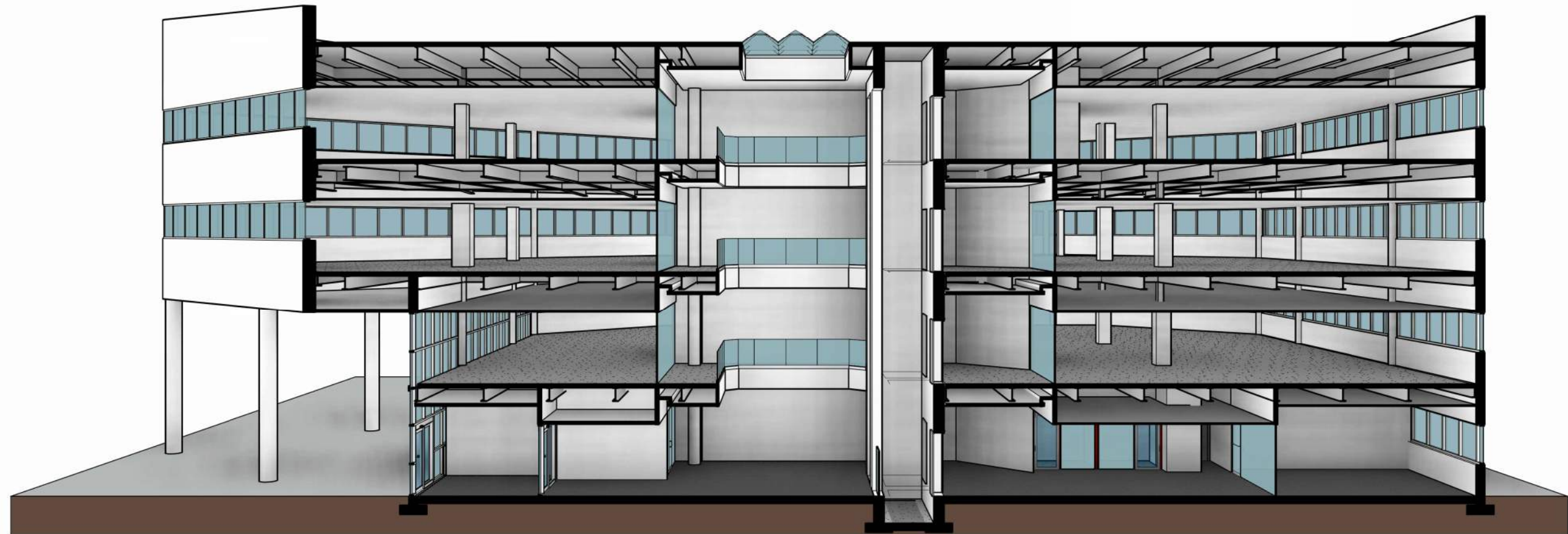
3D REAR ELEVATION

N.T.S.

SHEET: 1.1
PROJECT #: 29490
ISSUE DATE: 02/15/22

COMMON AREA RENOVATIONS
710 ROUTE 46
FAIRFIELD, NEW JERSEY





3D SECTION 2

N.T.S.

SHEET: 4.1
PROJECT #: 29490
ISSUE DATE: 02/15/22

COMMON AREA RENOVATIONS
710 ROUTE 46
FAIRFIELD, NEW JERSEY

AZTEC

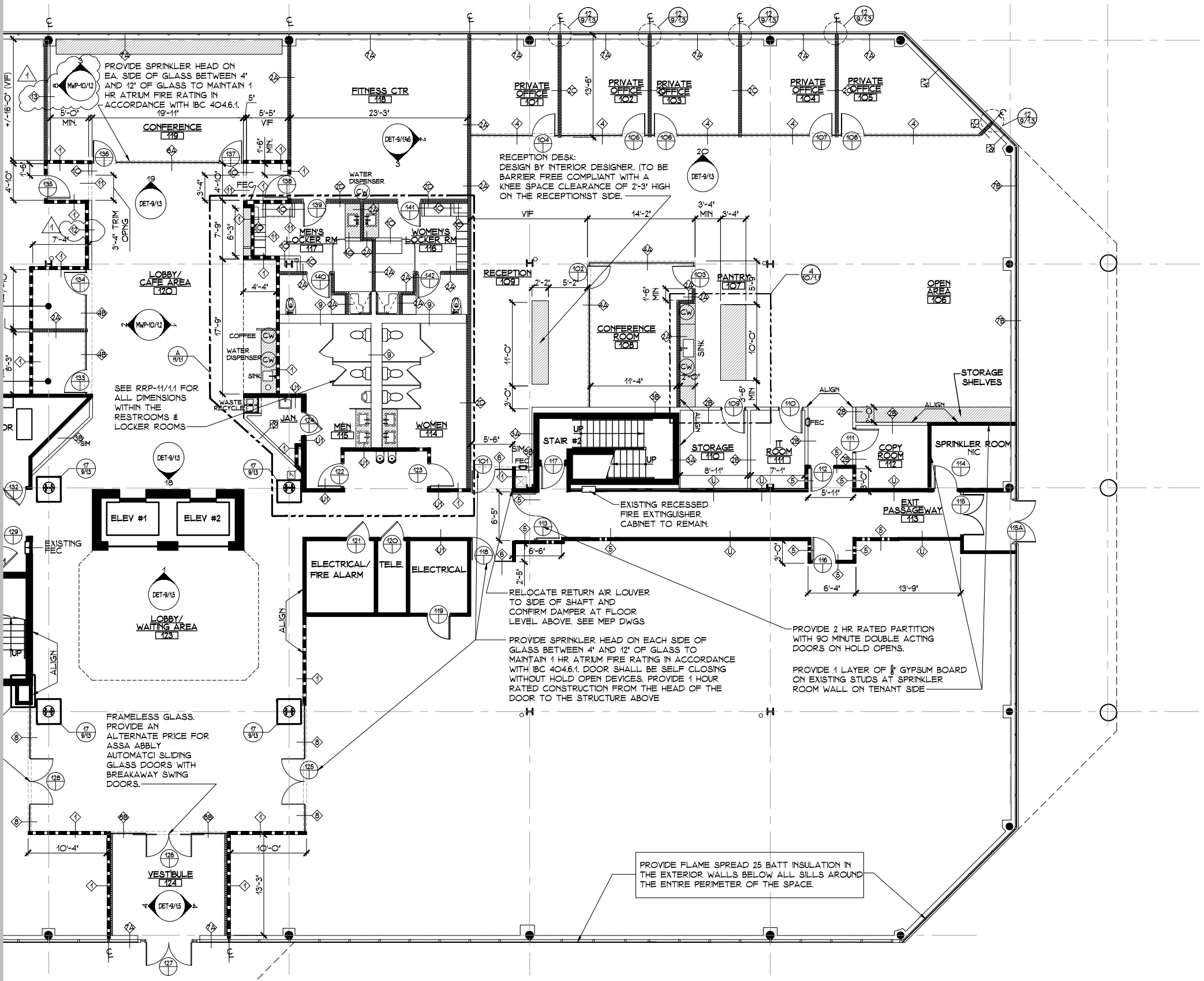
2022
710 Rt. 46 Exterior & Atrium



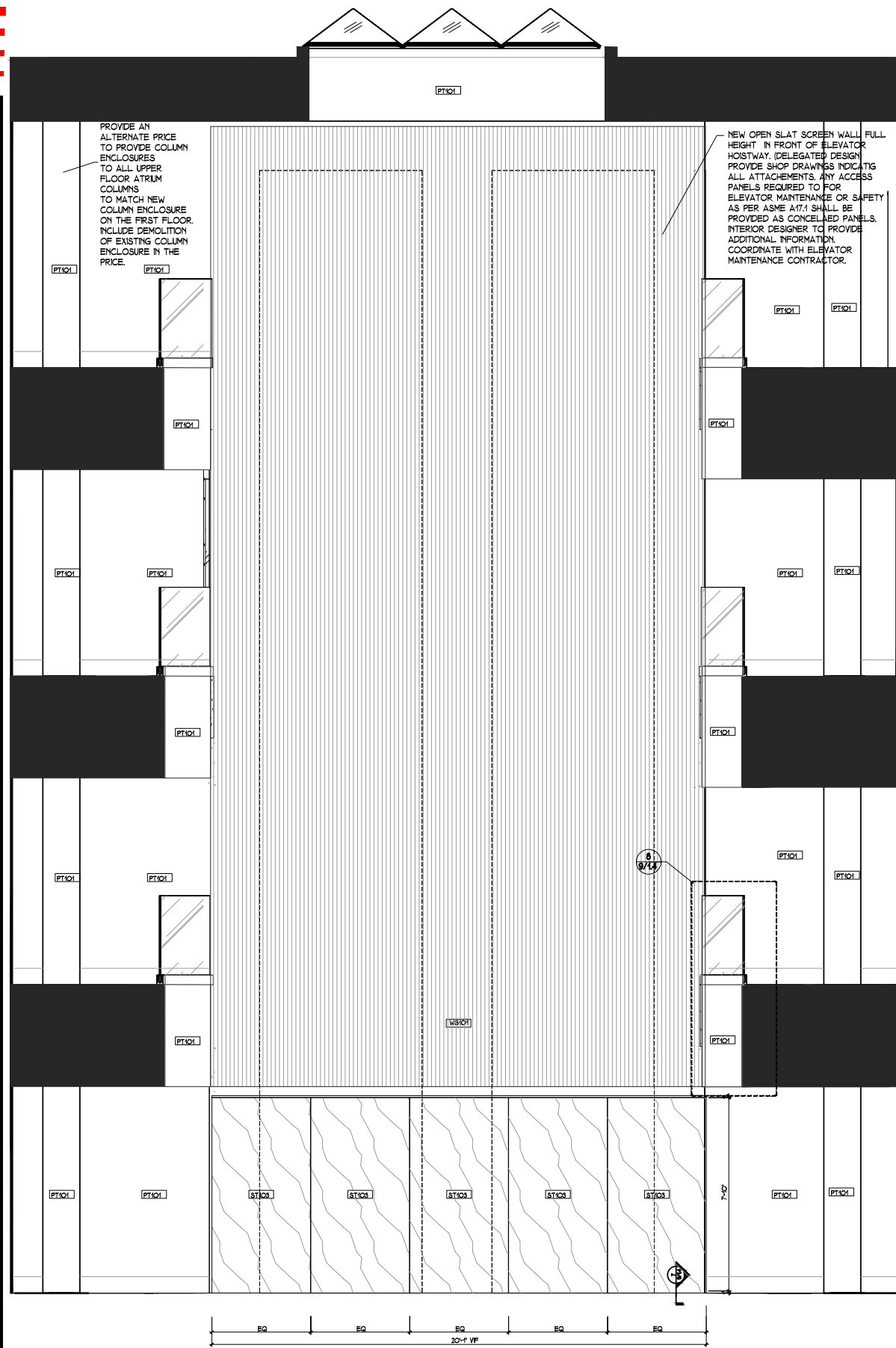


Architect:
Susan Baumann
Designer:
Michael Keating
Programs Used:
AutoCAD Architecture

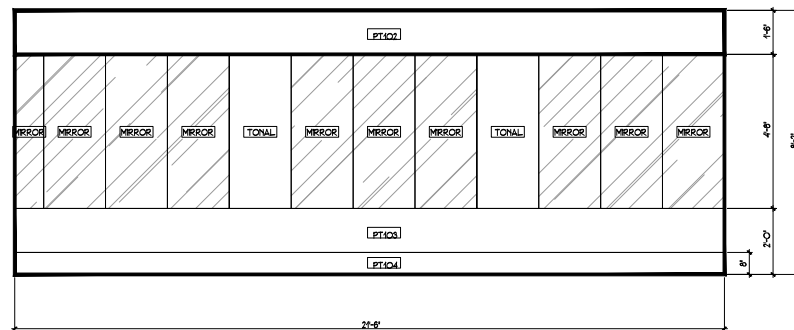
Scope of Work:
New Tenant & Improve 1st Floor Common Areas
Responsibilities:
Design & build overall schematic design options for Building Exterior & Atrium



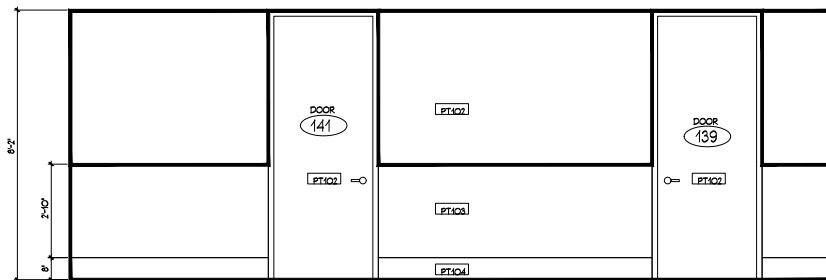
- EXISTING PARTITION TO REMAIN.
- ONE HOUR FIRE RATED PARTITION: 3-5/8" STEEL STUDS AT 16" O.C. FROM SLAB TO UNDERSIDE OF DECK WITH 1 LAYER OF 5/8" GYPSUM FIRE CODE TYPE X WALL BOARD FULL HEIGHT ON EACH SIDE, UL #465, PROVIDE FIRE DAMPERS AT DUCT AND RETURN AIR OPENINGS IN PARTITION WHERE REQUIRED BY CODE, APPLY SEALANT AT INTERSECTION OF FLOOR AND DECK, BOTH SIDES AND AT ALL PENETRATIONS, PACK FLUTES OF METAL DECK WITH THERMA FIBER INSULATION. SEE DETAIL #01, DWG. DET-9/11
- FULL HT ACOUSTICAL PARTITION: 3-5/8" STEEL STUDS AT 16" O.C. FROM SLAB TO UNDERSIDE OF DECK WITH 1 LAYER OF 5/8" GYPSUM WALLBOARD FULL HT ON EACH SIDE AND 3-1/2" FIBERGLASS SOUND ATTENUATION BLANKET FULL HEIGHT OF GYPSUM WALL BOARD, APPLY SEALANT AT INTERSECTION OF FLOOR AND DECK, BOTH SIDES. SEE DETAIL #2A, DWG. DET-9/11
- SAME AS TYPE 2A, EXCEPT WITHOUT ANY INSULATION. SEE DETAIL #2B, DWG. DET-9/11
- ACOUSTICAL PARTITION: 3-5/8" 20 GA. STEEL STUDS AT 16" O.C. FROM SLAB TO UNDERSIDE OF FINISHED HUNG CEILING, WITH 1 LAYER OF 5/8" GYPSUM WALL BOARD ON EACH SIDE, (PROVIDE TEAR AWAY SPACKLE BEAD AT TOP OF PARTITION) WITH 3-1/2" FIBERGLASS SOUND ATTENUATION BLANKET FULL HT. OF GYPSUM WALL BOARD AND 3-1/2" THICK X 6'-0" LONG FIBERGLASS SOUND ATTENUATION BLANKET CENTERED, RUNNING PERPENDICULAR TO, AND OVER THE FULL LENGTH OF PARTITION -PLACED WITHIN THE HUNG CEILING. BRACE TO STRUCTURE AT 6 FT O.C. SEE DETAIL #2C, DWG. DET-9/11
- SAME AS TYPE 2A, EXCEPT WITH 6" METAL STUDS. SEE DETAIL #2B, DWG. DET-9/11
- FURRING: 7/8" STEEL FURRING CHANNELS AT 16" O.C. FROM SLAB TO UNDERSIDE OF DECK WITH 1 LAYER OF 5/8" GYPSUM WALLBOARD FULL HT ON ONE SIDE. SEE DETAIL #3A, DWG. DET-9/11
- SIMILAR TO TYPE 3A EXCEPT WITH 2-1/2" METAL STUDS IN LIEU OF FURRING CHANNELS, SEE DETAIL 3B ON DET-9/11
- 1/2" FRAMELESS GLASS TO 8'-2" AFF WITH GYPSUM BOARD FACIA ABOVE, SEE DETAIL 4 ON DET-9/11 (GLASS IS DESIGNATED 'GLO' ON DETAILS ON DET-9/12)
- SIMILAR TO TYPE 4 EXCEPT WITH SWITCHABLE PRIVACY GLASS, PROVIDE POWER AS REQD. SEE DETAIL 4 ON DET-9/11. (GOLD RAY QUICK FROST 2022 OR EQUAL) (DEDUCT ALTERNATE: PROVIDE 1/2" TEMPERED, FRAMELESS, FROSTED GLASS IN LIEU OF PRIVACY GLASS)
- 1/2" FRAMELESS TEMPERED GLASS TO 8'-2" (FULL HEIGHT) AFF WITH GYPSUM BOARD CEILING ABOVE. PROVIDE AN ALTERNATE PRICE TO APPLY 9WOOD SLATS TO GLASS AND DOORS AS PER INTERIOR DESIGNER DIRECTION. (ADJUST PARTITION HEIGHT IF CLG HEIGHT IS HIGHER THAN 8'-2". SEE COMMENTS ON CEILING PLAN)
- TWO HOUR FIRE RATED PARTITION OF 3-5/8" STEEL STUDS AT 16" O.C. FROM SLAB TO UNDERSIDE OF DECK WITH 2 LAYERS OF 5/8" FIRE CODE TYPE X GYPSUM WALL BOARD FULL HEIGHT ON EACH SIDE, UL#411, PROVIDE DAMPERS AT DUCT AND RETURN AIR OPENINGS, WHERE REQUIRED IN PARTITION, APPLY SEALANT AT INTERSECTION OF FLOOR AND DECK, BOTH SIDES AND AT ALL PENETRATIONS, PACK FLUTES OF METAL DECK WITH THERMA FIBER INSULATION. SEE DETAIL #5, DWG. DET-9/11
- FRAMELESS GLASS WALL IN 1 HOUR FIRE RATED GLASS WALL WITH SPRINKLER HEAD ON EITHER SIDE. SEE DETAIL #6 ON DET-9/11
- EXTERIOR WALL FURRING AT OFFICES. SEE DETAIL #7A ON DET-9/12
- EXTERIOR WALL FURRING AT OPEN AREA SEE DETAIL #7B ON DET-9/12
- FRAMELESS GLASS WALL IN 1 HOUR FIRE RATED GLASS WALL WITH SPRINKLER HEAD IN CEILING ON BOTH SIDES. SEE DETAIL #8 ON DET-9/12
- INSTALL AS PER ICC EVAL REPORT-ESR-2397
- SAME AS 8, EXCEPT WITH SWITCHABLE PRIVACY GLASS. SEE DETAIL #8A ON DET-9/12 AND DETAIL 1 ON DET-9/14 (DEDUCT ALTERNATE: PROVIDE 1/2" TEMPERED, FRAMELESS, FROSTED GLASS IN LIEU OF PRIVACY GLASS)
- FRAMELESS GLASS WALL PARTITION WITH WOOD SLAT



1 ATRIUM SECTION: ELEVATOR MARBLE FEATURE WALL & OPENING SCREEN WALL
SCALE: 1/2"=1'-0"



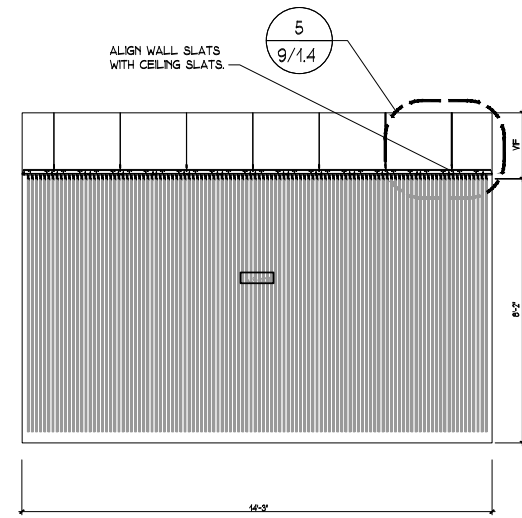
2 ELEVATION: FITNESS CENTER MIRROR WALL
SCALE: 1/2"=1'-0"



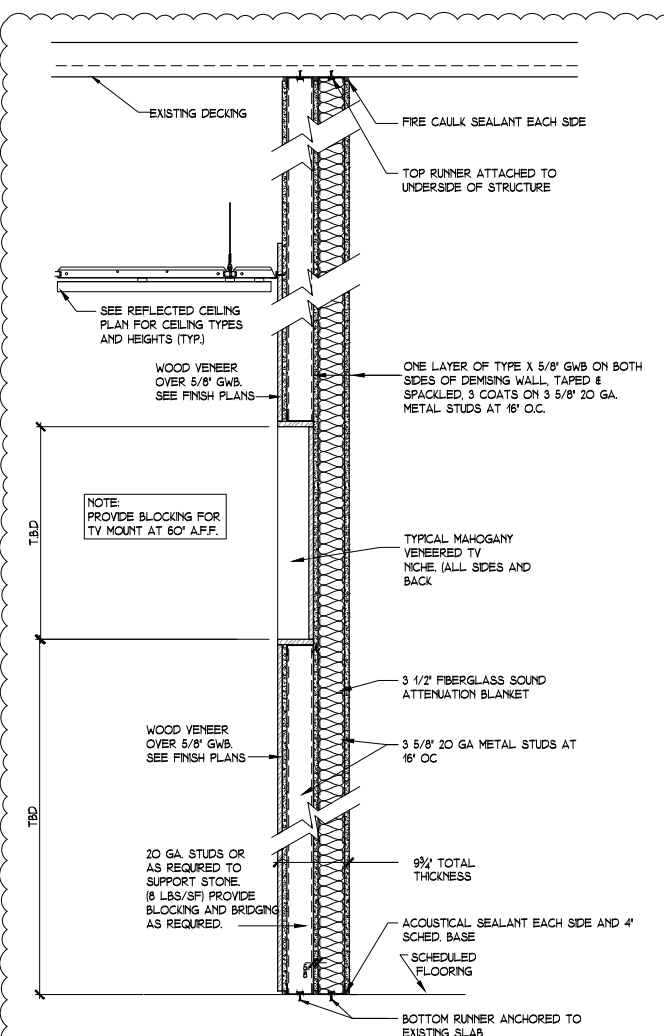
3 ELEVATION: FITNESS CENTER DRESSING ENTRY
SCALE: 1/2"=1'-0"

FINISHES: SEE INTERIOR DESIGN DRAWINGS FOR MORE INFORMATION:
PT101 TBD
PT102 TBD
PT103 TBD
PT104 TBD
WSC1 MARBLE VENEER: TBD
NEW 5/8" WOOD OPEN SLAT SYSTEM WITH FIRE RETARDANT TREATMENT FOR CLASS A FINISH DESIGNATION. CONFIRM FINAL WOOD SPECIES FINISH AND CONFIGURATION WITH THE INTERIOR DESIGNER.

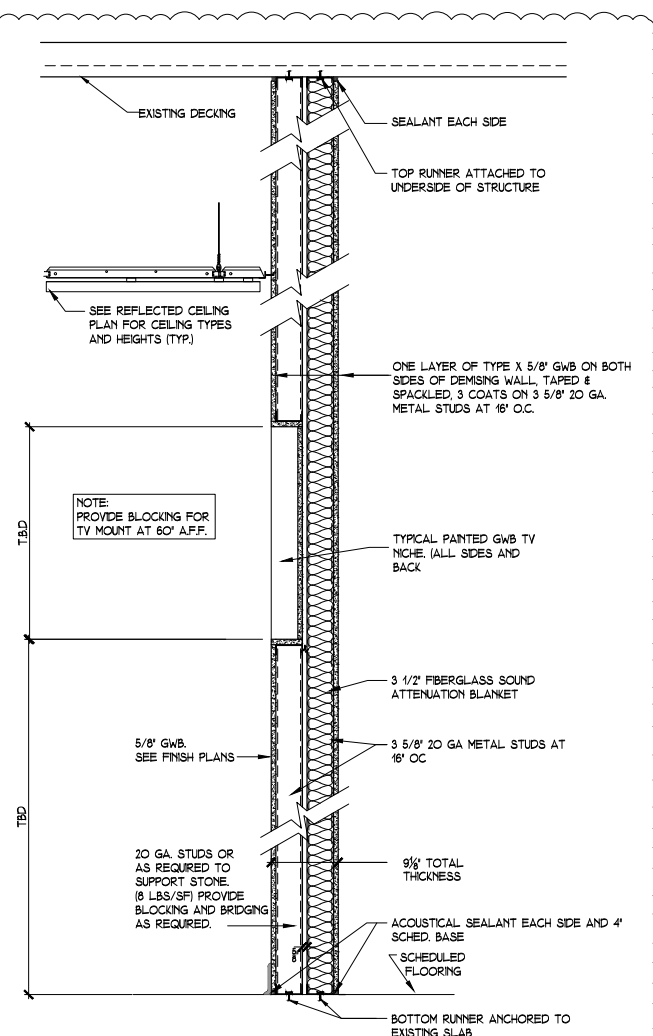
NOTE: ALL 5/8" WOOD SLAT SYSTEMS BOTH WALL, HUNG AND CEILING SUSPENDED IS DELEGATED DESIGN. WOOD SLAT PROVIDER SHALL VISIT THE PREMISES AND PROVIDE SHOP DRAWINGS INDICATING ALL CONNECTIONS AND ATTACHMENTS.



4 ELEVATION: VESTIBULE WALLS
SCALE: 1/2"=1'-0"



5 SINGLE SIDED TV SCREEN FEATURE WALL
SCALE: 1/4"=1'-0"



6 SINGLE SIDED TV SCREEN FEATURE WALL
SCALE: 1/4"=1'-0"

THE IN A COM DESIGN SUB-C LABOR CAPABLE IS OR TO THE P SHALL C.F.A SHALL DEFINIT REPORT

Typi FOR RE INTERIOR

KS-1/1
RL-2/2
PL-3/3
PL-4/4
PL-5/5
PL-6/6
ETD-7/7
FNF-8/8
RFP-9/9
RFP-10/10
RFP-11/11
RFP-12/12
RFP-13/13
RFP-14/14
RFP-15/15
RFP-16/16
RFP-17/17
RFP-18/18
RFP-19/19
RFP-20/20
RFP-21/21
RFP-22/22
RFP-23/23
RFP-24/24

D Secti

Seal

CHAR N.J. N.Y. PA. I

KURT N.J. N.Y. CT. I PA. I NCAR CA #

Arch

Proj

Built

Tenc

Draw

No

Infr 8-22-

Job 2949C

Draw MK

Dwg

Dwg 9-DET

THIS D PATENT ORIGIN DRAWING FOR ANY OF ACT

2022
710 Rt. 46 Atrium Ameniteis & Suite



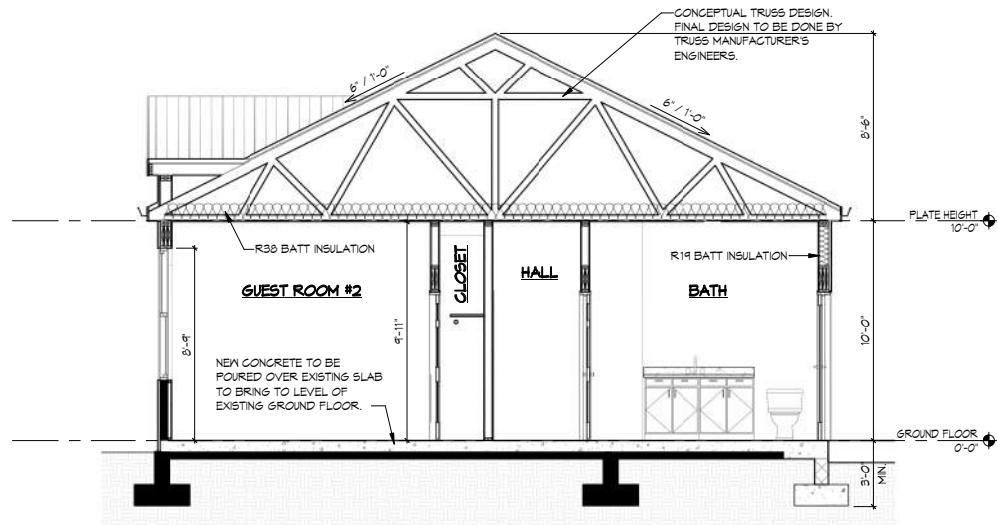


Steven Lowey House Renovation
2021

Architect:
Charles Logan
Designer:
Michael Keating
Programs Used:
Revit

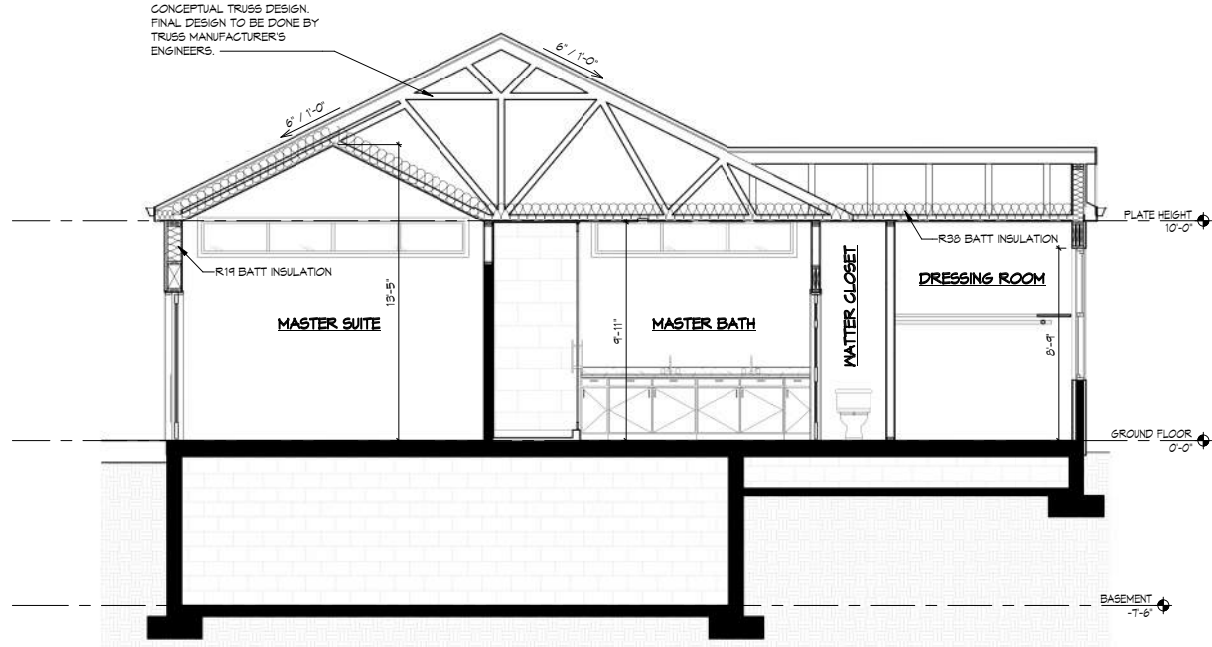
Scope of Work:
Whole House Renovations
Responsibilities:
Survey & drafting of existing conditions. Design & build overall schematic design options for full house renovation. Drafting of 100% of drawing set to 95% completion before review.





1 GUEST BED/BATH CROSS SECTION

SCALE: 1/4" = 1'-0"

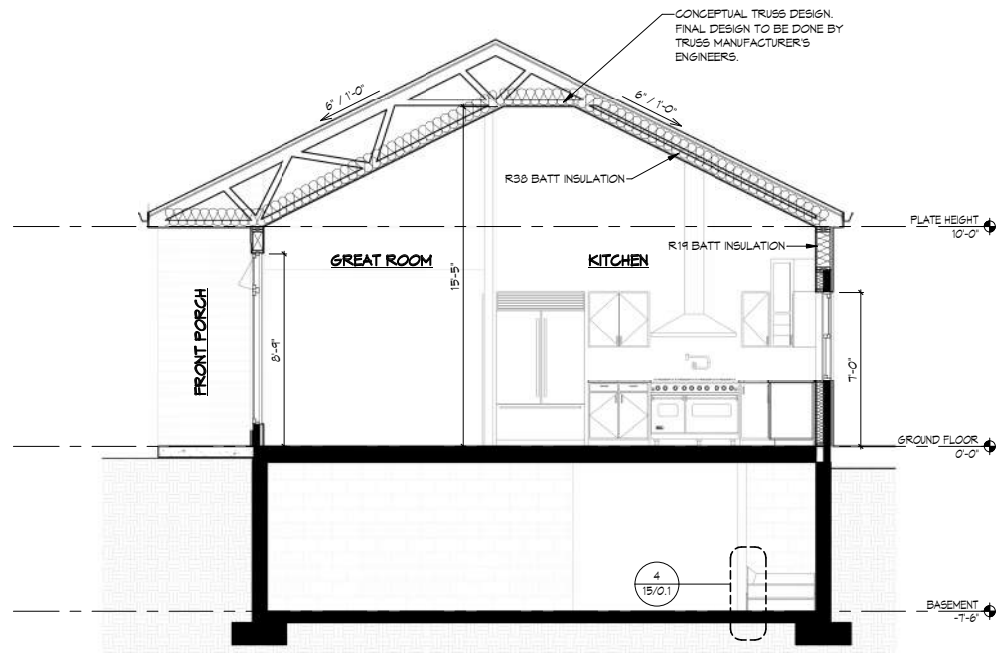


3 MASTER SUITE CROSS SECTION

SCALE: 1/4" = 1'-0"

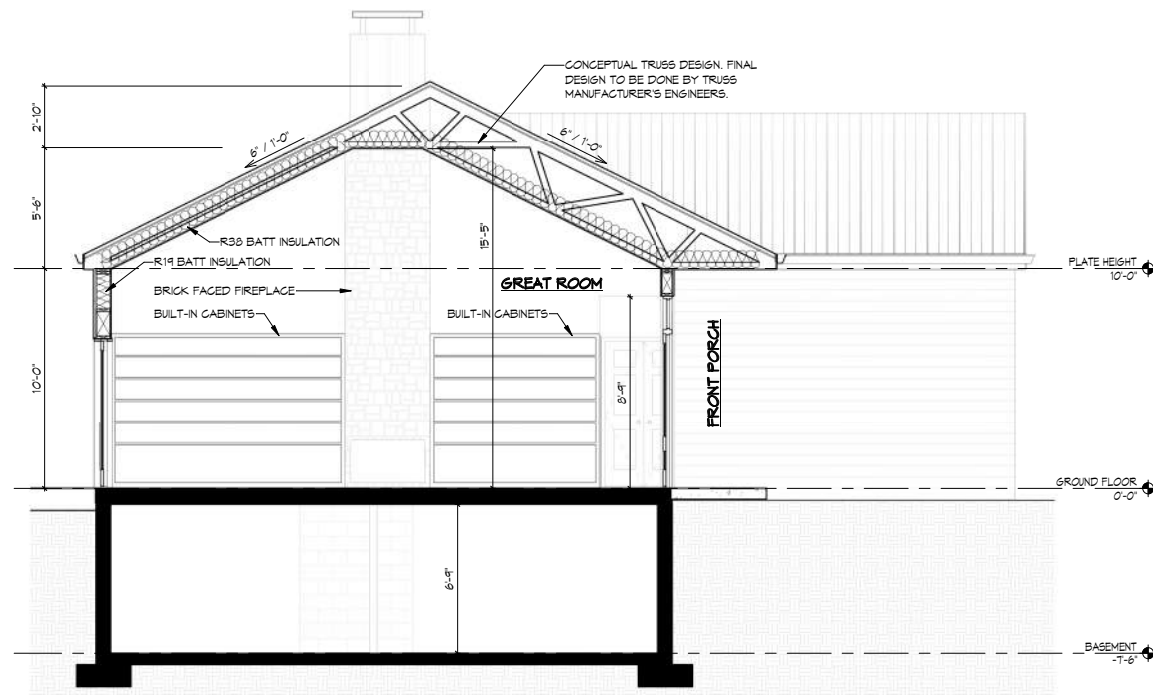
NOTES:

- SEE DETAIL #1, A3/0.1 FOR TYPICAL WALL SECTION.
- SEE DETAIL #1, A12/0.1 FOR TYPICAL ROOF FRAMING SECTION.



2 KITCHEN & DINING ROOM CROSS SECTION

SCALE: 1/4" = 1'-0"



4 GREAT ROOM CROSS SECTION

SCALE: 1/4" = 1'-0"

THE INTENT OF THIS SET OF DRAWINGS IS TO PROVIDE A GENERAL CONTRACTOR (CONTRACTOR) WITH THE INFORMATION NECESSARY TO CONSTRUCT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON.

Seal & Sign

CHARLES OTIS LO
N.J. REGISTRATION
N.Y. REGISTRATION
PA. REGISTRATION
KURT M. KALAFSI
N.J. REGISTRATION
N.Y. REGISTRATION
C.T. REGISTRATION
PA. REGISTRATION
NCARB CERTIFICATION
CA #21AC0005

Architects:



Project Title

310
FAIR
BL

Building Owner

L

Tenant/Occupant

HOL

Drawing Title

BU

IS

2

No.

Initial Dwg

OCTOBER 8, 20

Job No.:

30095

Drawn By:

MPK

Dwg No.:

S

Dwg File:

S:\ACADWORK\Steven Lowey House\30095.dwg

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2021 Steven Lowey House Renovation





On3: Pedestrian Bridge 2018-

Architect:
Charles Logan

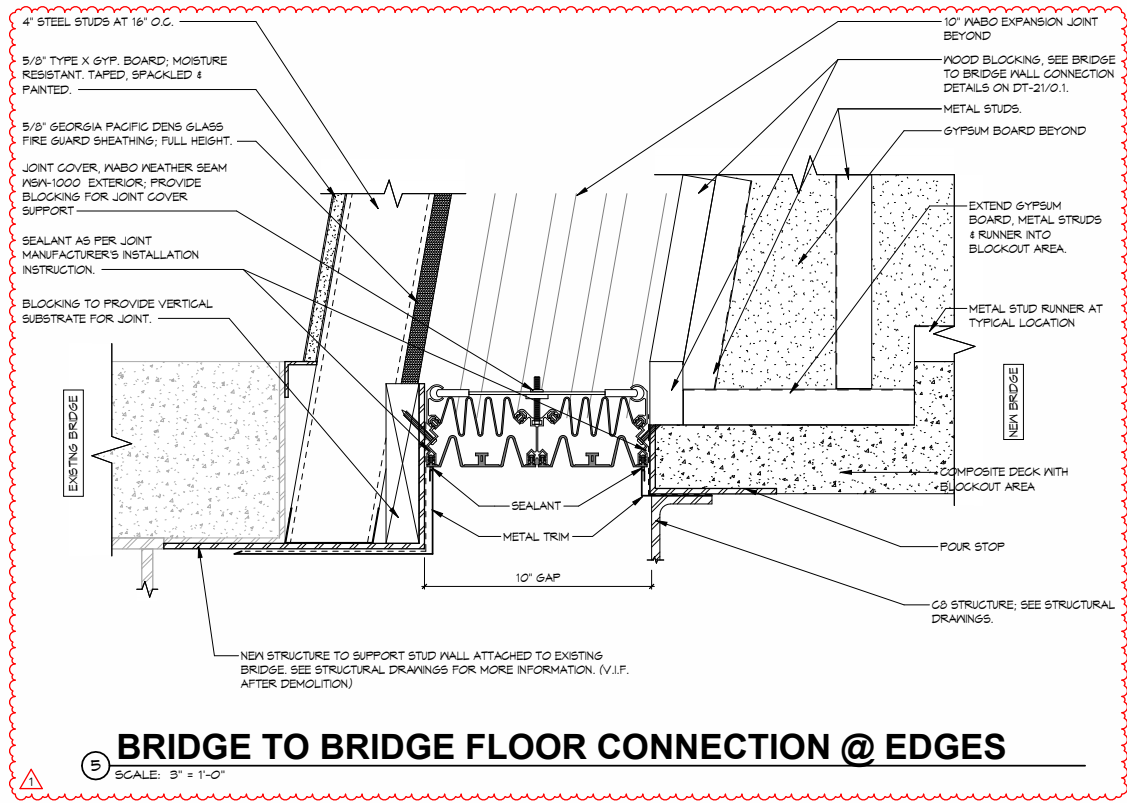
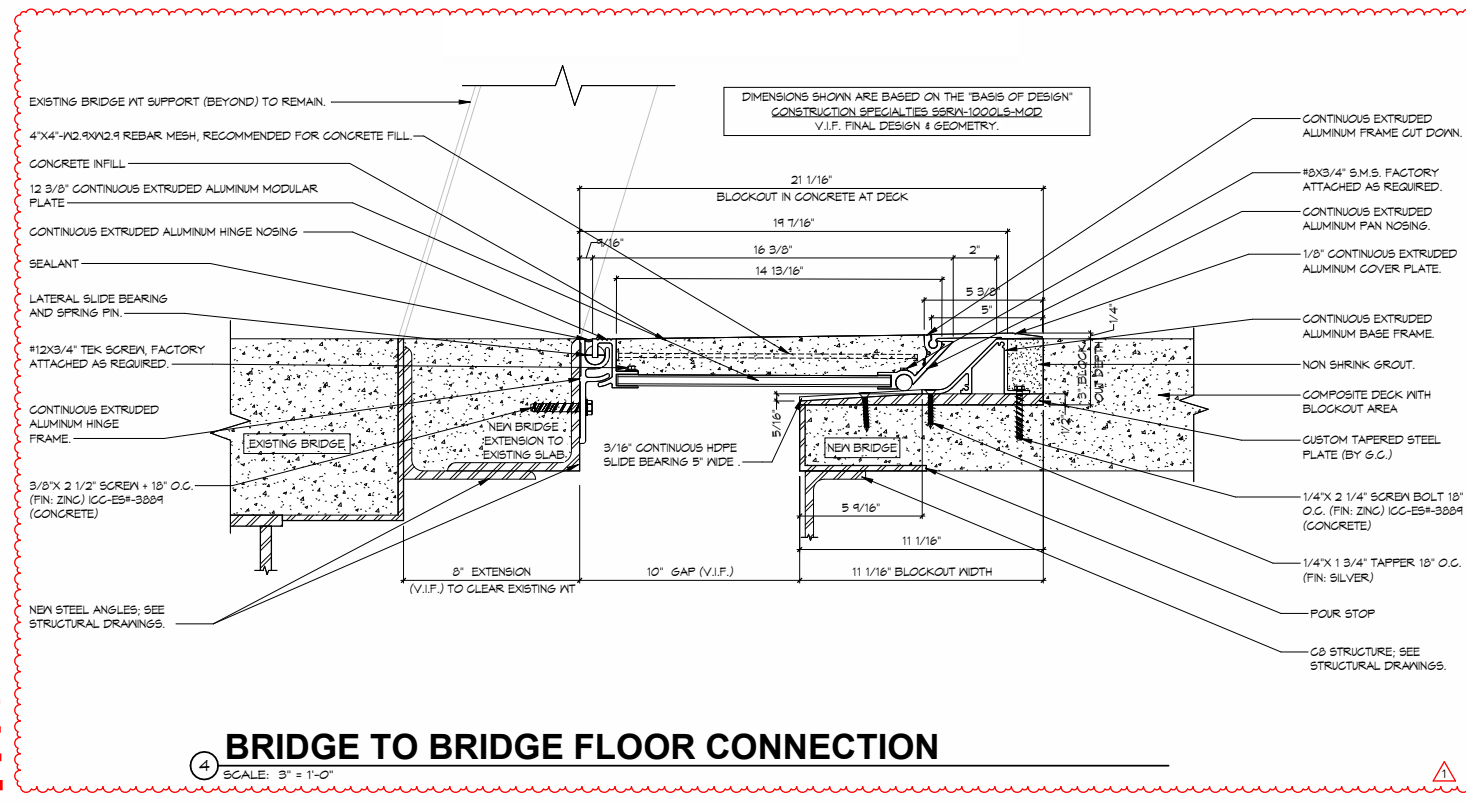
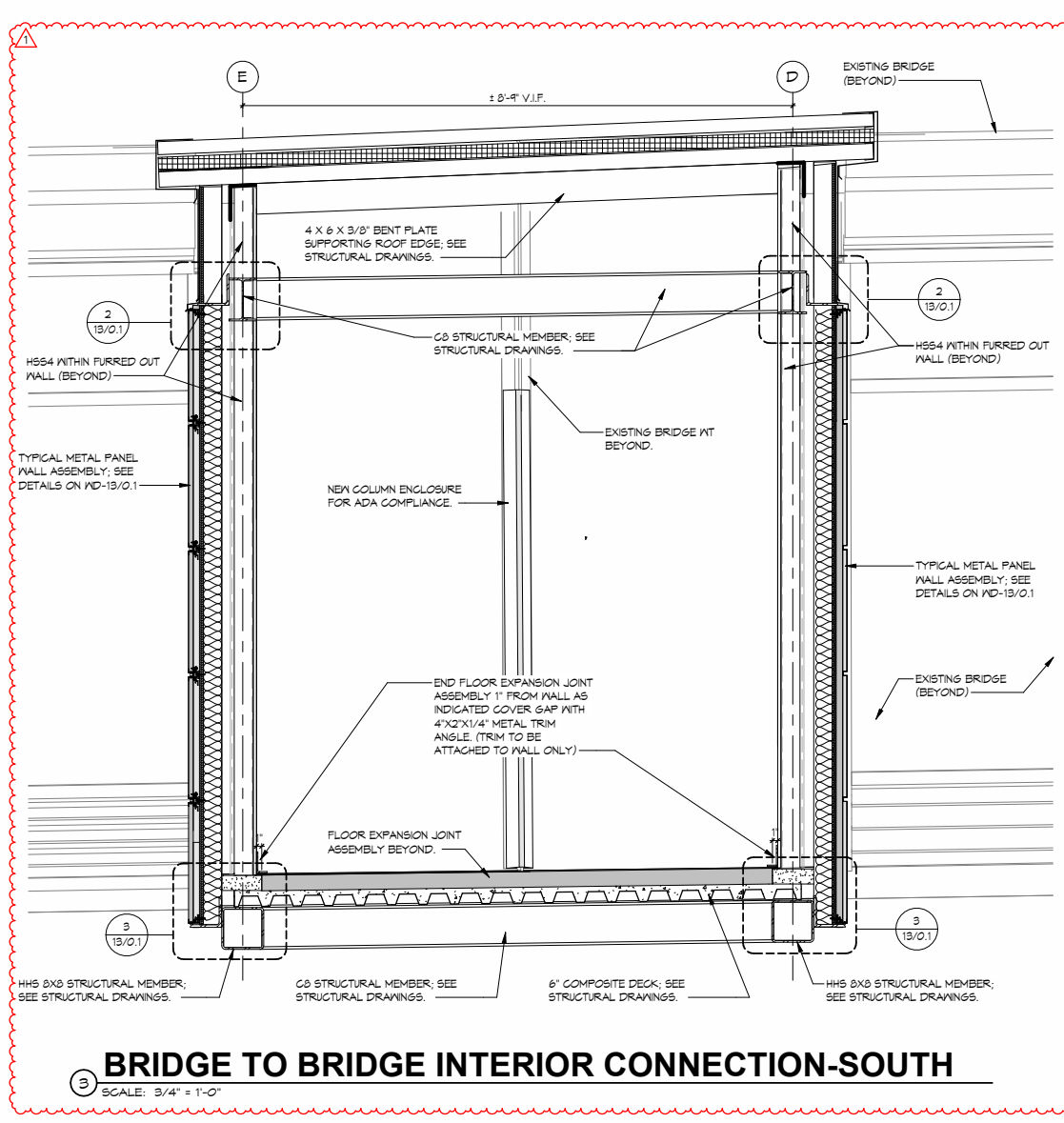
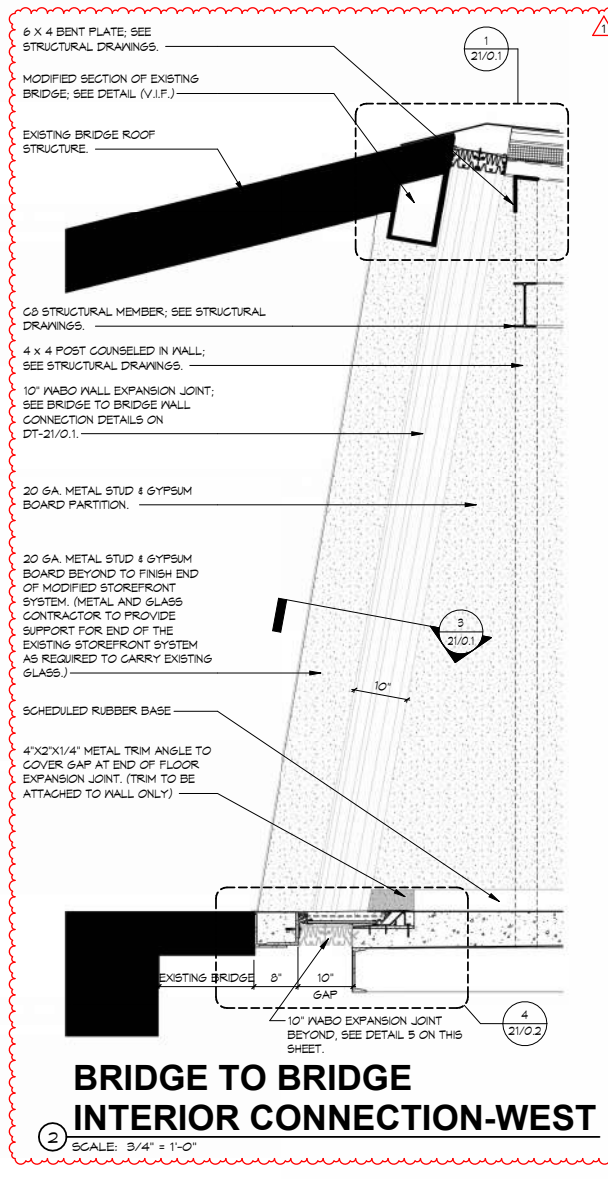
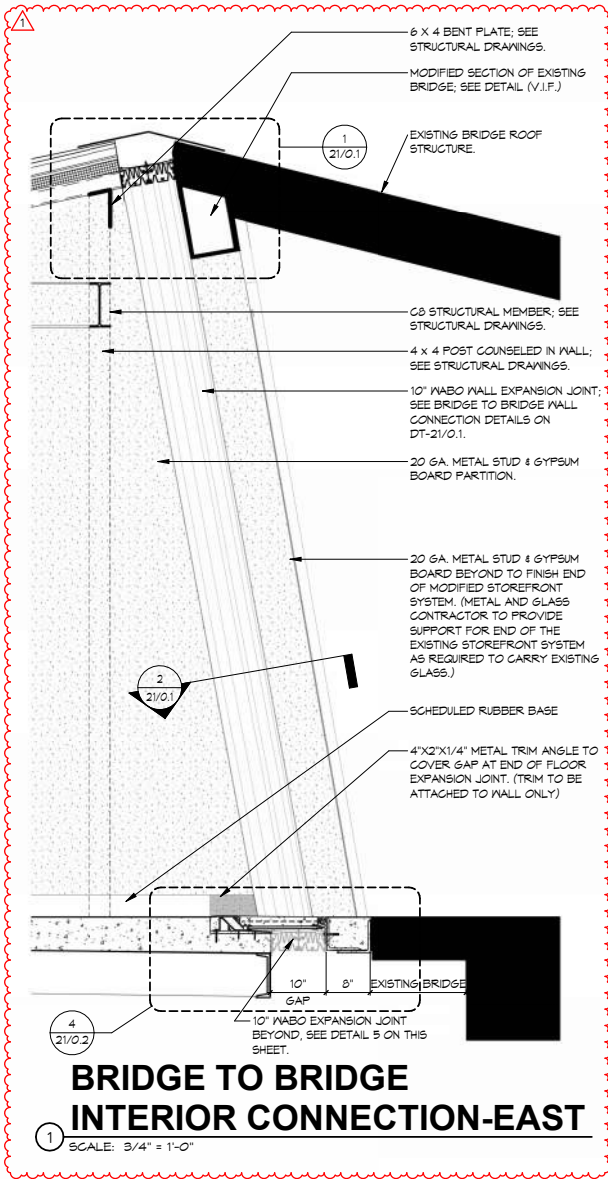
Designer:
Michael Keating

Programs Used:
Revit

Scope of Work:
New pedestrian walkway from new parking garage to existing pedestrian bridge at new On3 Campus

Responsibilities:
Design & build overall schematic design options for overall footprint & layout. Design of precast panel visual pattern. Drafting of 100% of Planning Board Sets & Renderings. Drafting of 100% of drawing set to 95% completion before review. Coordination & review of other team member's drawings.





<p>THE INTENT OF THIS COMPLETE AND PROPOSED DESIGN PURPOSE, SUB-CONTRACTORS, LABOR AND MATERIALS CAPABLE OF RECEIVING IS OBLIGATED TO EXAM TO BE FAMILIAR WITH PROJECT. ANY ALLEGES IMMEDIATELY CALLED THAT THE MATTER IN PROPOSAL. EACH OF ACKNOWLEDGE THAT THE SCOPE OF WORK, CONSTRUCTION DOCS.</p>	
<p>Typical Draw FOR REFERENCE ONLY, REF. INTERIOR PROJECTS</p>	
ICS-1/0/1	COVER SHEET
IL-2/0/1	TITLE SHEET
IN-3/0/1	GENERAL NO.
DP-4/1/1	DEMOLITION
CP-5/1/1	CONSTRUCTION
RP-6/1/1	REFLECTED
ETB-7/1/1	ELEC. TEL. & DATA
FP-8/1/1	FINISH PLAN
DET-9/1/1	DETAILS
WMP-10/1/1	WELLWORK
RRP-11/1/1	RESTROOM
FFP-12/1/1	FURNITURE
FP-13/1/1	FURNITURE
FFP-14/1/1	FURNITURE
EEP-15/1/1	EGRESS PLAN
DWS-16/1/1	DOOR & WINDOW
STP-17/1/1	STAIR PLAN
RRP-18/1/1	RAISED FLOOR
CAP-19/1/1	CASE PLAN
RRP-20/1/1	RACK & CASE
FFP-21/1/1	FIRE ZONING
SEP-22/1/1	SECURITY PLAN
SUP-23/1/1	SIGNAGE
PLD-24/1/1	PLUMBING
<p>Drawing Type Section Number</p>	
<p>Seal & Sign</p>	
<p>CHARLES OTIS LO N.J. REGISTRATION C.T. REGISTRATION PA. REGISTRATION</p>	
<p>KURT M. KALAFSK N.J. REGISTRATION C.T. REGISTRATION PA. REGISTRATION NCARB CERTIFICAT CA #21AC0005</p>	
<p>Architects:</p>	
<p>Project Title</p>	
<p>CLIFTON</p>	
<p>Building Own</p>	
<p>c/o PR 310 KING</p>	
<p>Tenant/Occu KINGSLAND 343 Ediso</p>	
<p>Drawing Title</p>	
<p>BRIDGE D</p>	
<p>CITY OF - BLOCK - LOT: 4. TOWNSHIP - BLOCK - LOT: 1</p>	
<p>IS CON 2</p>	
<p>Initial Dwg DATE JUNE 17, 2022</p>	
<p>Job No.: 29128-0</p>	
<p>Drawn By: Designer</p>	
<p>Dwg No.: D</p>	
<p>Dwg File: CAD\ACAD\DWG\2022\29128-0.DWG</p>	
<p>THIS DRAWING AND PATENTABLE FEAT CONSTITUTE THE O ARCHITECTS, L.L.C. REPRODUCED IN WH OTHER THAN SPECI ARCHITECTS, L.L.C.</p>	

2018-
On3: Pedestrian Bridge



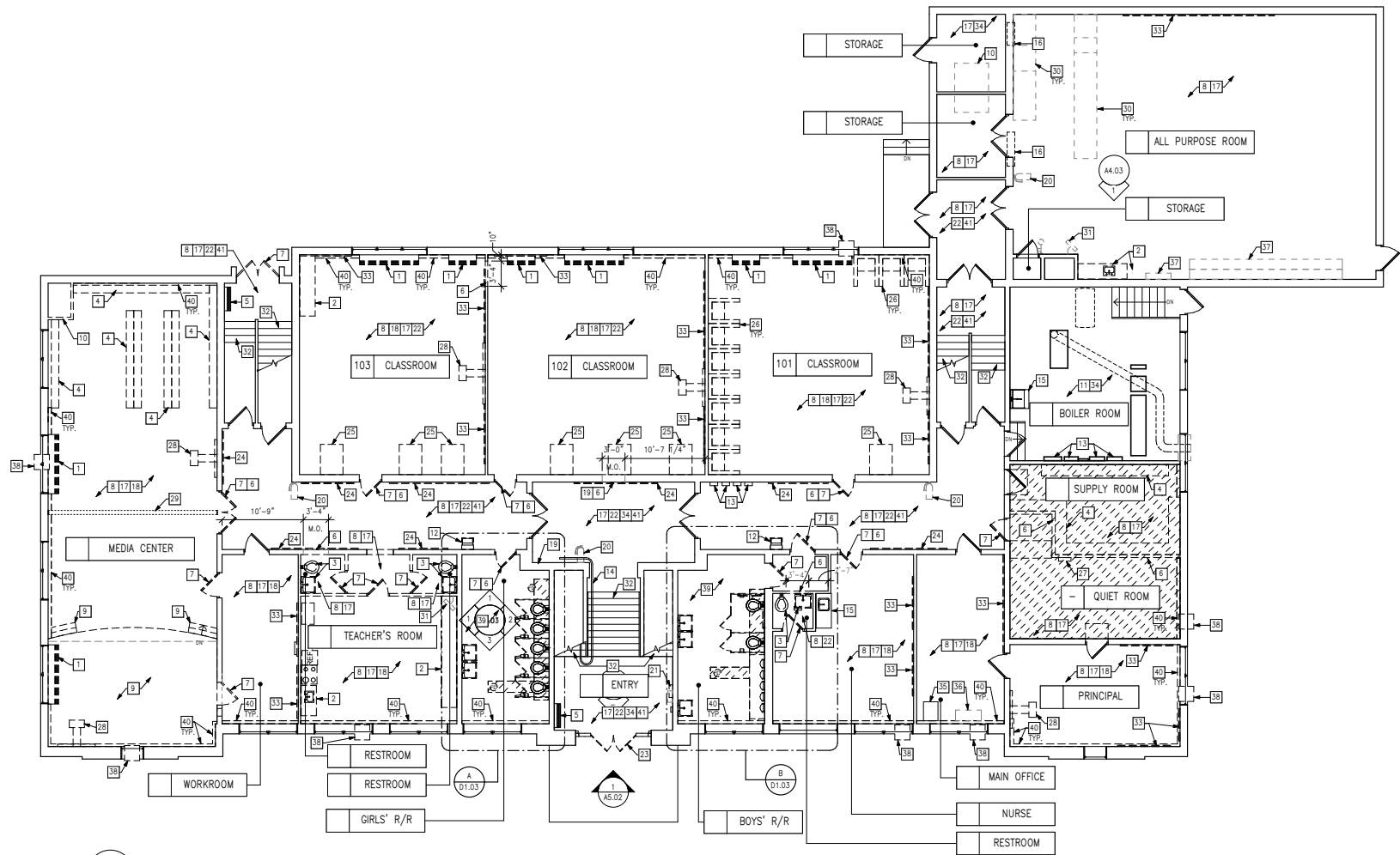


Barber School BoE Conversion 2016

Architect:
William Banister
Manager:
Josh Thompson
Programs Used:
Revit

Scope of Work:
The reivation & conversion of the elementary school into Phillipsburg Board of Education Offices.
Responsibilities:
Survey & drafting of existing conditions. Drafting of 100% of drawing set to 95% completion before review. Coordination & review of consultant's drawings. Updating of the project bidding & issuing of addendums. Filing, organizing, review and issuing of construction administration documents. Creation of punchlist for substantial completion.





A LOWER LEVEL DEMOLITION PLAN SCALE: 1/8" = 1'-0"

DRAWING NOTES:

- 1 DISCONNECT AND REMOVE EXISTING UNIT VENTILATOR, PIPING, HOUSING, WALL BOX CONTROL AND ALL ACCESSORIES IN THEIR ENTIRETY, EXISTING EXTERIOR LOUVER TO REMAIN. MODIFY ALL UTILITIES TO REMAIN AS REQUIRED. UNIT VENTILATORS TO BE SALVAGED AND RETURNED TO THE DISTRICT. PATCH AND REPAIR ADJACENT SURFACES AFFECTED BY DEMOLITION AND PREPARE AS NECESSARY FOR NEW CONSTRUCTION.
- 2 REMOVE EXISTING SINK, COUNTER, MILLWORK, CABINETS AND ALL ASSOCIATED ITEMS IN THEIR ENTIRETY. REMOVE WATER AND DRAINAGE PIPES TO NEAREST CONCEALED LOCATION AND CAP OFF IN A CODE COMPLIANT MANNER. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 3 REMOVE EXISTING PLUMBING FIXTURE AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY. REMOVE HARDWARE AND DRAINAGE PIPES TO NEAREST CONCEALED LOCATION AND CAP OFF IN A CODE-COMPLIANT MANNER. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 4 REMOVE EXISTING SHELVING, STORAGE UNITS, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. COORDINATE WITH DISTRICT FOR POSSIBLE REUSE PRIOR TO DISPOSAL. PATCH AND REPAIR ADJACENT SURFACES AFFECTED BY DEMOLITION AND PREPARE AS NECESSARY FOR NEW CONSTRUCTION.
- 5 EXISTING FLOOR-MOUNTED CABINET HEATER TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 6 REMOVE PORTION OF EXISTING WALL TO ACCOMMODATE NEW CONSTRUCTION. TEMPORARILY BRACE FLOOR ABOVE. PROVIDE NEW LINTEL AS REQUIRED. PATCH AND REPAIR ADJACENT SURFACES AFFECTED BY DEMOLITION AND PREPARE AS NECESSARY FOR NEW CONSTRUCTION.
- 7 REMOVE EXISTING DOOR, FRAME, HARDWARE AND ALL ASSOCIATED COMPONENT IN THEIR ENTIRETY. PATCH AND REPAIR ADJACENT SURFACES AFFECTED BY DEMOLITION AND PREPARE AS NECESSARY FOR NEW CONSTRUCTION.
- 8 REMOVE EXISTING FLOORING, TRIM AND ALL ACCESSORIES TO SOUND SUBSTRATE. PATCH SUBSTRATE AS REQUIRED TO RECEIVE NEW FLOORING. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION. REFER TO FINISH PLANS FOR MORE INFORMATION.
- 9 REMOVE EXISTING PLATFORM, STAIRS, FRAMING, BLOCKING, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PATCH AND REPAIR ADJACENT SURFACES AFFECTED BY DEMOLITION AND PREPARE AS NECESSARY FOR NEW CONSTRUCTION.
- 10 REMOVE EXISTING CEILING MOUNTED AIR HANDLER, HOUSING, CONTROLS AND ALL ASSOCIATED HARDWARE IN THEIR ENTIRETY. REMOVE PIPES TO NEAREST CONCEALED LOCATION AND CAP OFF IN A CODE-COMPLIANT MANNER. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 11 EXISTING MECHANICAL EQUIPMENT, ELECTRICAL EQUIPMENT, CONCRETE PADS, FLOOR DRAINS AND ALL ASSOCIATED PIPING TO REMAIN U.N.O. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 12 REMOVE EXISTING WATER FOUNTAIN. REMOVE WATER AND DRAINAGE PIPES TO NEAREST CONCEALED LOCATION AND CAP OFF IN A CODE-COMPLIANT MANNER. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 13 EXISTING ELECTRICAL PANELS TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 14 EXISTING CHAIR LIFT AND CONTROLS TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 15 EXISTING SINK, COUNTER, MILLWORK, CABINETS AND ALL ASSOCIATED ITEMS TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 16 REMOVE EXISTING SUPPLY AIR GRILL, DUCTWORK, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PROVIDE TEMPORARY SHORING AS REQUIRED. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 17 REFER TO ELECTRICAL PLANS FOR FIRE PROTECTION AND ELECTRICAL DEMOLITION. REMOVE ALL WIRING BACK TO NEAREST JUNCTION BOX AND SAFE-OFF AS REQUIRED. PATCH AND REPAIR ADJACENT SURFACES AFFECTED BY DEMOLITION AND PREPARE AS NECESSARY FOR NEW CONSTRUCTION.
- 18 REMOVE EXISTING WINDOW SHADES AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. EXISTING WINDOW TO REMAIN, PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 19 REMOVE EXISTING ABANDONED ELECTRICAL PANEL. PATCH AND REPAIR ADJACENT SURFACES AFFECTED BY DEMOLITION AND PREPARE AS NECESSARY FOR NEW CONSTRUCTION.
- 20 REMOVE EXISTING FIRE EXTINGUISHER, MOUNTING BRACKETS, AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY. DISPOSE AS PER LOCAL CODES. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 21 EXISTING ANNUNCIATOR PANEL AND ALL ASSOCIATED COMPONENTS TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 22 REMOVE EXISTING SUSPENDED CEILING, GRID, LIGHT FIXTURES, PANELS, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. REMOVE WIRING BACK TO NEAREST JUNCTION BOX AND SAFE OFF AS REQUIRED. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 23 REMOVE EXISTING FRONT ENTRY DOORS, SIDELIGHTS, TRANSOM, GLAZING, FRAME, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. TEMPORARILY DISCONNECT EXISTING SECURITY CAMERA, INTERCOM, ETC. AS REQUIRED. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- 24 REMOVE EXISTING WALL-MOUNTED WOOD RAILS. PATCH AND REPAIR EXISTING SURFACES AS REQUIRED.
- 25 REMOVE EXISTING COAT CLOSET, MOUNTING BRACKET, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PATCH AND REPAIR EXISTING SURFACES AS REQUIRED.
- 26 REMOVE TEMPORARY PARTITIONS AND CASTERS AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PATCH AND REPAIR EXISTING SURFACES AS REQUIRED.
- 27 EXISTING ANNUNCIATOR PANEL AND ALL ASSOCIATED COMPONENTS TO BE RELOCATED, REFER TO FIRE ALARM DRAWINGS FOR MORE INFORMATION.
- 28 REMOVE EXISTING SMARTBOARD AND PROJECTOR AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. EQUIPMENT TO BE SALVAGED AND RETURNED TO THE DISTRICT. PATCH AND REPAIR ADJACENT SURFACES AFFECTED BY DEMOLITION AND PREPARE AS NECESSARY FOR NEW CONSTRUCTION.
- 29 EXISTING PIPES ABOVE TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 30 REMOVE EXISTING CAFETERIA AND FOOD SERVICE EQUIPMENT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. EQUIPMENT TO BE SALVAGED AND RETURNED TO THE DISTRICT. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 31 REMOVE EXISTING WALL MOUNTED FAN, MOUNTING BRACKET, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. EQUIPMENT TO BE SALVAGED AND RETURNED TO THE DISTRICT. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 32 REMOVE EXISTING SLIP RESISTANT FINISH. EXISTING STAIR TREADS TO REMAIN. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 33 REMOVE EXISTING CHALKBOARD, BULLETIN BOARD, MOUNTING BRACKETS, AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY. PATCH AND REPAIR EXISTING SURFACES AS REQUIRED.
- 34 EXISTING FLOOR FINISH AND WALL BASE TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 35 EXISTING I.T. SERVERS AND IMMEDIATE POWER AND PATH RECEPTACLES TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 36 REMOVE EXISTING PUBLIC ADDRESS HEAD END UNIT AND ALL ASSOCIATED EQUIPMENT IN ITS ENTIRETY.
- 37 REMOVE EXISTING GYM/CAFETERIA EQUIPMENT, MOUNTING BRACKETS, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY.
- 38 REMOVE EXISTING WINDOW/WALL MOUNTED A/C UNIT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. EQUIPMENT TO BE SALVAGED AND RETURNED TO DISTRICT. EXISTING WINDOW TO REMAIN, PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 39 REFER TO DETAIL DEMOLITION PLAN FOR MORE INFORMATION.
- 40 REMOVE EXISTING FIN TUBE RADIATION, PIPING, HOUSING AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 41 CONTRACTOR SHALL BE RESPONSIBLE FOR FIRESTOPPING ALL CORRIDOR AND/OR STAIRWELL PENETRATIONS WITH (1) HOUR FIRE RATED SEALANT. ALL PENETRATIONS, NEW OR OLD, AND WITHIN THE SPECIFIC SCOPE OF THIS PROJECT OR NOT, SHALL BE REMEDIATED AS PART OF THE BASE BID CONTRACT.

GENERAL DEMOLITION NOTES:

CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED CONDITIONS TO EXISTING BUILDING AND SITE IF DAMAGED DURING CONSTRUCTION TO MATCH EXISTING AT NO ADDITIONAL COST TO OWNER.

CONTRACTOR TO COORDINATE WITH DISTRICT IN REGARDS TO THE POSSIBLE SALVAGE OF ANY EXISTING BUILDING COMPONENTS. UNLESS NOTED OTHERWISE.

THE EXISTENCE & LOCATION OF CONSTRUCTION INDICATED AS EXISTING IN THESE DRAWINGS IS NOT GUARANTEED. ANY & ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.

CONTRACTOR TO PATCH & REPAIR ALL EXISTING SURFACES IN PREPARATION OF NEW FINISH INSTALLATION. PROTECT EXISTING SURFACES TO REMAIN THROUGHOUT DURATION OF DEMOLITION & CONSTRUCTION.

ALL MATERIALS TO BE RECYCLED & DISPOSED OF IN A CODE-COMPLIANT MANNER.

NO SERVICES SHALL BE DISCONNECTED OR INTERRUPTED WITHOUT PRIOR APPROVAL OF THE OWNER.

ALL WIRING MUST TEST FREE OF GROUNDS, SHORTS, CROSSES, & OPENS. ALL ELECTRICAL WORK TO BE DONE IN A CODE-COMPLIANT MANNER.

CONDUIT MAY BE REUSED WHERE APPLICABLE, HOWEVER, ALL WIRING WILL BE NEW. RE-USED CONDUITS TO BE IN GOOD CONDITION.

PATCH & REPAIR ALL HOLES LEFT AFTER REMOVAL OF EXISTING ELECTRICAL WORK & INSTALLATION OF NEW WORK. FINISH TO MATCH ADJACENT EXISTING SURFACES.

REMOVE ALL NON-WORKING WIRING AND CABLES AND DISPOSE OF IN A CODE COMPLIANT MANNER.

CONTRACTOR IS RESPONSIBLE TO VERIFY STRUCTURAL INTEGRITY OF WALLS AND FLOORS/CEILINGS PRIOR TO DEMOLITION. ANY CONCERNS/DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE OWNER/ARCHITECT IN WRITING.

ALL UTILITY PIPING, AND CONDUITS ABANDONED AS PART OF THIS PROJECT WILL BE REMOVED AND SURFACES PAINTED AND PATCHED AS REQUIRED.

CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EACH ITEM IDENTIFIED IN THE DRAWINGS. EACH TRADE IS RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DOCUMENTS FOR SCOPE. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF ITEMS REQUIRED TO INSTALL NEW WORK.

SYMBOL LEGEND

	EXISTING WALL TO REMAIN		EXISTING FIRE EXTINGUISHER TO BE REMOVED
	EXISTING WALL TO BE REMOVED		EXISTING STOVETOP TO BE REMOVED
	EXISTING DOOR AND DOOR FRAME TO REMAIN		EXISTING UNIT VENTILATOR TO BE REMOVED
	EXISTING DOOR AND DOOR FRAME TO BE REMOVED		INDICATES OVERHEAD EQUIPMENT TO REMAIN.
	INDICATES CONSTRUCTION TO BE DEMOLISHED		EXISTING CONCRETE SLAB TO BE SCARIFIED OR SAW-CUT. REFER TO SPECIFIC NOTES FOR MORE INFORMATION.



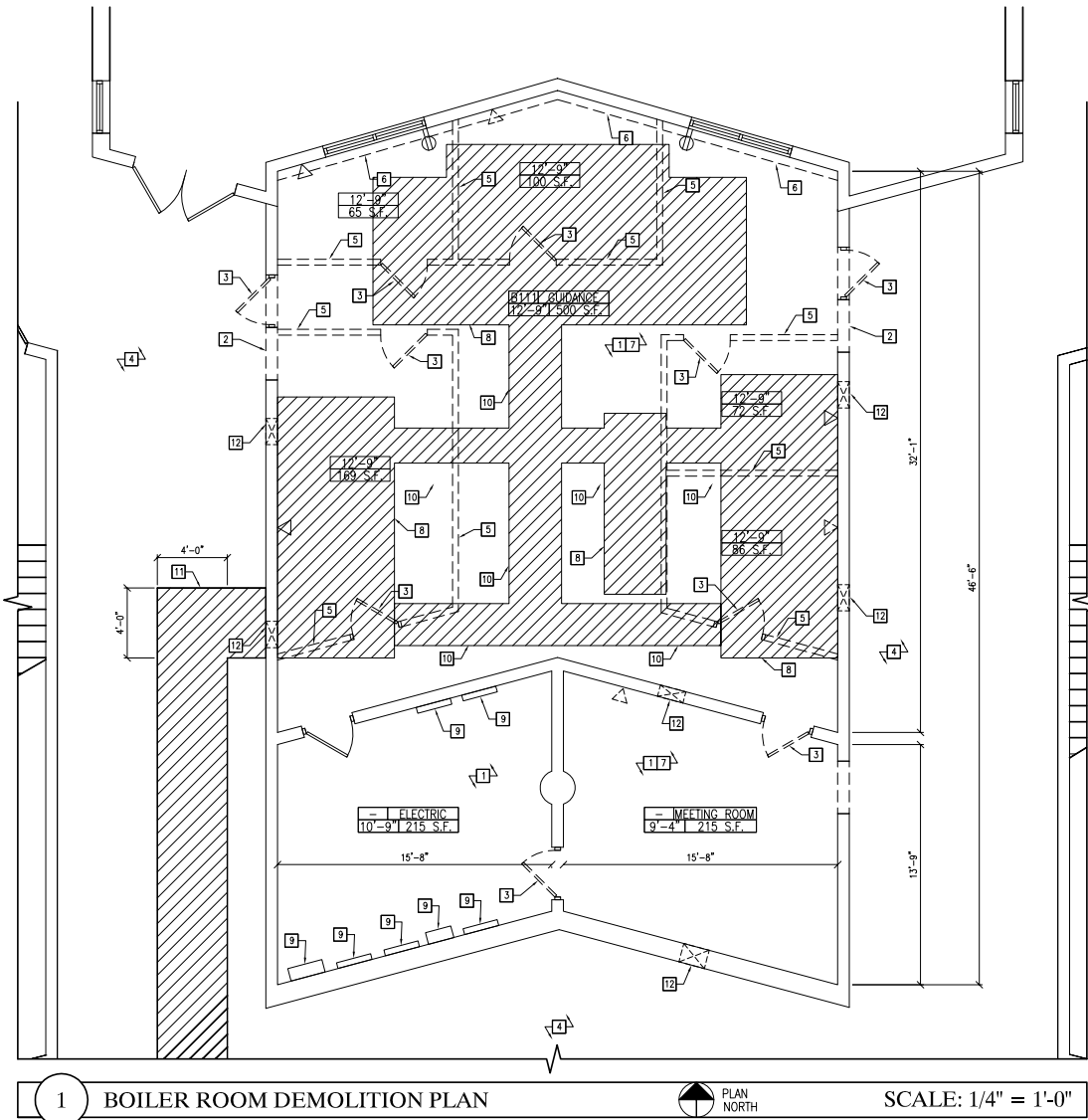


Lakewood District HVAC Upgrades
2015

Architect:
William Banister
Manager:
Kenneth Mieles
Programs Used:
AutoCAD

Scope of Work:
Installation of a chiller system & corresponding equipment, new boiler plant & replacement of all unit ventilators in the Lakewood School District.
Responsibilities:
Survey & drafting of existing conditions. Drafting of 50% of drawing set to 85% completion before review. Coordination & review of consultant's drawings. Updating of the project bidding & issuing of addendums. Filing & organizing of construction administration documents. Creation of punchlist for substantial completion.





GENERAL DEMOLITION NOTES:

EXISTING ELECTRICAL WIRING IN WALL OR ON WALL SURFACE CONSTRUCTION TO BE DEMOLISHED SHALL BE REMOVED BACK TO NEAREST JUNCTION BOX, TYPICAL.

CONTRACTOR TO REMOVE, IN ITS ENTIRETY, ANY EXISTING CEILING FINISH AND SCRAPE/REMOVE ANY EXISTING PEELING PAINT OR OTHER SURFACE.

CONTRACTOR IS RESPONSIBLE TO VERIFY THE STRUCTURAL INTEGRITY OF CMU WALLS PRIOR TO A DURING DEMOLITION. ANY CONCERNS / DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE OWNER / ARCHITECT IN WRITING.

TRACE EXISTING SANITARY PIPE, SUPPLY PIPES, AND VENT LOCATIONS FOR NEW TIE-IN LOCATIONS.

EXISTING ELECTRICAL WIRING IS TO BE ALTERED AS PER ELECTRICAL DRAWINGS AND REFLECTED CEILING PLANS. CONTRACTOR IS TO SAFE OFF POWER DURING CONSTRUCTION/DEMOLITION.

CONTRACTOR IS RESPONSIBLE TO PREVENT DUST/DEBRIS FROM ENTERING PUBLIC CORRIDORS. DEBRIS SHALL BE DISCARDED IN A CODE COMPLAINT MANNER, AND AREA OF WORK SHALL BE KEPT CLEAN AT THE END OF EACH WORK DAY.

CONTRACTOR TO PATCH AND REPAIR EXISTING MASONRY WALLS & CONCRETE FLOOR THAT HAVE BEEN DAMAGED IN THE DEMOLITION PHASE. CONTRACTOR TO FILL ALL VOIDS IN CONCRETE SUB-FLOOR LEVEL W/ CONCRETE LEVELING SYSTEM & FILL ALL VOIDS IN WALLS W/ CMU & GROUT. PREP ALL FLOORS & WALLS FOR NEW FINISHES AS REQUIRED.

CONTRACTOR IS TO PROVIDE A SEPARATION BARRIER AT DOORS IN THE BOILER ROOM USING A HEAVY MILL PLASTIC INSTALLED IN A "Z" OVERLAP PATTERN DURING THE ENTIRE PROJECT.

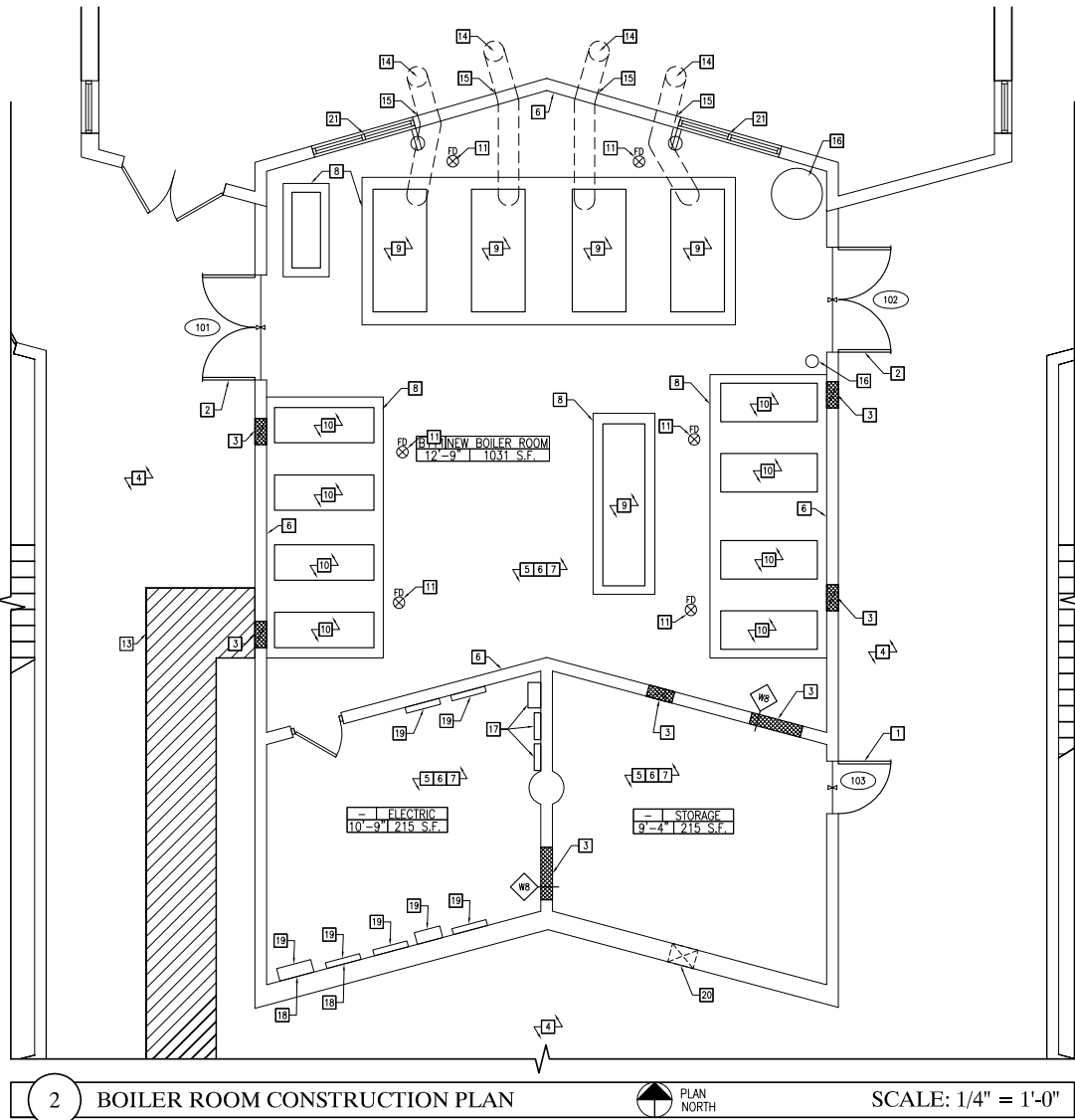
CONTRACTOR WILL BE RESPONSIBLE FOR THE COORDINATION OF THE REMOVAL AND DISPOSAL OF ANY ASBESTOS-RELATED MATERIALS. COST OF REMOVAL AND DISPOSAL TO BE BORNE BY CONTRACTOR. ALL PERMITS TO BE THE CONTRACTOR'S RESPONSIBILITY. REFER TO THE PROJECT MANUAL FOR MORE INFORMATION.

DEMOLITION DRAWING NOTES:

- ALTERNATE 1:** REMOVE EXISTING NON-FRABLE ASBESTOS VOT THROUGHOUT OFFICE SUITE, ELECTRICAL ROOM & MEETING ROOM. PROPERLY DISPOSE OF IN A LEGAL MANNER. REFER TO THE PROJECT MANUAL FOR ADDITIONAL INFORMATION. REFER TO DISTRICT ASBESTOS MANAGEMENT PLAN FOR MORE INFORMATION.
- CONTRACTOR TO SAW CUT EXISTING OPENING AS REQUIRED TO ACCOMMODATE THE INSTALLATION OF A NEW DOOR. COORDINATE WITH 2/A6.01 FOR SIZING. REMOVE CMU ABOVE DOOR HEAD FOR NEW STEEL UNTEL. PATCH AND REPAIR ADJACENT SURFACES AS NECESSARY TO RECEIVE NEW FINISHES. CAREFULLY REMOVE CERAMIC TILE, CORRIDOR SIDE, FOR RE-USE.
- REMOVE EXISTING DOOR, DOOR FRAME, HARDWARE, TRIM, THRESHOLD AND ALL ASSOCIATED ITEMS. PREPARE NEW OPENING FOR NEW FRAME AND DOOR. CONTRACTOR TO PROTECT FINISHES THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- EXISTING CORRIDOR FLOOR AND WALL FINISHES TO REMAIN. PROTECT DURING COURSE OF CONSTRUCTION.
- REMOVE EXISTING WALL IN IT'S ENTIRETY. PATCH FLOOR WHERE NECESSARY.
- REMOVE EXISTING FIN TUBES AND ALL ASSOCIATED ENCLOSURE, HARDWARE AND PIPING BACK TO SOURCE, PREPARE ALL AREAS AND SURFACES FOR INSTALLATION OF NEW 4-PIPE SYSTEM. PATCH AND REPAIR EXPOSED AREAS TO MATCH ADJACENT EXISTING. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- EXISTING ACOUSTICAL CEILING TILES, GRID, LIGHT FIXTURES, ETC. TO BE REMOVED TO ACCOMMODATE NEW CONSTRUCTION. SEE NEW BOILER ROOM REFLECTED CEILING PLANS FOR MORE INFORMATION.
- SAW CUT EXISTING SLAB AND REMOVE SUBGRADE DOWN TO DEPTH REQUIRED FOR NEW HOUSE KEEPING PADS. SEE DETAIL 1/A7.02HS.
- EXISTING ELECTRICAL PANELS ARE TO REMAIN. PROTECT THROUGHOUT THE ENTIRE PROJECT.
- SAW CUT AND TRENCH EXISTING SLAB AND REMOVE SUBGRADE TO A DEPTH REQUIRED TO INSTALL NEW FLOOR DRAINS AND UNDERGROUND SANITARY PIPING.
- SAW CUT AND TRENCH UP TO 500 S.F. OF FLOORING AT NEAREST METAL JOINT. TRENCH SLAB TO ACCOMMODATE NEW SANITARY UNDERGROUND. SEE DRAWING M2.02HS FOR MORE INFORMATION.
- REMOVE TRANSFER GRILL AND STORE IN A SAFE LOCATION.

SYMBOL LEGEND

	EXISTING CONSTRUCTION TO REMAIN		NEW WALL TAG		EXISTING CONSTRUCTION TO BE DEMOLISHED		NEW CMU WALL
	EXISTING DOOR TO REMAIN		NEW DOOR		EXISTING DOOR TO BE REMOVED		NEW ALUMINUM THRESHOLD TO BE SAME WIDTH AS DOOR FRAME
	EXISTING POWER OUTLET TO REMAIN		EXISTING DATA PORT TO REMAIN / TO BE REMOVED.		NEW FLOOR DRAIN		SAW CUT AND TRENCH EXISTING SLAB, TERRAZZO FLOORING



GENERAL CONSTRUCTION NOTES:

WHERE REQUIRED BY NEW CONSTRUCTION, CONTRACTOR SHALL PATCH, REPAIR AND/OR REPLACE EXISTING CONSTRUCTION (TO PROVIDE "AS NEW SURFACES" TO MATCH NEW CONSTRUCTION).

CONSTRUCTION SHALL BE NON-COMBUSTIBLE. ANY LUMBER MUST BE FIRE RETARDANT AS PER IBC 2009 NJ EDITION SECTION 2303.2, AS PER NEW JERSEY UNIFORM CONSTRUCTION CODE N.J.A.C.5:23-6.6(C)(1).

CONTRACTOR TO COORDINATE ALL FINISHES W/ ARCHITECT & OWNER. SUBMIT ALL FINISHES TO ARCHITECT.

CONTRACTOR IS TO SAFE OFF POWER DURING CONSTRUCTION/DEMOLITION AS REQUIRED WITH EXISTING ELECTRICAL WIRING THAT IS TO REMAIN OR BE REMOVED.

FIRESTOPPING OF EACH WALL PENETRATION SHALL BE THE RESPONSIBILITY OF THE ENTITY WHO CUTS OR REQUIRES THE PENETRATION. ALL WALL EXISTING CORRIDOR WALLS ARE TO BE ASSUMED AS 1HR RATED UNLESS NOTED OTHERWISE. ALL PENETRATIONS SHALL BE FIRESTOPPED ACCORDINGLY. SEE SPECIFICATIONS FOR MORE INFORMATION.

WHERE REQUIRED BY NEW CONSTRUCTION, THE CONTRACTOR SHALL PATCH, REPAIR, AND/OR REPLACE EXISTING CONSTRUCTION TO PROVIDE "AS NEW SURFACES" TO MATCH AND MEET ADJACENT CONSTRUCTION.

CONTRACTOR TO PATCH AND REPAIR ALL FLOOR SLABS IN PREPARATION OF NEW FINISH INSTALLATIONS.

INFILL ALL VOIDS IN EXISTING CMU WALLS W/ CEMENTITIOUS PATCHING COMPOUND AS REQUIRED TO ACCEPT NEW FINISH.

PROVIDE SHOP DRAWINGS AND/OR SUBMITTALS FOR ARCHITECT'S REVIEW PRIOR TO INSTALLATION OF ALL FIXTURES, ACCESSORIES, HARDWARE, MILLWORK AND FINISHES. PROVIDE ADDITIONAL SHOP DRAWINGS/SUBMITTALS AS REQUIRED BY SPECIFICATIONS.

NEW DOOR FRAMES ARE TO BE INSTALLED PLUMB AGAINST ADJACENT WALLS UNLESS DIMENSIONED OTHERWISE.

CONTRACTOR TO PATCH AND REPAIR EXISTING MASONRY WALLS & CONCRETE FLOOR THAT HAVE BEEN DAMAGED DURING DEMOLITION. CONTRACTOR TO FILL ALL VOIDS IN CONCRETE SUB-FLOOR LEVEL W/ CONCRETE & VOIDS IN WALLS W/ CMU & GROUT. PREP ALL FLOORS & WALLS FOR NEW FINISHES AS REQUIRED.

CONTRACTOR TO CONFIRM PRIOR TO SAW-CUTTING AND CORING OF SLAB & WALLS THAT NO UNDERSLAB ELEC. CONDUIT, OTHER UTILITY, & DATA LINES EXIST IN AREAS OF NEW WORK. CONTRACTOR TO AVOID CUTTING REINFORCED STEEL IN WALLS OR FLOOR SLABS.

CONSTRUCTION DRAWING NOTES:

- NEW 20 MINUTE FIRE RATED ADA COMPLIANT DOOR, FRAME, & HARDWARE. 3'-0" X 7'-0" SOLID CORE. APPEARANCE & FINISH TO MATCH DISTRICT STANDARD. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. COORDINATE LOCKSET W/ OWNER PRIOR TO PROJECT COMPLETION. PAINT NEW DOOR FRAMES, (1) COAT PRIMER, (2) COATS FINISH, TYP. COLOR TO BE SELECTED BY OWNER. SEE ADA SADDLE DETAIL.
- NEW 20 MINUTE FIRE RATED ADA COMPLIANT DOOR, FRAME, & HARDWARE. (2) 3'-0" X 7'-0" SOLID CORE. APPEARANCE & FINISH TO MATCH DISTRICT STANDARD. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. COORDINATE LOCKSET W/ OWNER PRIOR TO PROJECT COMPLETION. PAINT NEW DOOR FRAMES, (1) COAT PRIMER, (2) COATS FINISH, TYP. COLOR TO BE SELECTED BY OWNER. SEE ADA SADDLE DETAIL.
- NEW C.M.U. TO BE KEVED INTO EXISTING ADJACENT AT DOOR OPENINGS AND TRANSFER GRILLES. PAINTED WHITE, MANUFACTURER: SHERWIN WILLIAMS OR APPROVED EQUAL.
- EXISTING CORRIDOR FLOOR AND WALL FINISHES TO REMAIN. PROTECT DURING COURSE OF CONSTRUCTING.
- NEW LIGHT FIXTURES TO BE MOUNTED TO THE BOTTOM OF THE JOISTS / STRUCTURE ABOVE. SEE NEW BOILER ROOM REFLECTED CEILING PLANS FOR MORE INFORMATION.
- PAINT ENTIRE BOILER ROOM, ELECTRICAL ROOM AND STORAGE ROOM WALLS WHITE, MANUFACTURE: SHERWIN WILLIAMS OR APPROVED EQUAL, WITH (1) COAT PRIMER AND (2) COATS FINISH.
- PAINT ENTIRE BOILER ROOM, ELECTRICAL ROOM AND STORAGE ROOM FLOORS BATTLESHIP GRAY EPOXY FLOORING, MANUFACTURER: SHERWIN WILLIAMS OR APPROVED EQUAL, WITH (1) COAT PRIMER AND (2) COATS FINISH.
- NEW HOUSEKEEPING PADS, SEE DETAIL 1/A7.02HS FOR MORE INFORMATION.
- INSTALL NEW BOILER AND ALL ASSOCIATED COMPONENTS REQUIRED FOR COMPLETE OPERATION. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- INSTALL NEW HWP AND ALL ASSOCIATED COMPONENTS REQUIRED FOR COMPLETE OPERATION. SEE MECHANICAL DRAWINGS FOR INFORMATION.
- INSTALL NEW FLOOR DRAIN ASSEMBLY INCLUDING ALL UNDERGROUND SANITARY PIPING AND RUNS AND CONNECTIONS TO BUILDING'S SANITARY SYSTEM. SEE DRAWING M3.01HS FOR MORE INFORMATION.
- CONTRACTOR IS TO FIELD VERIFY LOCATION OF EXISTING SANITARY UNDERGROUND FOR CONNECTION WITH NEW.
- PROVIDE NEW CONCRETE SLAB AND TERRAZZO TILE. CONTRACTOR IS TO SUBMIT TILE SAMPLES TO BEST MATCH EXISTING TERRAZZO TO REMAIN. EXISTING TERRAZZO TO REMAIN SHALL BE PROTECTED THROUGHOUT ENTIRE PROJECT.
- NEW 14" AIR INTAKE. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- CONTRACTOR TO FIRE CALK ALL ANNULAR SPACES WITH A 3 HOUR RATED FIRE CALK.
- NEW EXPANSION TANK. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- PROVIDE NEW TRANSFORMER AND ELECTRICAL PANELS. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- REPLACE BREAKER IN EXISTING SPACE IN THE EXISTING PANEL. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- EXISTING PANELS TO REMAIN. PROTECT THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION.
- PROVIDE NEW FIRE DAMPER AND REINSTALL TRANSFER GRILLE.
- EXISTING WINDOWS ARE TO BE TINTED.

NOTE:
THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COORDINATION AND SCHEDULING OF THE REMOVAL AND DISPOSAL OF ANY ASBESTOS-RELATED MATERIALS. COST OF REMOVAL AND DISPOSAL TO BE BORNE BY CONTRACTOR. ALL PERMITS TO BE THE CONTRACTOR'S RESPONSIBILITY. REFER TO THE PROJECT MANUAL FOR MORE INFORMATION.

NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND DISTRIBUTION OF THE CONTRACT DOCUMENTS, IN ITS ENTIRETY, TO ALL RESPECTIVE TRADES.

PARETTE
SOMJEN



ARCHITECTS
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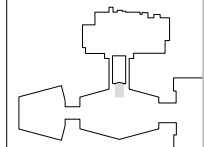
439 Route 46 East
Rockaway, NJ 07866
Tel. 973.586.2400
Fax. 973.586.2401
www.planetPSA.com

PROPOSED IMPROVEMENTS
THE LAKEWOOD TOWNSHIP

**HVAC UPGRADES
- PHASE 2
AT LAKEWOOD
HIGH SCHOOL**
855 SOMERSET AVENUE
LAKEWOOD, NJ 08701
BLOCK: 209 LOT: 1.01

STATE PROJ. #: 29-2520-050-14-

KEY PLAN



REV	DATE	REMARK
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<ul style="list-style-type: none"> Marc R. Parette A.I.A. NCARB Registration New Jersey Architect New York Architect Pennsylvania Architect Maryland Architect New Jersey Planner Alabama Architect Louisiana Architect Florida Architect Michigan Architect Nevada Architect Gregory J. Somjen A.I.A. NCARB Registration New Jersey Architect Massachusetts Architect Delaware Architect Virginia Architect Connecticut Architect New York Architect Nevada Architect District Of Columbia Architect William H. Bannister, A.I.A. New Jersey Architect 	<ul style="list-style-type: none"> 44266 10436 024312 0147888 10445 4981 5966 4261 AR 93131 1301053053 6311 47178 13349 9629 6816 0401 011210 8622 0124541 6280 101294 19142
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SIGNATURE

**NEW BOILER ROOM
PLANS**

THE SCALE REPRESENTED ON THESE DRAWINGS IS ONLY
IF THE DRAWING IS 1/4" = 1'-0". DRAWINGS WHICH ARE NOT
PLOTTED AT THE SPECIFIED SHEET SIZE ARE 3/32" TO SCALE.

WB PROJECT MANAGER	SHEET NUMBER
MK, RD, KM DRAWN BY	A6.01H
SAJLHS HVAC PH2 PROJECT NUMBER	
5 MAY 2015 RELEASE DATE	© COPYRIGHT 2015 PARETTE SOMJEN ARCHITECTS

2015
Lakewood District HVAC Upgrades

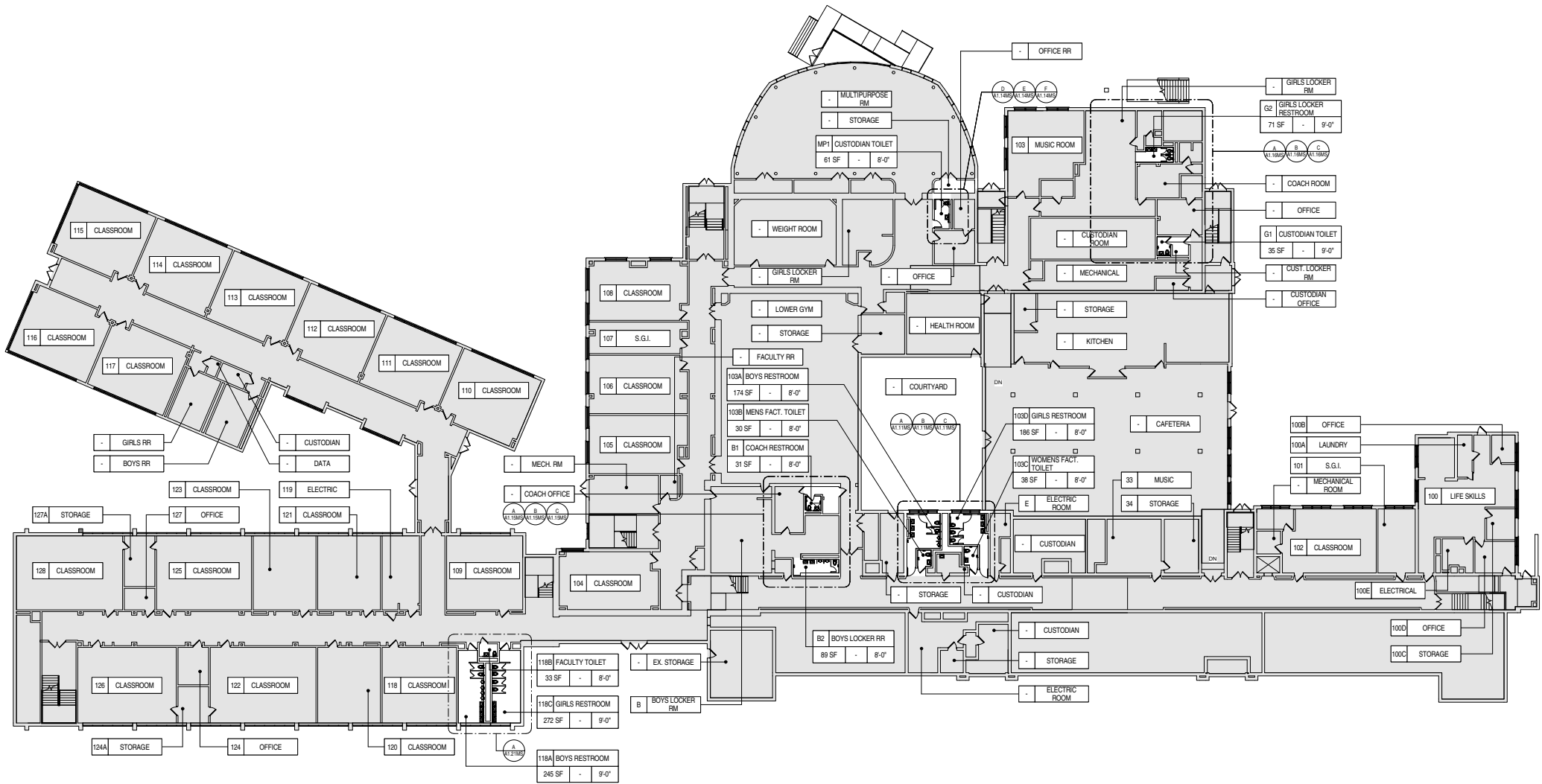




Millburn Restroom Renovations
2017

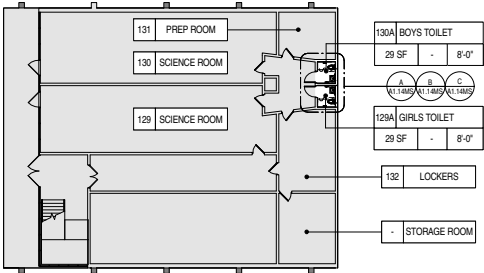
Architect:
John Carton
Manager:
Rachel Tieddmann
Programs Used:
Revit

Scope of Work:
District wide bathroom renovations throughout all schools.
Responsibilities:
Survey & drafting of existing conditions. Drafting of 100% of drawing set to 95% completion before review. Coordination & review of consultant's drawings. Updating of the project bidding & issuing of addendums. Filing, organizing, reviewing & issuing of construction administration documents. Surveying & documenting of field observation reports. Attending construction meetings & drafting minutes.



A LOWER LEVEL PLAN

SCALE: 1/16" = 1'-0"



B BASEMENT PLAN

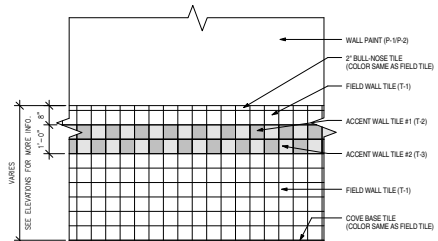
SCALE: 1/16" = 1'-0"

GENERAL CONSTRUCTION NOTES:

REFER TO DRAWING A1.02MS FOR GENERAL NOTES.

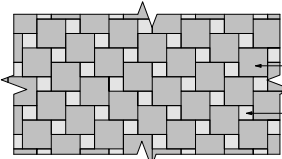
SYMBOL LEGEND:

REFER TO DRAWING A1.02MS FOR GENERAL NOTES.



1 WALL TILE FINISH

SC: 1/2" = 1'-0"



2 FLOOR TILE FINISH

SC: 1/2" = 1'-0"

PROJECT FINISH SCHEDULE - LOWER LEVELS

ROOM			FINISHES								CEILING	NOTES
Rm #	NAME	TYPE	WALL TILE			FLOOR TILE		CEILING		NEW HEIGHT		
			PRIMARY	ACCENT #1	ACCENT #2	WALL PAINT	PRIMARY	ACCENT	FINISH		EXISTING HEIGHT	
103A	BOYS RESTROOM	GANG	T-1	T-2	T-3	P-1	FT-1	FT-2	C-1	8'-10"	8'-0"	NOTE 2, 3
103B	MENS FACT. TOILET	SINGLE	T-1	T-2	T-3	P-1	FT-1	FT-2	C-2	8'-0"	8'-0"	NOTE 2, 3
103C	WOMENS FACT. TOILET	SINGLE	T-1	T-2	T-3	P-1	FT-1	FT-2	C-2	8'-0"	8'-0"	NOTE 2, 3
103D	GIRLS RESTROOM	GANG	T-1	T-2	T-3	P-1	FT-1	FT-2	C-1	8'-10"	8'-0"	NOTE 2, 3
118A	BOYS RESTROOM	GANG	-	-	-	-	-	-	C-1	9'-7"	8'-0"	NOTE 1, 2, 3
118B	FACULTY TOILET	SINGLE	-	-	-	-	-	-	C-1	9'-7"	8'-0"	NOTE 1, 2, 3
118C	GIRLS RESTROOM	GANG	-	-	-	-	-	-	C-1	9'-7"	8'-0"	NOTE 1, 2, 3
128A	GIRLS TOILET	SINGLE	T-1	T-2	T-3	P-1	FT-1	FT-2	C-2	8'-0"	8'-0"	NOTE 2, 3
130A	BOYS TOILET	SINGLE	T-1	T-2	T-3	P-1	FT-1	FT-2	C-2	8'-0"	8'-0"	NOTE 2, 3
B1	COACH RESTROOM	SINGLE	T-1	T-2	T-3	P-1	FT-1	FT-2	C-2	7'-2"	8'-0"	NOTE 2, 3
B2	BOYS LOCKER RR	GANG	T-1	T-2	T-3	P-1	FT-1	FT-2	C-1	8'-10"	8'-0"	NOTE 2, 3
G1	CUSTODIAN TOILET	SINGLE	T-1	T-2	T-3	P-1	FT-1	FT-2	C-2	8'-0"	8'-0"	NOTE 2, 3
G2	GIRLS LOCKER RESTROOM	GANG	T-1	T-2	T-3	P-1	FT-1	FT-2	C-1	8'-0"	8'-0"	NOTE 2, 3
MP1	CUSTODIAN TOILET	SINGLE	T-1	T-2	T-3	P-1	FT-1	FT-2	C-1	8'-0"	8'-0"	NOTE 2, 3

FINISHES	WALL TILE (T)		WALL PAINT (P)		FLOOR TILE (FT)	
	T-1: STYLE: 6"x6" COLOR: TBD	T-2: STYLE: 6"x6" COLOR: TBD	P-1: TYPE: PAINT TYPE 1 COLOR: TBD	P-2: TYPE: PAINT TYPE 2 COLOR: TBD	FT-1: STYLE: 12"x12" COLOR: TBD	FT-2: STYLE: 6"x6" COLOR: TBD
CEILING INFO	CEILING TYPES (C)		NOTES			
	C-1: 2"x2" CEILING PANELS WITH NEW GRID	C-2: 2"x2" CEILING PANELS WITH NEW GRID	1. ALTERNATE #1 (MS): ALL WALLS AND TRIM TO RECEIVE (1) COAT PRIMER AND (2) COATS FINISH. SEE SPECIFICATIONS FOR FURTHER INFORMATION.	2. SEE PLANS, ELEVATIONS AND SPECIFICATIONS FOR MORE INFORMATION. SEE SHEET A1.01MS FOR WALL AND FLOOR TILE PATTERN.		

PARETTE
SOMJEN



ARCHITECTS
A LIMITED LIABILITY CORPORATION

439 Route 46 East
Rockaway, NJ 07866
Tel: 973.586.2400
fax: 973.586.2401
www.planePSA.com

IMPROVEMENTS FOR THE
MILLBURN BOARD OF EDUCATION:
RESTROOM RENOVATIONS AT
GLENWOOD ELEMENTARY SCHOOL
325 TAYLOR ROAD SOUTH
SHORT HILLS, NJ 07075
BLOCK: 2002 LOT: 28

State Plan No: 13-3190-070-16-2000

REV DATE REMARK

1 Marc R. Parette A.L.A.

NCARB Registration
New Jersey Architect
New York Architect
Pennsylvania Architect
Maryland Architect
New Jersey Planner
Alabama Architect
Louisiana Architect
Florida Architect
Michigan Architect
Nevada Architect

4234
10455
05112
0147848
10405
4981
9996
6261
AR 91531
1301073853
0311

2 Gregory J. Somjen A.L.A.

NCARB Registration
New Jersey Architect
Massachusetts Architect
Delaware Architect
Virginia Architect
Connecticut Architect
New York Architect
Nevada Architect

47776
13369
9629
66105
0401 011210
10222
052455-1
4289

3 John D. Carton A.L.A.

New Jersey Architect

11723

4 Rachel Tieddmann R.A.

New Jersey Architect

10523

DRAFT
2017-05-25

SIGNATURE

OVERALL LOWER
LEVEL PLAN

THIS SCALE REPRESENTS THE DRAWING AS ONLY VALID
IF THE DRAWING IS 11" X 17" OR LARGER WITH A 1/8" SCALE
PRINTED AT THE TOP RIGHT OF THE SHEET.

DATE: PROJECT NUMBER: SHEET NUMBER:

DATE: PROJECT NUMBER: SHEET NUMBER:

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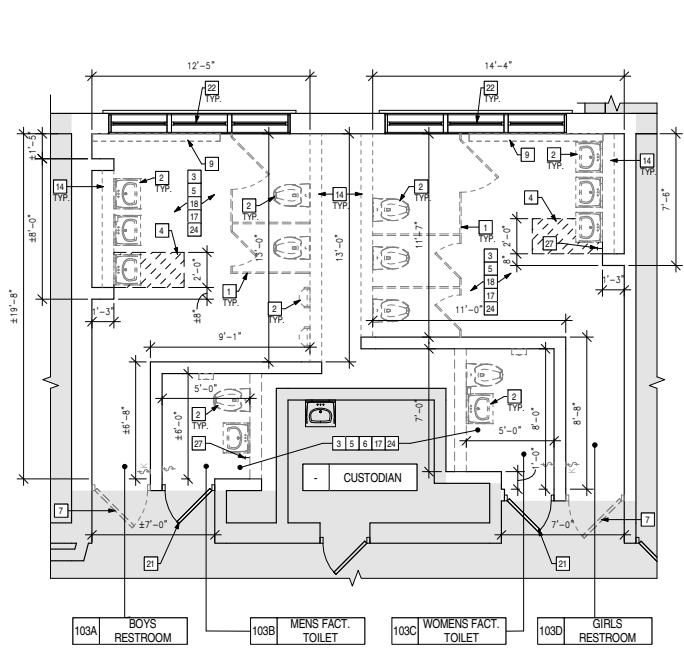
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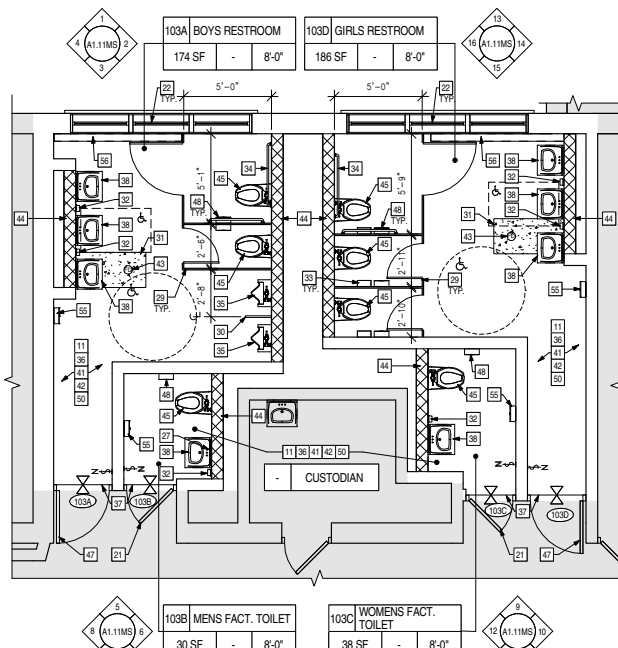
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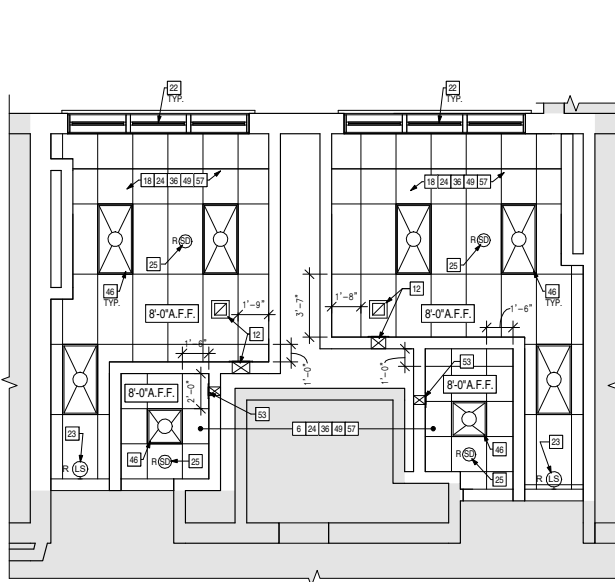
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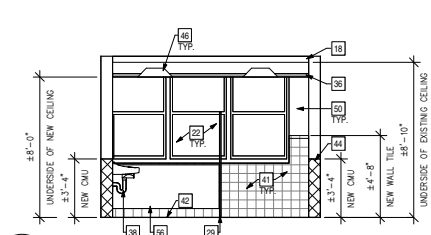
A 103A,B,C,D DEMO. PLAN SCALE: 1/4" = 1'-0"



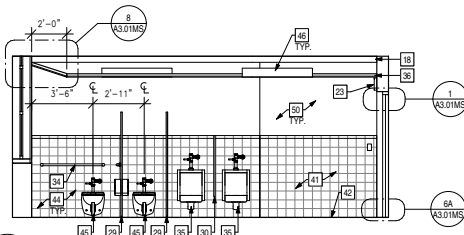
B 103A,B,C,D CONST. PLAN SCALE: 1/4" = 1'-0"



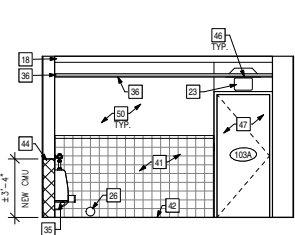
C 103A,B,C,D R.C.P. SCALE: 1/4" = 1'-0"



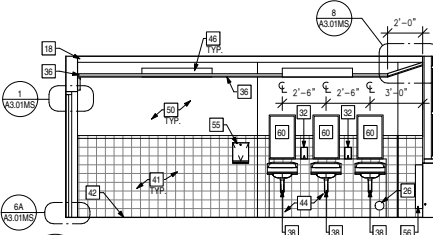
1 103A WEST SCALE: 1/4" = 1'-0"



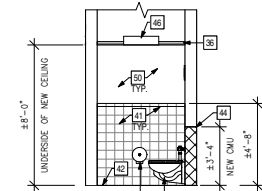
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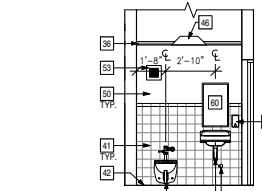
3 103A EAST SCALE: 1/4" = 1'-0"



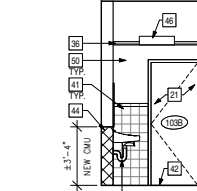
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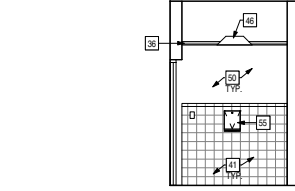
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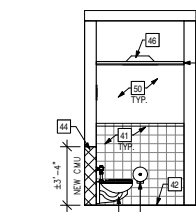
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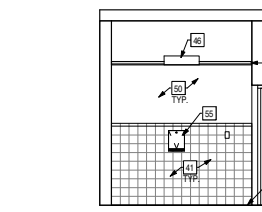
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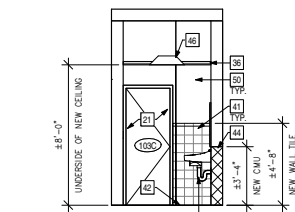
8 103B SOUTH SCALE: 1/4" = 1'-0"



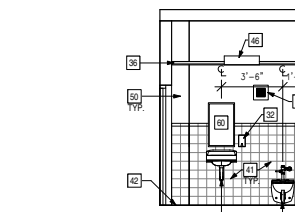
9 103C WEST SCALE: 1/4" = 1'-0"



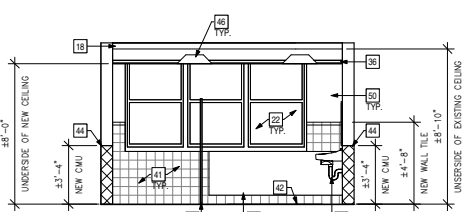
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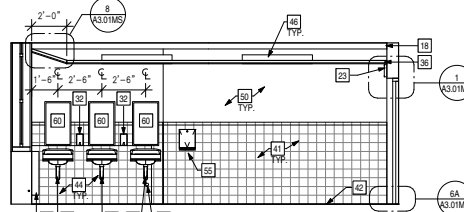
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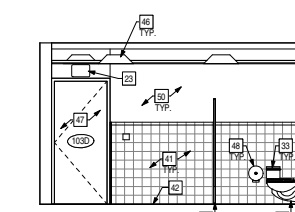
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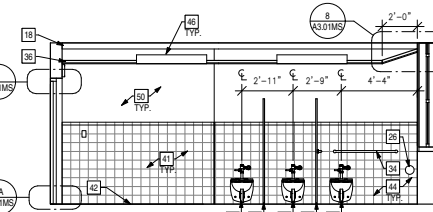
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14 103D NORTH SCALE: 1/4" = 1'-0"



15 103D EAST SCALE: 1/4" = 1'-0"



16 103D SOUTH SCALE: 1/4" = 1'-0"

GENERAL NOTES:

REFER TO DRAWING A1.02MS FOR GENERAL NOTES.

SCOPE OF WORK:

REFER TO DRAWING A1.01MS FOR SCOPE OF WORK.

SYMBOL LEGEND:

REFER TO DRAWING A1.02MS FOR SYMBOL LEGEND.

DRAWING NOTES:

"THESE NOTES APPLY TO THIS DRAWING ONLY"

- REMOVE EXISTING TOILET PARTITIONS, ALL ASSOCIATED HARDWARE, AND ASSOCIATED TOILET ACCESSORIES IN THEIR ENTIRETY INCLUDING, BUT NOT LIMITED TO, TOILET TISSUE DISPENSERS, SANITARY NAPKIN DISPOSALS, AND GRAB BARS. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- REMOVE EXISTING PLUMBING FIXTURES & ACCESSORIES INCLUDING, BUT NOT LIMITED TO, TRASH RECEPTACLES, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, LAVATORIES, WATER CLOSETS, URINALS, MIRRORS, ETC. MODIFY EXISTING PIPING TO REMAIN TO ACCOMMODATE NEW FUTURE LAYOUT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- REMOVE EXISTING FLOORING TO SOUND SUBSTRATE. REMOVE ALL BASE TRIM. PATCH SUBSTRATE AS REQUIRED TO RECEIVE NEW FLOORING. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION. REFER TO FINISH PLANS FOR ADDITIONAL INFORMATION.
- SAW-OUT AND REMOVE EXISTING CONCRETE SLAB. EXISTING EARTH TO BE RE-COMPACTED PRIOR TO NEW SLAB CONSTRUCTION.
- REMOVE EXISTING WALL FINISHES IN THEIR ENTIRETY. PATCH WALL AS REQUIRED TO RECEIVE NEW FINISHES. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION. REFER TO FINISH PLANS FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING CEILING GRID, TILES, LIGHT FIXTURES, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY.
- REMOVE EXISTING DOOR, HARDWARE AND THRESHOLD IN THEIR ENTIRETY. PREPARE EXISTING FRAME TO RECEIVE NEW DOOR, HARDWARE, & THRESHOLD. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- NOT USED
- REMOVE EXISTING RADIATOR/FIN-TUBE ENCLOSURE IN ITS ENTIRETY. PATCH AND PREPARE ADJACENT SURFACES TO RECEIVE NEW FINISHES.
- NOT USED
- SCAFFRY EXISTING SLAB AS REQUIRED TO INSTALL NEW FLOORING SYSTEM. PROVIDE SKIM COAT PRIOR TO INSTALLATION OF NEW FLOOR TILES. FILL ALL VOIDS IN FLOOR.
- FIELD FABRICATE DUCT TO ROUTE EXISTING EXHAUST WALL REGISTER TO NEW CEILING MOUNTED EXHAUST REGISTER. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- NOT USED
- REMOVE EXISTING WALL CONSTRUCTION AS NECESSARY TO ACCOMMODATE NEW AND ALTERED PIPING FOR NEW FUTURE LAYOUT. PATCH AND REPAIR ADJACENT SURFACES AND PREPARE FOR NEW CONSTRUCTION. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.
- NOT USED
- NOT USED
- PATCH AND REPAIR ALL EXISTING SURFACES. PREPARE TO RECEIVE NEW FINISHES.
- EXISTING PLASTER CEILING TO REMAIN. ALL EXISTING CEILING MOUNTED ACCESSORIES TO BE REMOVED IN THEIR ENTIRETY AND DISCARDED UNLESS OTHERWISE NOTED.
- NOT USED
- NOT USED
- EXISTING DOOR, FRAME, HARDWARE, THRESHOLD, AND ALL ASSOCIATED COMPONENTS TO REMAIN. MODIFY IF NECESSARY TO ACCOMMODATE NEW/MODIFIED EXHAUST SYSTEM. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION. REFER TO DOOR SCHEDULE FOR MORE INFORMATION. PAINT WITH (1) COAT PRIMER, (2) COATS FINISH PAINT. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
- EXISTING WINDOW, FRAME, HARDWARE, AND ALL ASSOCIATED COMPONENTS TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- EXISTING LOUD SPEAKER TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION. RELOCATE AS NECESSARY TO ACCOMMODATE NEW CEILING.
- MODIFY EXISTING EXHAUST SYSTEM. REMOVE ALL EXISTING EXHAUST REGISTERS/OFUSERS. PATCH AND REPAIR ANY DAMAGED SURFACES. PREPARE TO RECEIVE NEW FINISH. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- CAREFULLY REMOVE EXISTING SMOKE DETECTOR AND RELOCATE INTO NEW CEILING. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- REMOVE EXISTING CLEANOUT AND REPLACE WITH NEW.
- REMOVE EXISTING HOSE BIB AND REPLACE WITH NEW IN PREVIOUS LOCATION. RELOCATE AS NECESSARY TO ACCOMMODATE NEW ADJACENT FIXTURE LOCATION.
- SAW-OUT AND REMOVE EXISTING WALL TO EXTENT INDICATED FOR INSTALLATION OF NEW DOOR. REMOVE AND RELOCATE ANY ELECTRICAL COMPONENTS IN WALL TO ACCOMMODATE NEW CONSTRUCTION.
- PROVIDE AND INSTALL NEW TOILET PARTITION. REFER TO ACCESSORY SCHEDULE FOR ADDITIONAL INFORMATION.
- PROVIDE AND INSTALL NEW 19"(D) X 42"(H) 3/4" URINAL SCREEN INSTALLED 18" A.F.F. PROVIDE (3) BRACKETS PER SCREEN.
- PROVIDE AND INSTALL NEW 1000 PSI CONCRETE AT AREA OF TRENCHING. POUR OVER COMPACT FILL AND 6" OF 3/4" CLEAN CRUSHED STONE. INFILL AFTER INSTALLATION OF PIPING. FLOAT NEW SLAB TO HEIGHT OF ADJACENT FLOORING. PREPARE SURFACE TO RECEIVE NEW FINISH. REFER TO FINISH PLANS FOR ADDITIONAL INFORMATION.
- INSTALL NEW SOAP DISPENSER. PROVIDED BY CLIENT. CENTER BETWEEN MIRRORS WHEN APPLICABLE. MOUNT PER APPLICABLE CODES.
- PROVIDE AND INSTALL NEW SANITARY NAPKIN DISPOSAL. MOUNT PER APPLICABLE CODES. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
- PROVIDE AND INSTALL NEW GRAB BARS. PROVIDE BLOCKING AS REQUIRED. MOUNT PER APPLICABLE CODES.
- PROVIDE AND INSTALL NEW WALL-MOUNTED URINAL. PROVIDE NEW SUPPLY, WASTE, AND VENT LINES TIED TO EXISTING AS REQUIRED TO ACCOMMODATE NEW LAYOUT. MODIFY EXISTING CHASE WALL AS NECESSARY TO ACCOMMODATE NEW FIXTURE. REFER TO PLUMBING FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION.
- PROVIDE AND INSTALL NEW SUSPENDED ACOUSTIC CEILING GRID, TILES, WIRING, AND ASSOCIATED HARDWARE. SECURE TO STRUCTURE ABOVE. COORDINATE WITH EXISTING WINDOWS AS NECESSARY. REFER TO FINISH SCHEDULE, DETAILS AND SPECIFICATIONS FOR MORE INFORMATION.
- PROVIDE AND INSTALL NEW ACCESSIBLE MARBLE SADDLE. WIDTH PER DOOR OPENING. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- PROVIDE AND INSTALL NEW WALL-MOUNTED LAVATORY WITH METEDED FAUCET AND WALL CARRIER. PROVIDE NEW SUPPLY, WASTE, AND VENT LINES TIED TO EXISTING AS REQUIRED TO ACCOMMODATE NEW LAYOUT. INSULATE ALL PIPES, TYPICAL. REFER TO PLUMBING FIXTURE SCHEDULE, DETAILS AND PLUMBING DRAWINGS FOR MORE INFORMATION.
- NOT USED
- NOT USED
- PROVIDE AND INSTALL NEW WALL TILE. REFER TO ELEVATIONS AND PROJECT FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- PROVIDE AND INSTALL NEW FLOOR TILE. REFER TO PROJECT FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- PROVIDE AND INSTALL NEW FLOOR DRAIN. PROVIDE DEPRESSED SLAB AROUND NEW FLOOR DRAIN MINIMUM 12" RADIUS. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- PROVIDE AND INSTALL NEW CMU IN AREAS WHERE EXISTING WALL WAS REMOVED. PREPARE WALL TO RECEIVE NEW FINISHES.
- PROVIDE AND INSTALL NEW WALL-MOUNTED WATER CLOSET. PROVIDE NEW SUPPLY, WASTE, AND VENT LINES TIED TO EXISTING AS REQUIRED TO ACCOMMODATE NEW LAYOUT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- PROVIDE AND INSTALL NEW LAY-IN LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS AND SCOPE SCHEDULE FOR MORE INFORMATION.
- PROVIDE AND INSTALL NEW DOOR, HARDWARE AND ALL ASSOCIATED COMPONENTS INTO EXISTING FRAME. EXISTING FRAME TO BE PAINTED. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- INSTALL NEW TOILET PAPER DISPENSER. PROVIDED BY CLIENT. MOUNT PER APPLICABLE CODES.
- NEW HEAT DETECTOR LOCATED ABOVE NEW CEILING. NOT IN CONTRACT, TO BE COORDINATED AND INSTALLED BY OTHERS.
- PAINT NEW AND EXISTING WALL CONSTRUCTION NOT COVERED BY WALL TILE WITH (1) COAT PRIMER, (2) COATS FINISH PAINT. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
- NOT USED
- PROVIDE AND INSTALL NEW EXHAUST REGISTER/GRILLE INTO CEILING AND CONNECTED TO MECHANICAL SYSTEM ABOVE. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- PROVIDE AND INSTALL NEW REGISTER INTO WALL IN PREVIOUS EQUIPMENT LOCATION. MODIFY EXISTING WALL PENETRATION AS NECESSARY TO ACCOMMODATE NEW EQUIPMENT. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- NOT USED
- INSTALL NEW PAPER TOWEL DISPENSER. PROVIDED BY CLIENT. MOUNT PER APPLICABLE CODES.
- PROVIDE AND INSTALL NEW RADIATOR/FIN-TUBE COVERS OVER EXISTING EQUIPMENT. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
- NEW HORN AND STROBE. NOT IN CONTRACT, TO BE COORDINATED AND INSTALLED BY OTHERS.
- NOT USED
- PROVIDE AND INSTALL NEW 18" X 30" MIRROR. MOUNT PER APPLICABLE CODES, CENTER ON LAVATORY. REFER TO SPECIFICATIONS FOR MORE INFORMATION.

2017
Milburn Restroom Renovations

REV

NO

NO

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NO

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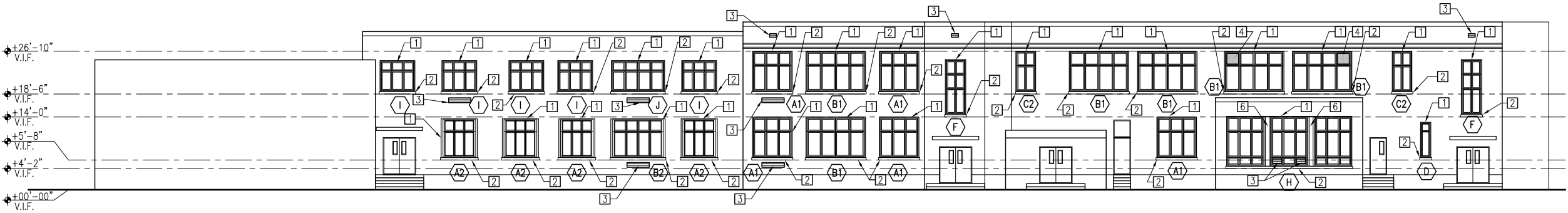


Stony Brook Window Replacement
2014

Architect:
William Banister
Manager:
Kenneth Mieles
Programs Used:
AutoCAD

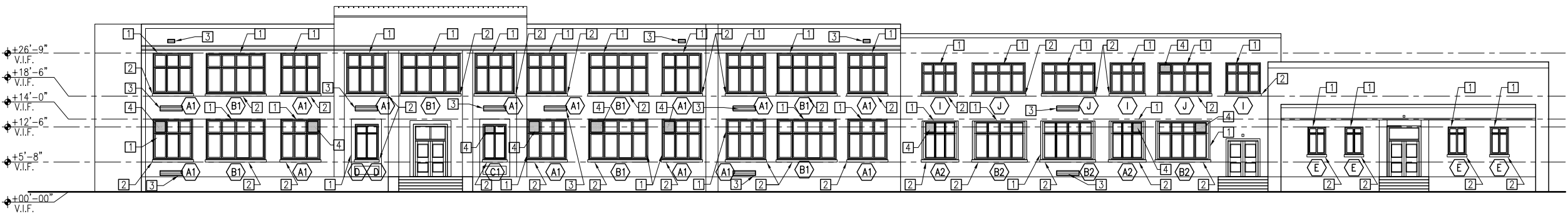
Scope of Work:
The removal and replacement of existing windows through school.
Responsibilities:
Survey & drafting of existing conditions. Drafting of 100% of drawing set to 75% completion before review. Coordination & review of consultant's drawings. Updating of the project bidding & issuing of addendums. Filing & organizing of construction administration documents. Creation of punchlist for substantial completion.





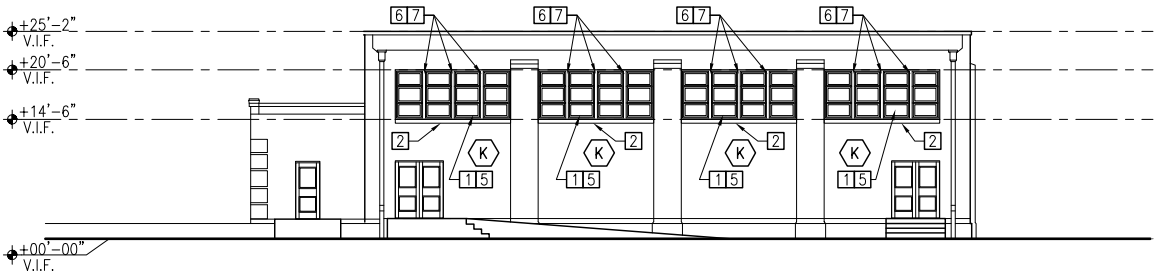
1 SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



2 NORTH ELEVATION

SCALE: 3/32" = 1'-0"

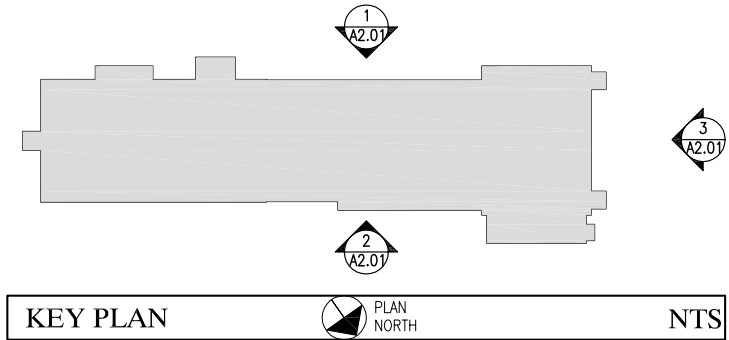


3 WEST ELEVATION

SCALE: 3/32" = 1'-0"

SYMBOL LEGEND:

- WINDOW / FRAME TYPE, SEE WINDOW ELEVATIONS.
- INDICATES NEW 1" INSULATED METAL PANEL, PAINTED SMOOTH ALUMINUM FACE, SEE SPECIFICATIONS. PROVIDE AT VARIOUS A/C LOCATIONS.
- INDICATES EXISTING U/V FRESH AIR INTAKE PANEL



GENERAL NOTES:

- CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED CONDITIONS TO EXISTING BUILDING AND SITE IF DAMAGED DURING CONSTRUCTION TO MATCH EXISTING AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL PATCH, REPAIR, AND/OR REPLACE EXISTING CONSTRUCTION, WHERE REQUIRED BY NEW CONSTRUCTION, TO PROVIDE "AS NEW" SURFACES TO MATCH AND MEET ADJACENT CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING A WEATHER TIGHT INSTALLATION BY THE SUBSTANTIAL COMPLETION DATE.
- PROVIDE SHOP DRAWINGS AND/OR SUBMITTALS FOR ARCHITECT'S REVIEW PRIOR TO INSTALLATION OF ALL WINDOWS, ACCESSORIES, HARDWARE, MILLWORK AND FINISHES. PROVIDE ADDITIONAL SHOP DRAWINGS / SUBMITTALS AS REQUIRED BY SPECIFICATIONS.

DEMOLITION NOTES:

- REMOVE ALL EXISTING WINDOW SYSTEMS AND CAULK (AS DESIGNATED IN SCOPE) AND PREPARE MASONRY OPENINGS AS REQUIRED TO ACCEPT NEW SYSTEMS.
- COORDINATE SALVAGE AND STORAGE OR DISPOSAL OF ALL REMOVED ITEMS WITH THE BOARD OF EDUCATION REPRESENTATIVE PRIOR TO PROJECT COMMENCEMENT.
- ALL WINDOW A/C UNITS ARE TO BE REMOVED, STORED, AND REINSTALLED AT PROJECT COMPLETION, AT SAME LOCATION.
- U/V FRESH AIR INTAKE GRILLES TO REMAIN. CONTRACTOR TO PROTECT DURING ALL PHASES OF CONSTRUCTION TO PREVENT POLLUTANTS FROM ENTERING THE BUILDING, TYPICAL.
- REPAIR ALL DAMAGED EXTERIOR AND INTERIOR JAMBS, SILLS, & HEAD LOCATIONS IN AREAS OF WORK AS REQ'D TO MATCH EXISTING.

CONSTRUCTION NOTES:

- 1 NEW ALUMINUM WINDOW FRAME SYSTEM W/ INSULATED GLAZING. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
- 2 EXISTING WINDOW SILL TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION, TYPICAL. CONTRACTOR TO REPAIR/REPLACE IF DAMAGED BY CONSTRUCTION. ARCHITECT TO APPROVE MATERIAL TO MATCH.
- 3 EXISTING U/V FRESH AIR INTAKE GRILLES TO REMAIN. CONTRACTOR TO PROTECT GRILLES AND PREVENT POLLUTANTS FROM ENTERING THE BUILDING DURING CONSTRUCTION, TYPICAL.
- 4 EXISTING A/C UNIT TO BE REMOVED, STORED IN A SECURE PLACE, AND REINSTALLED UPON COMPLETION OF WINDOW INSTALLATION. RECONNECT A/C UNIT TO EXISTING ELECTRICAL SERVICE.
- 5 **ALTERNATE 1:** REMOVE GLASS BLOCK AT MULTIPURPOSE ROOM. PREPARE MASONRY OPENING AS REQUIRED TO RECEIVE NEW WINDOW SYSTEM.
- 6 PROVIDE ALUMINUM COLUMN COVER TO MATCH WINDOW ASSEMBLY.
- 7 PROVIDE NEW 4" DIAMETER SQUARE COLUMN BOLTED TO EXISTING STEEL AND MASONRY SILL.

FO

NO

REV

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- ☐ G
- ☐ W

SIGNATURE

THE SCALE OF THE PLOTTER
WB PROJECT
MK
DRAWN BY
5673
PROJECT
15 JUL
RELEASE



2014
Stony Brook Window Replacement



Kelly Residence
2011

Architect:
Robert Algarin

Programs Used:
DataCAD

Scope of Work:
Demolition of existing house to foundation & construction of new house on existing foundation.

Responsibilities:
Drafting of construction documents. Design to roof slopes. Building of physical model.



FRONT ELEVATION

1/4" = 1'-0"

PRELIMINARY
5 - 08 - 11
5 - 21 - 11
6 - 07 - 11

KELLY RESIDENCE
REBUILD/EXPAND EXISTING HOUSE
1249 PROSPECT STREET
WESTFIELD, NJ

ROBERT ALGARIN
ARCHITECT
225 LENOX AVENUE
WESTFIELD, NJ 07090
PHONE: 908 232 2225
FAX: 908 753 0235
www.robertalgarinarchitect.com

DRAWN BY: x
DATE: x

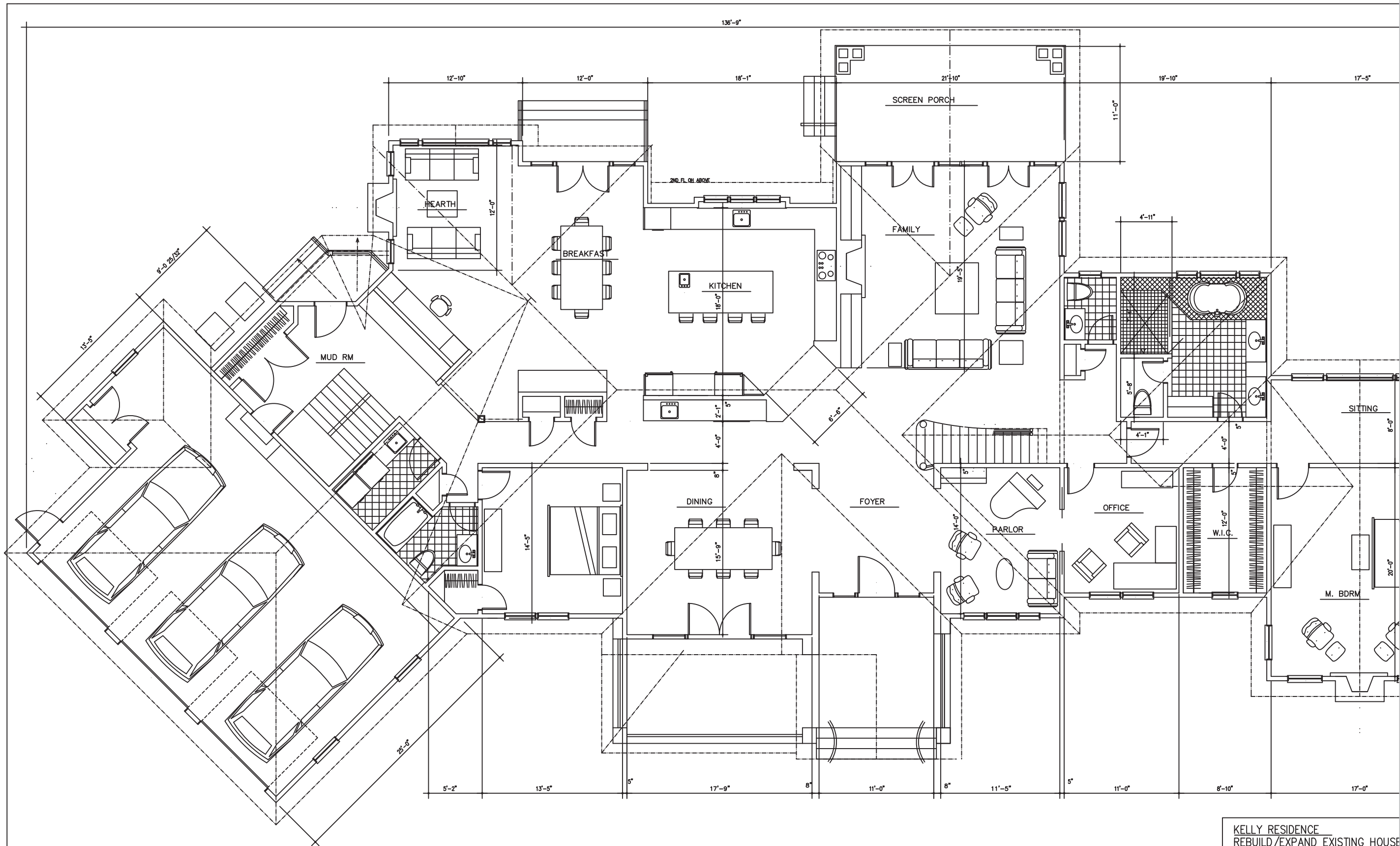
SEAL:

NJ LIC. NO. 09949

DRAWING NO.

1 OF 1

A-1



FIRST FLOOR PLAN

1/4" = 1'-0"

5/21/11 4,010 SF
 F TO F 16R@73/4=10-4
 15T@9.5=11-10 1/2

PRELIMINARY
 5 - 08 - 11
 5 - 21 - 11
 6 - 07 - 11

KELLY RESIDENCE REBUILD/EXPAND EXISTING HOUSE 1249 PROSPECT STREET WESTFIELD, NJ	
ROBERT ALGARIN ARCHITECT 225 LENOX AVENUE WESTFIELD, NJ 07090 PHONE: 908 232 2225 FAX: 908 753 0235 www.robertalgarinarchitect.com	SEAL: NJ LIC.
DRAWN BY: x DATE: x	DRAWN: 1 OF 1

2011
 Kelly Residence

