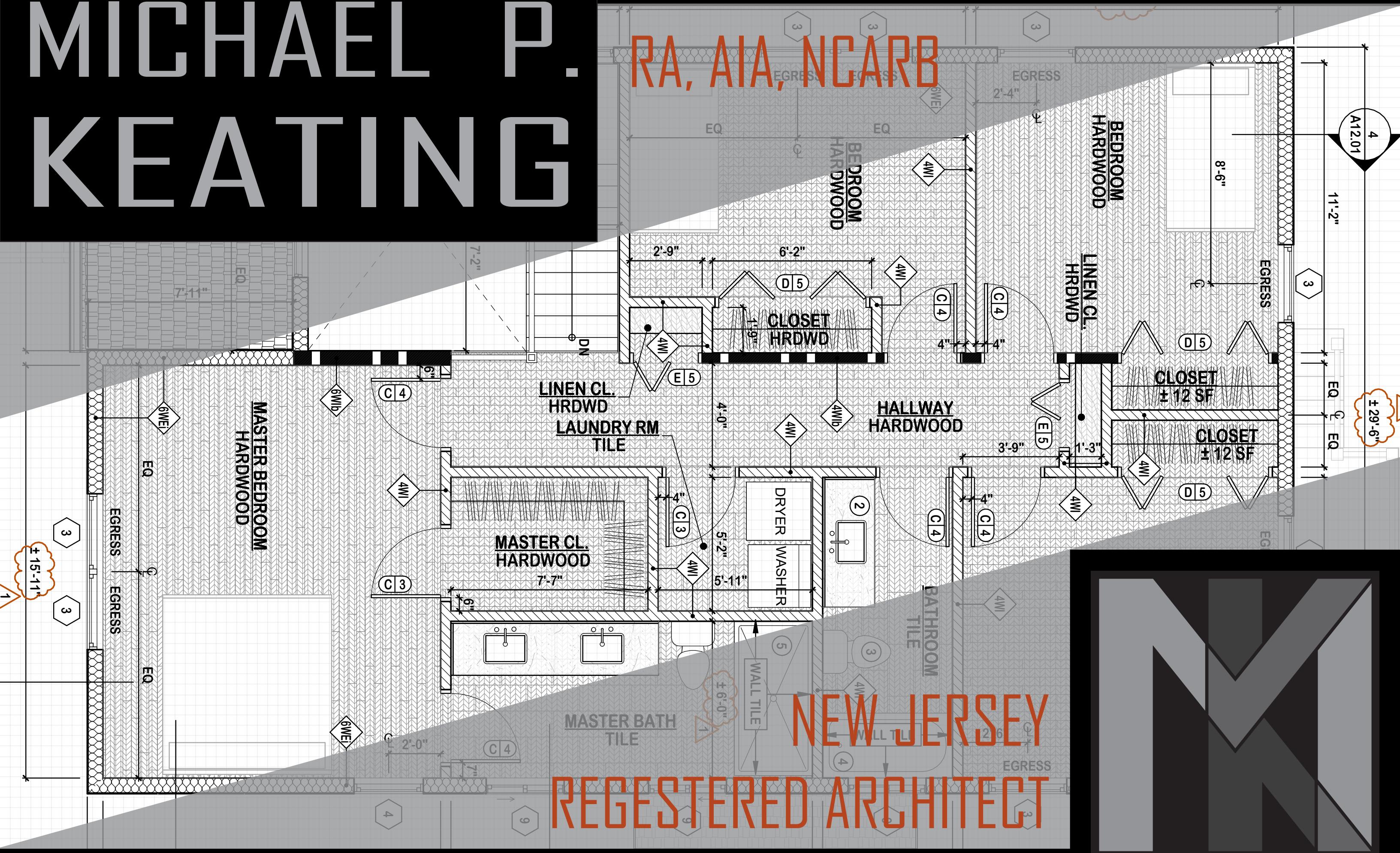


MICHAEL P. KEATING

RA, AIA, NCARB

NEW JERSEY DARCHITECT





Architect on Record:
Roberto Martinez
Project Architect:
Michael Keating
Programs Used:
Revit

Scope of Work:

New building with Office Space, Vehicle Service Areas, & Warehouse Storage.

Responsibilities:

Drafting of 100% of drawing set to 95% completion before review. Coordination & review of other team member's drawings. Construction Administration services, including: Submittal Reviews, RFI Responses, Site Observations, Construction Drawing Revisions, Project Completion Punchlist.



2024-2025 Straight Edge Striping





Architect on Record:
Roberto Martinez
Project Architect:
Michael Keating
Programs Used:
Revit

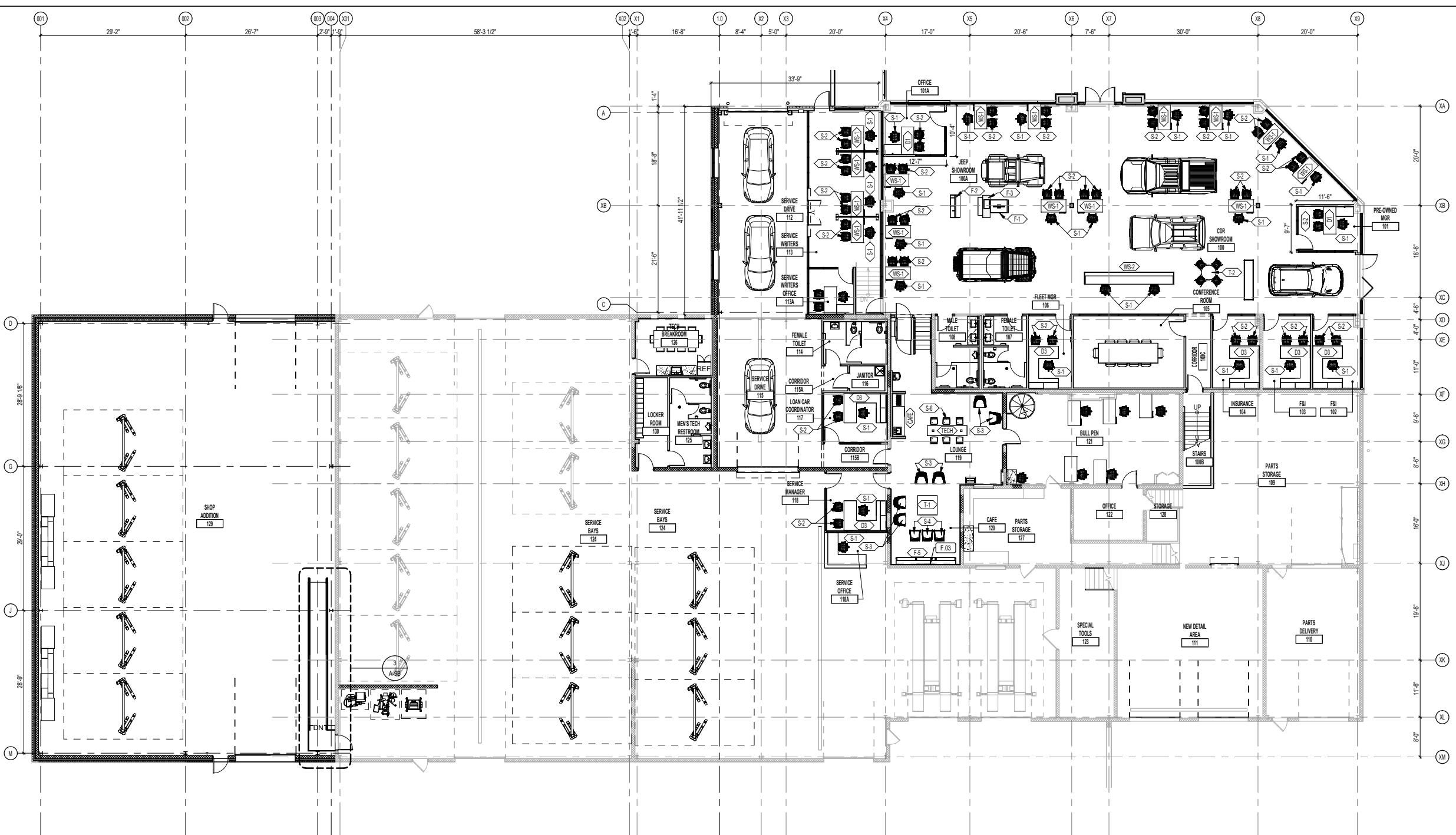
Scope of Work:

Renovation of exting showroom & addition of service area.

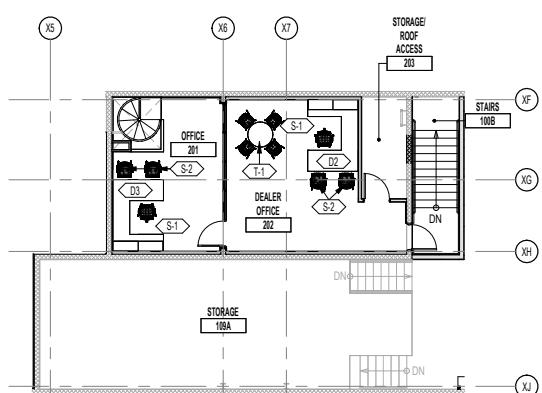
Responsibilities:

Drafting of 100% of drawing set to 95% completion before review. Coordination & review of other team member's drawings. Construction Administration services, including: Submittal Reviews, RFI Responses, Site Observations, Construction Drawing Revisions, Project Completion Punchlist.





A GROUND FLOOR FURNITURE/OUTLET PLAN
SCALE: 3/32" = 1'-0"



B MEZZANINE FURNITURE/OUTLET PLAN
SCALE: 3/32" = 1'-0"

GENERAL FURNITURE LEGEND:

ROOM NAME	101	ROOM NUMBER
COLUMN GRID	0	
REVISION INDICATOR	X	
DETAIL INDICATOR	1	A-9A TYP.
SECTION INDICATOR	1	1 A101
FIXTURE & FURNITURE INDICATOR BY OWNER VENDOR	X	WS-1
GRAPHICS INDICATOR BY OWNER VENDOR	X	

GENERAL FURNITURE NOTES:

1. THIS DRAWINGS IS FOR REFERENCE ONLY.
2. FURNITURE SPECIFICATIONS AND LOCATIONS NOT FINAL.

KEY NOTES:

XX MILLWORK PLANK ACCENT OVER TRAIL WALL TO UNDERSIDE CEILING.

FURNITURE & FIXTURE SCHEDULE

TYPE NO.	DESCRIPTION
BY FIXTURE VENDOR	
F-1	RETAIL EXPLORATION TABLE
F-2	RETAIL PRODUCT VIGNETTE
F-3	RETAIL MERCHANT STACKING TABLE
F-4	RETAIL MERCHANT STACKING TABLE
F-5	RETAIL TRAIL WALL
F-6	PLANTER BOX
F-7	NEW VEHICLE DELIVERY PLANTERS
MGR	SALES MANAGER DESK
MGR-2	SALES MANAGER DESK, 2 PERSON
MGR-3	SALES MANAGER DESK, 3 PERSON
MNTN	JEEP MOUNTAIN BY MSI
PLNT-2	BAMBOO / GLASS CASE BY PLANTERRA
PLNT-3	FAUX GRASS PLANTER BY PLANTERRA
RCPT-C	RECEPTION CREDENZA
RCPT-D	RECEPTION DESK
SW-1	SERVICE PODIUM, JEEP
TECH	TECH BAR, JEEP
WGNR	WAGONEER DISPLAY, BY MSI
BY FURNITURE VENDOR	
D-1	DESK L-SHAPE
D-2	DESK U-SHAPE
D-3	DESK EXECUTIVE
S-1	CHAIR, TASK
S-2	CHAIR, GUEST
S-3	CHAIR, LOUNGE, LEATHER
S-4	CHAIR, LOUNGE, APOLSTERED
S-5	CHAIR, CAFE
S-6	STOOL, LOUNGE
ST-1	STORAGE, LATERAL FILE
ST-2	STORAGE, WARDROBE
T-1	TABLE, COFFEE
T-2	TABLE, COFFEE, LOW
T-3	TABLE, CAFE, HIGH
WS-1	SALES DESK TERRACE
BY G.C.	
BEVEL	BEVEL, ASIAN AMBER
CAFE	CAFE FIXTURE, CUSTOM
PLNT-2	BAMBOO SURROUND, CUSTOM

2023-2024
John Johnson Jeep



Barrows Family Kitchen Addition 2024

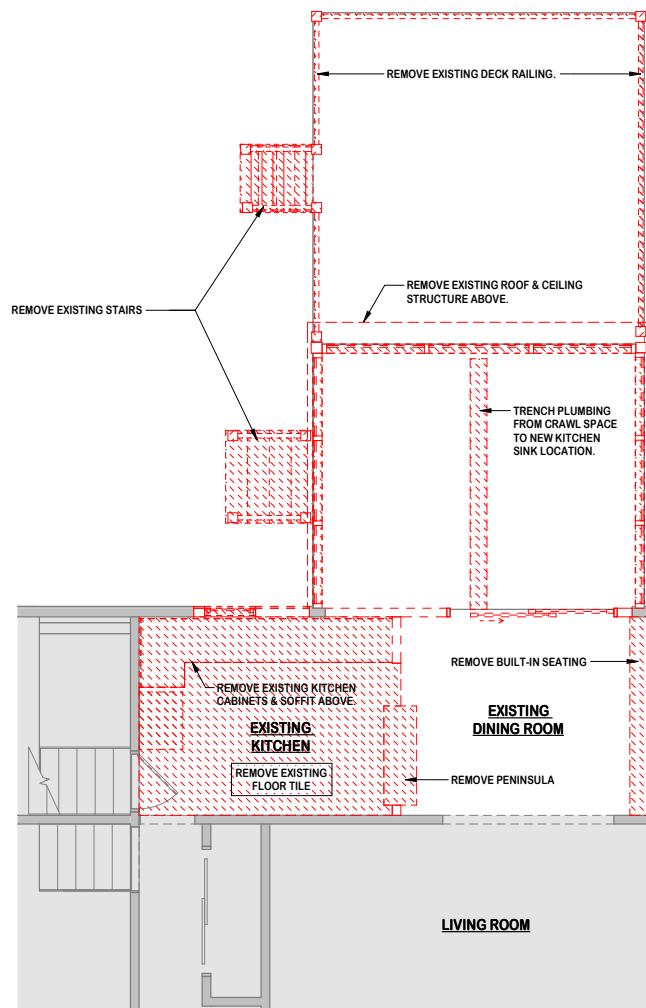


Architect:
Michael Keating
Designer:
Michael Keating
Programs Used:
Revit

Scope of Work:
Conversion of Sunroom into Kitchen Addition

Responsibilities:
Survey & drafting of existing conditions. Design & build overall schematic design options for full house renovation. Drafting of 100% of Construction Documents to 100% completion. Communicating with Township for permit acceptance. Observation & Documentation of the Construction Process. All necessary construction administration as needed throughout construction.





FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:

- ALL DEMOLITION WORK IS TO BE DONE IN COMPLIANCE WITH ALL LOCAL CODES, LAWS AND REGULATIONS. UTILITY LINES ARE TO BE TERMINATED IN AN APPROVED MANNER.
- DEMOLITION DRAWING HAS BEEN PREPARED BASED ON AVAILABLE KNOWLEDGE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND EXAMINE ALL CONSTRUCTION DOCUMENTS IN ORDER TO FULLY DETERMINE THE SCOPE AND INTENT OF THE WORK INVOLVED.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY ANTICIPATING THE ENTIRE EXTENT OF DEMOLITION WORK AND APPORTIONING IT TO THE PROPER TRADE.
- NO BEARING PARTITIONS ARE TO BE REMOVED BEFORE ADEQUATE TEMPORARY SUPPORTS ARE IN PLACE. PROVIDE PROTECTION FOR PEOPLE AND PROPERTY FROM ANY STRUCTURAL FAILURE, ETC. WITH BRACING, SHORING OR NEEDLEING.
- REMOVE EXISTING WORK INDICATED ON DRAWINGS OR AS OTHERWISE SPECIFIED BY THE ARCHITECT. REMOVE ALL DOORS, WINDOWS ETC. CAREFULLY TO ALLOW FOR THEIR POSSIBLE REUSE.
- PROTECT ALL WORK SCHEDULED TO REMAIN DURING DEMOLITION. PATCH AND REPAIR REMAINING CONSTRUCTION AS REQUIRED TO MATCH EXISTING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DEMOLITION PERMITS.
- REPLACE OR REPAIR ALL DAMAGED WORK AREAS EFFECTED BY DEMOLITION OR ALTERATION TO MATCH EXISTING.
- DEMOLISHED MATERIALS/EQUIPMENT WHICH ARE TO BE REUSED ARE TO BE CAREFULLY REMOVED AND STORED IN A PROTECTED AREA.
- UNLESS OTHERWISE NOTED ALL DEMOLISHED MATERIALS/EQUIPMENT ARE TO BECOME THE PROPERTY OF THE CONTRACTOR. NO ON SITE SALES OF MATERIALS WILL BE PERMITTED.
- CONTRACTOR TO FIELD VERIFY ALL WORK WHICH IS TO BE DEMOLISHED.
- ALL ELEC, TELL. & DATA DEVICES SHOWN WITH AN 'EX' ARE EXISTING TO REMAIN

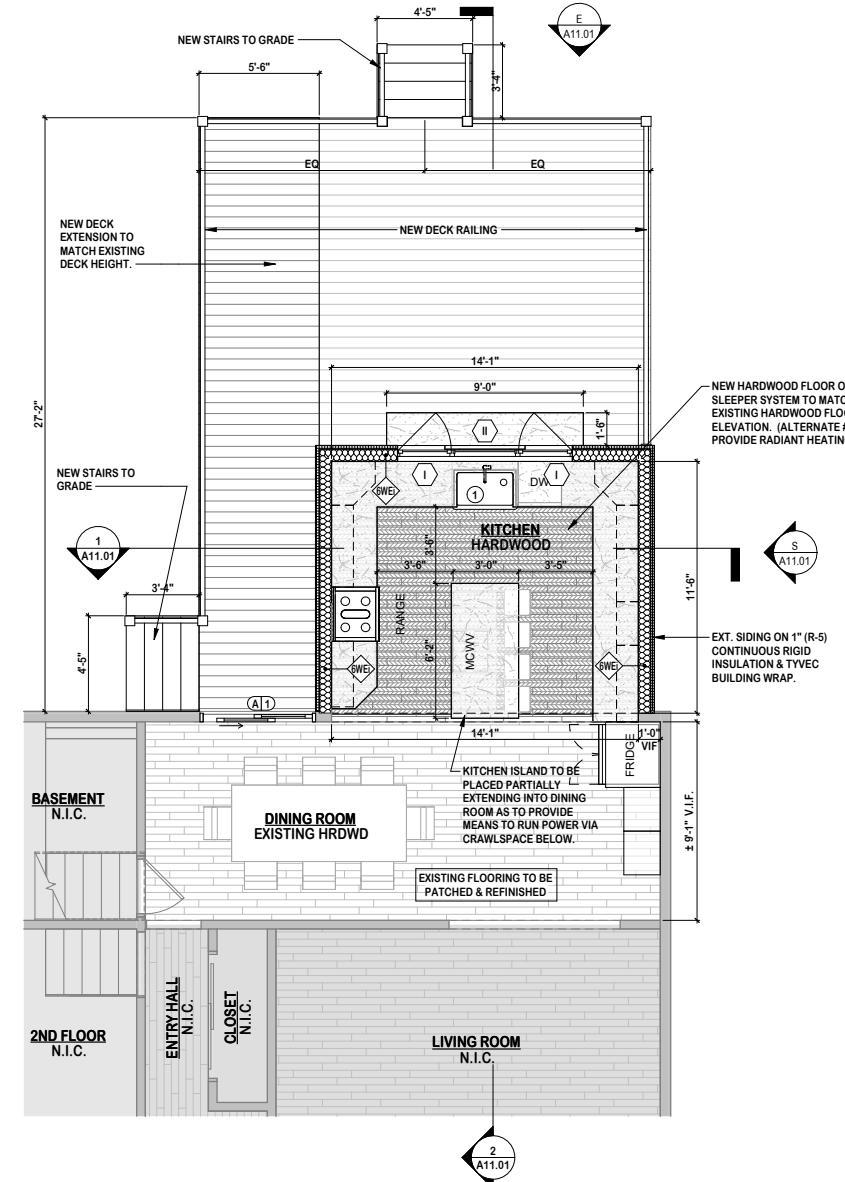
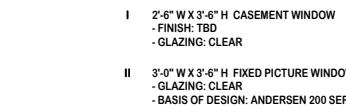
WALL TYPES LEGEND:



PLUMBING LEGEND:



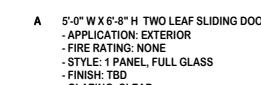
WINDOW LEGEND:



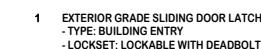
FIRST FLOOR CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

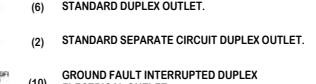
DOOR TYPES LEGEND:



DOOR HARDWARE LEGEND:



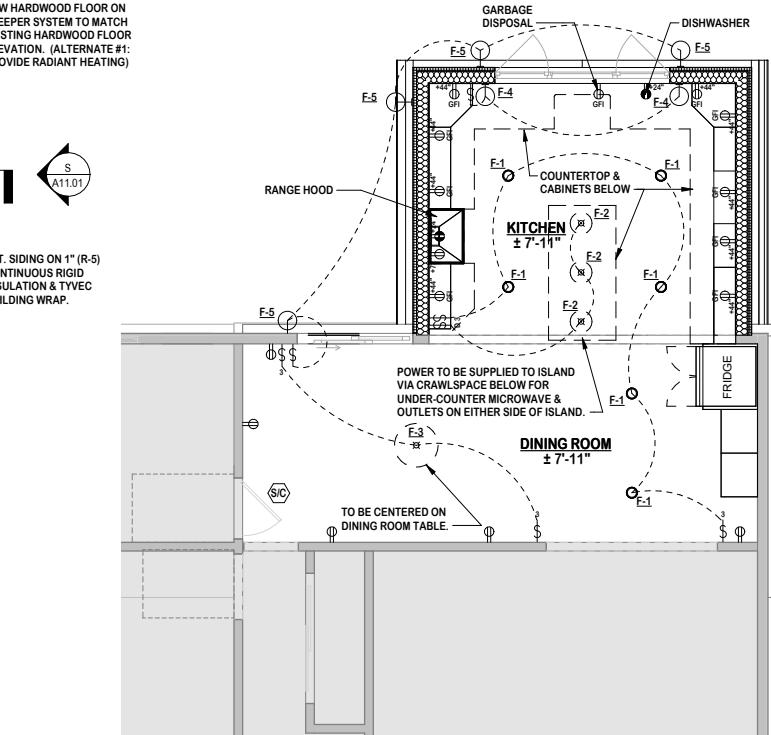
ELECTRICAL LEGEND:



FIRE ALARM LEGEND:



TOTAL COUNT(NEW): 1



FIRST FLOOR CEILING & POWER PLAN

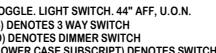
SCALE: 1/4" = 1'-0"

LIGHT FIXTURE LEGEND:



TOTAL FIXTURE COUNT (NEW): 16

LIGHTING CONTROL LEGEND:



TOTAL COUNT(NEW): 7

CONSTRUCTION NOTES:

- SEE A07.01 & A07.02 FOR FRAMING, BEAM, & HEADER SIZES.

ELECTRICAL NOTES:

- IN NO CASE SHALL OUTLETS BE GREATER THAN 6' FROM ANY DOOR OPENING AND NO GREATER THAN 12' (4' IN KITCHEN) BETWEEN EACH OTHER.
- ALL ELEC, TELL. & DATA DEVICES SHOWN WITH AN 'EX' ARE EXISTING TO REMAIN.
- ALL SMOKE AND CO ALARMS TO BE HARDWIRED AND INTERCONNECTED AS PER NJAC 5223-6.32(F2).
- ALL SMOKE AND CO ALARMS NEAR COOKING APPLIANCES TO BE INSTALLED PER IFC 2021, NJ EDITION 6314.3.1.

ELECTRICAL/MECHANICAL EQUIPMENT

EQUIPMENT	PROPOSED	INSTALLED	REMARKS
AIR COND.	CENTRAL AIR	NONE	EXISTING TO REMAIN
FIXTURES	16	-	NEW
HEATING	--	-	EXISTING TO REMAIN
RANGE	GAS	GAS	NEW
RECEPTICALS	18	-	NEW
SERVICE	200 AMP	-	UPGRADE EXISTING
SERVICE PANEL	200 AMP	-	UPGRADE EXISTING
SWITCHES	7	-	NEW
WATER HEATER	--	-	EXISTING TO REMAIN



Architect:
Michael Keating
Designer:
Michael Keating
Programs Used:
Revit

Scope of Work:
Whole House Renovations & 2nd Floor Addition

Responsibilities:
Survey & drafting of existing conditions. Design & build overall schematic design options for full house renovation. Drafting of 100% of Construction Documents to 100% completion. Communicating with Township for permit acceptance. Observation & Documentation of the Construction Process. All necessary construction administration as needed throughout construction.



Litterio Family House Flip

2022

MICHAEL P.
ARCHITECT

66 GAYWOOD AV
COLONIA, NJ
07067

908-418-2148
MIKEAT1NG128@

Seal & Signature:
MICHAEL P. KEATING
NEW JERSEY:

Typical Graphics L

SECTION SUB

DM RR

Project/Client:

HOM
FOR T

Project Location:

322
CRAN
BL

REVISIONS
REMARKS

No.

Drawing Issue:

RE-IS

Typical Drawing Le

FOR REFERENCE ONLY. REFER
A00.01 COVER SHEET
A01.01 TITLE SHEET
A02.01 SECTION NOTES
A03.01 SCHEDULES & DETAIL
A04.01 SITE/GRESS PLANS

Drawing Type
Section Number

Drawing Title/Floor

FRAMI

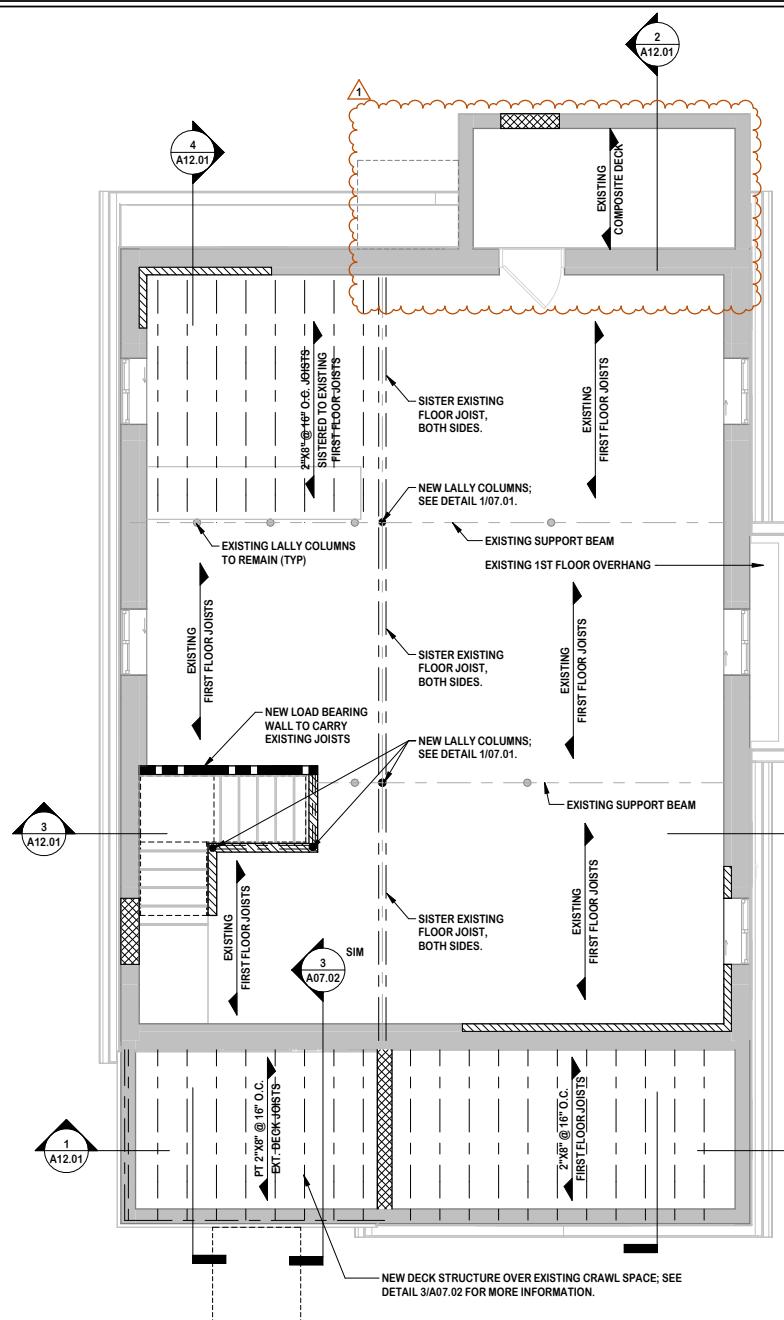
Initial Dwg Date:
2022-07-30

Dwg #:

A0

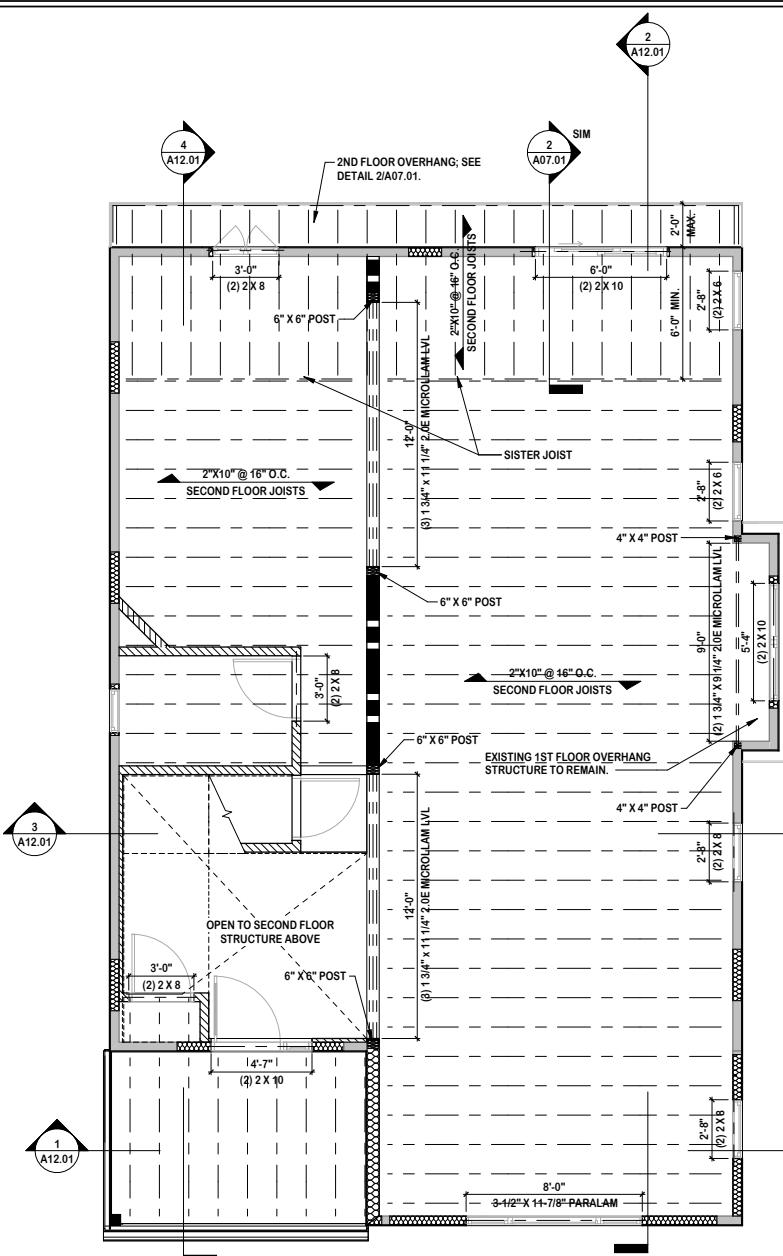
THE SCALE REPRESENTED
IN THIS DRAWING IS
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P. KEATING. THIS D
WHICH ARE NOT
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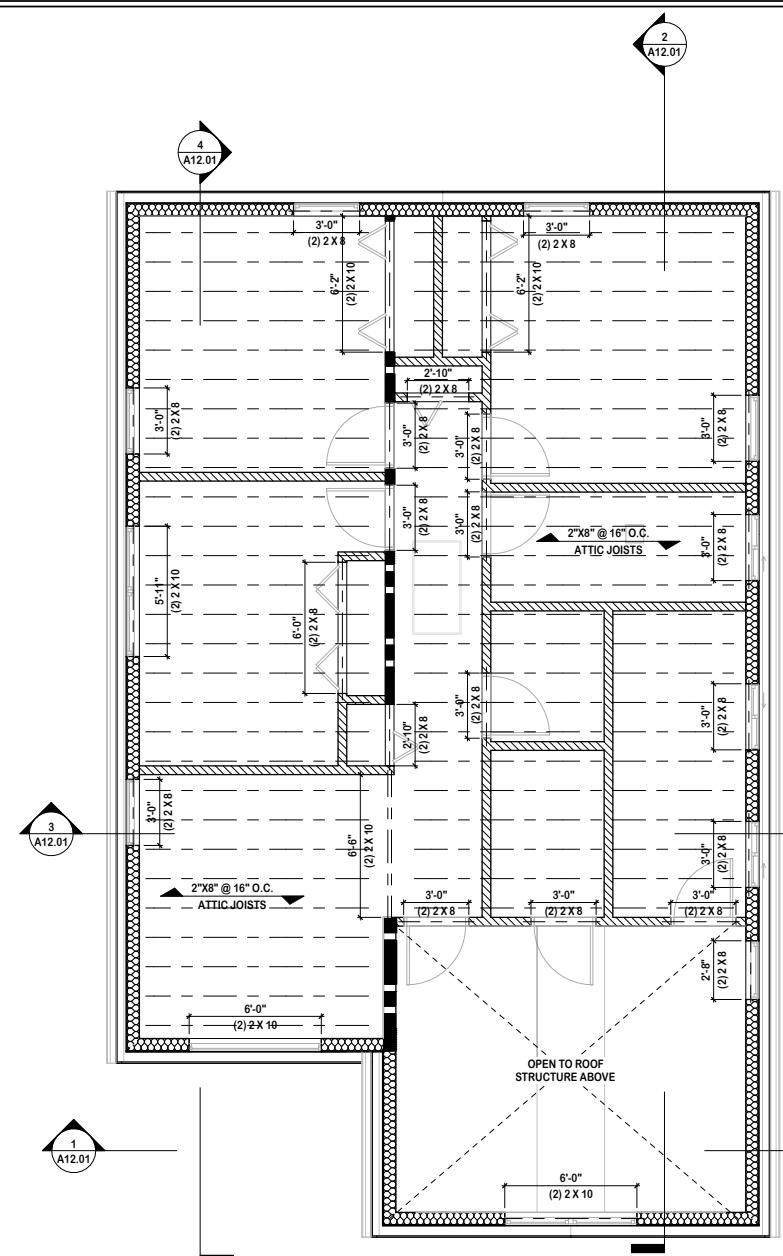
BASEMENT FRAMING PLAN

SCALE: 1/4" = 1'-0"



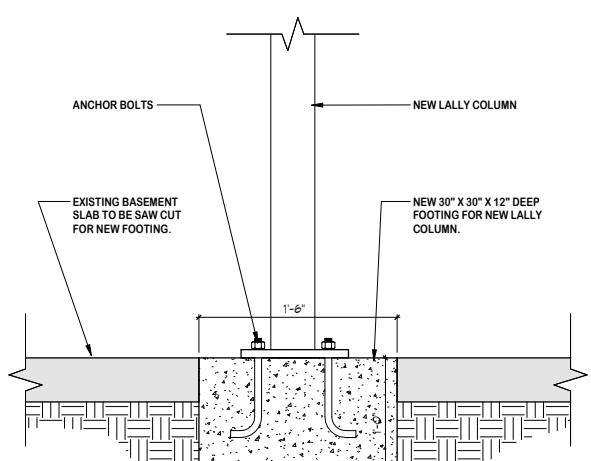
FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



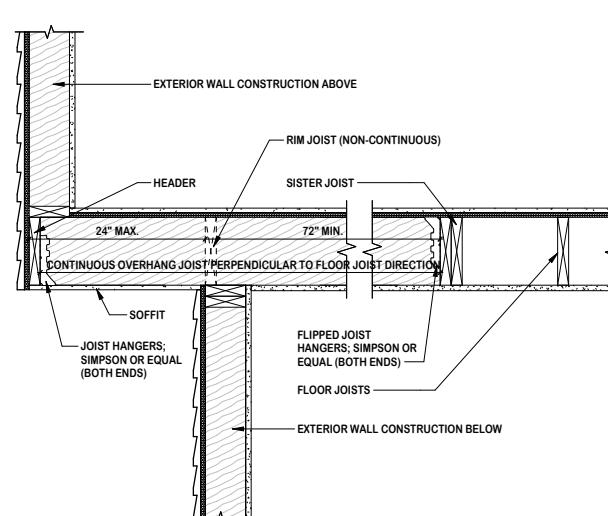
SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



LALLY COLUMN FOOTING

SCALE: 1 1/2" = 1'-0"



FLOOR OVERHANG PERPENDICULAR TO JOIST

SCALE: 1" = 1'-0"

TYPICAL HEADERS

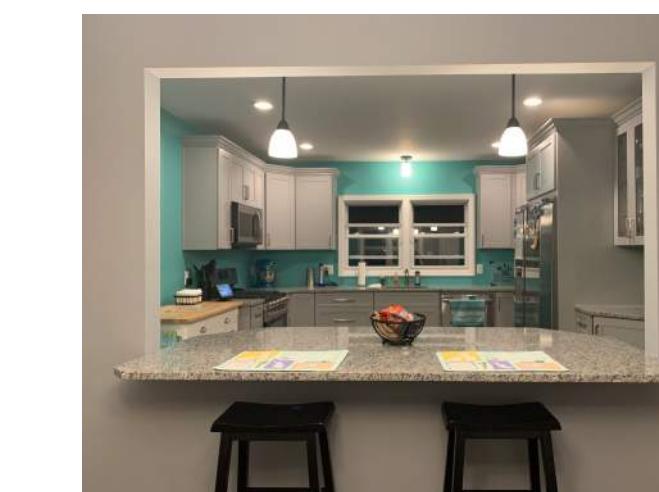
SPAN	SOLUTION
2'-11" OR LESS	(2) 2X6
3'-0" - 4'-11"	(2) 2X8
5'-0" - 6'-11"	(2) 2X10
7'-0" - 7'-11"	(2) 2X12
8'-0" OR MORE	SEE STRUCTURAL PLANS



Keating Family Home Renovation 7070

Architect:
Michael Keating
Designer:
Michael Keating
Programs Used:
Revit

Scope of Work:
Whole House Renovations & 2nd Floor Addition
Responsibilities:
Survey & drafting of existing conditions. Design & build overall schematic design options for full house renovation. Drafting of 100% of Construction Documents to 100% completion. Communicating with Township for permit acceptance. Observation & Documentation of the Construction Process. All necessary construction administration as needed throughout construction.



KEATING FAMILY HOME RENOVATIONS

66 GAYWOOD AVENUE
COLONIA, NEW JERSEY 07067

FRONT ELEVATION

SCALE: 1/4" = 1'-0"

REAR ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR

SECOND FLOOR

MICHAEL P. KEATING
ARCHITECT

66 GAYWOOD AVENUE
COLONIA, NJ
07067

MIKEAT101128@GMAIL.COM

Seal & Signature:

MICHAEL P. KEATING

NEW JERSEY: 21 AUGUST 2005

Typical Graphics Legend:

Project Client:

HOME RENOVATORS
FOR MICHAEL & KRISTINE

Project Location:

66 GAYWOOD AVE
COLONIA, NJ 07067
BLOCK: 441.01 LOT: 1

No. Revision Date

Drawing Issue:

AS-BUILT DRAWINGS
2021-04-06

Typical Drawing Legend:

Drawing Title: FLOOR:

COVER SHEET

Drafted Date: April 06, 2024
Drawn By: M.P.K.
Ckt By:

Dwg #: A01.01
Plan Nbr:

Dwg File:

Architectural Drawing AutoCAD

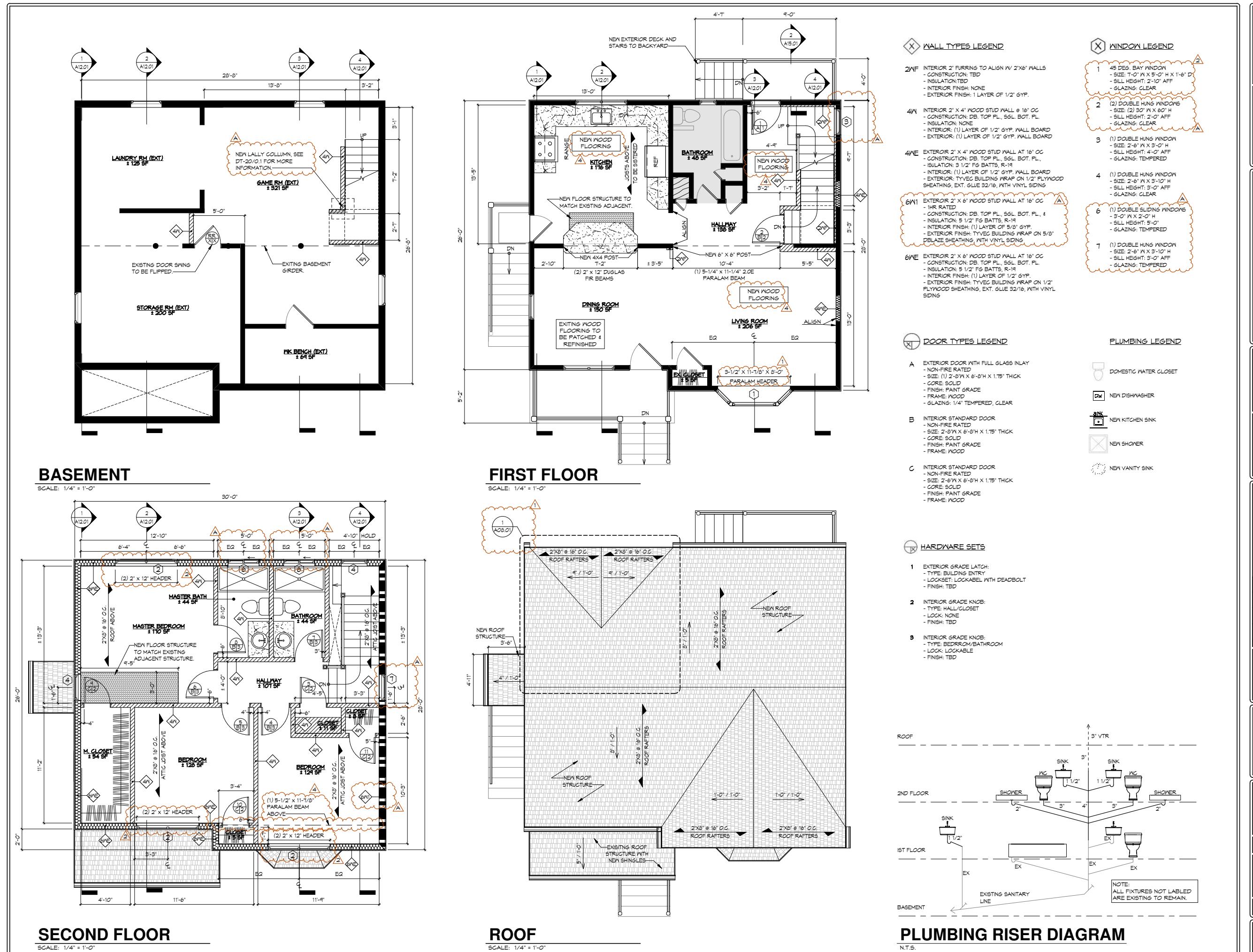
Sheet No: 00000

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Printed on 04/06/2024 at 10:45 AM

Page 1 of 1

2020 Keating Family Home Renovation



MICHAEL P.
ARCHITECT

66 GAYWOOD A
COLONIA, NJ
07067

MIKEATING1126

Seal & Signature
MICHAEL P. KEATING
NEW JERSEY:

Typical Graph

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Drawing Issue

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Typical Drawing

FOR REFERENCE ONLY. READING

A01: COVERSHEET

A02: PERSPECTIVE NEW

A03: TITLE SHEET

A04: GENERAL NOTES

A05: SPECIFICATIONS

Drawing Type: Section Number:

Drawing Title: CON

Initial Dwg Date: APRIL 06, 2019

Dwg #: A01

Dwg File: 00-KEATING-00.dwg

THIS DRAWING AND
PATENTABLE FEATURES
ORIGINAL AND UNPUBLISHED.
DRAWING MAY NOT BE
COPIED OR REPRODUCED
FOR OTHER PURPOSES
BY MICHAEL P. KEATING

On3: 100-200 Parking Garage 2018-2020



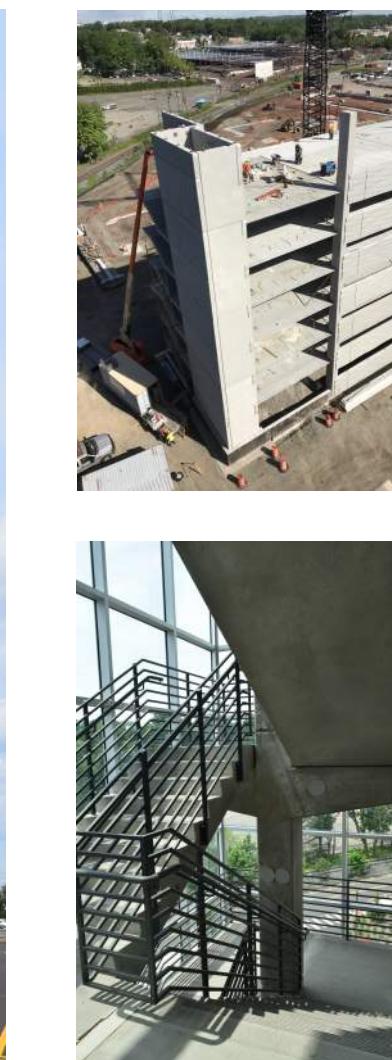
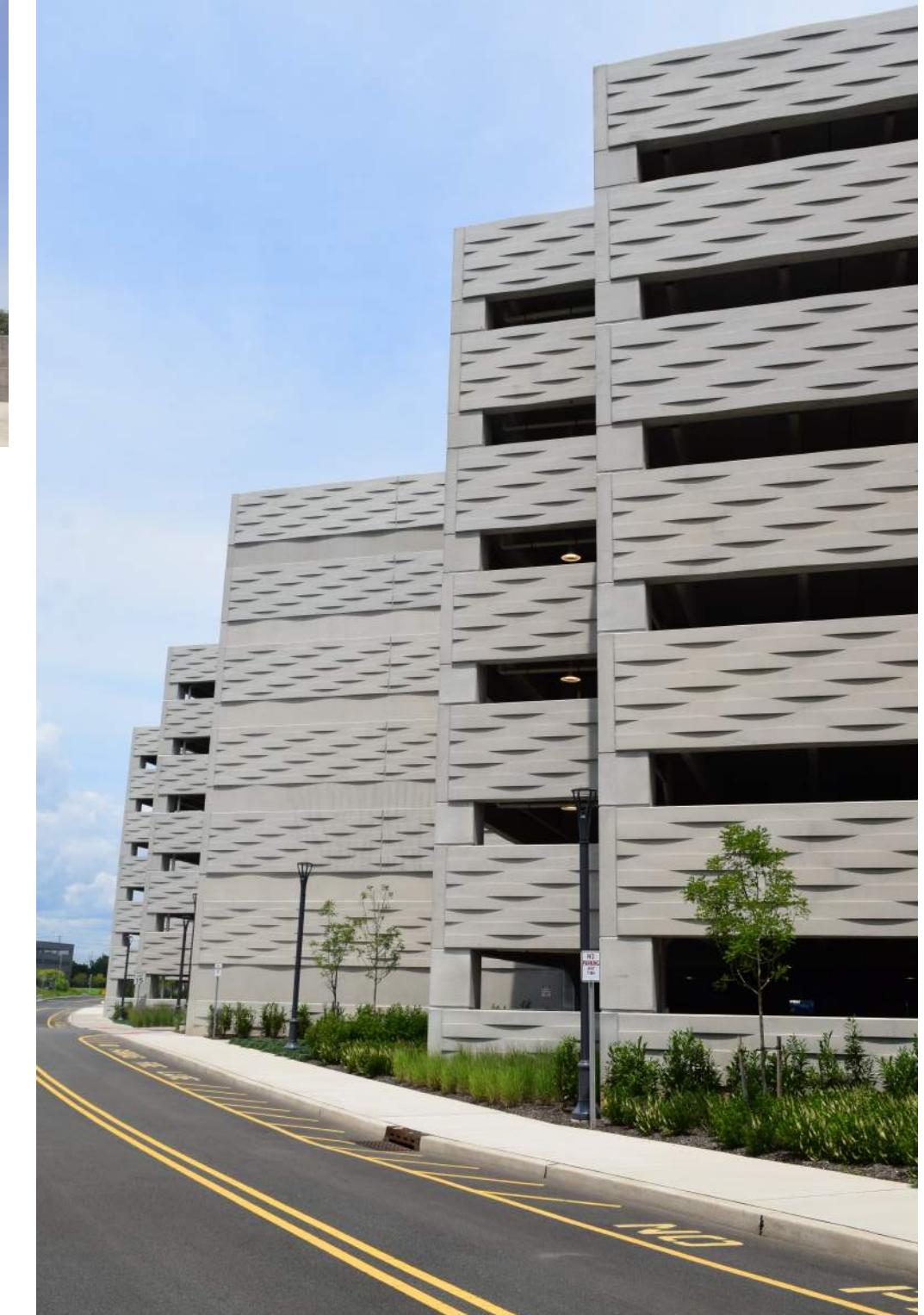
Architect:
Charles Logan
Designer:
Susan Baumann
Programs Used:
AutoCAD Architecture/Revit

Scope of Work:

New precast parking garage for building 100 & 200 at new On3 Campus

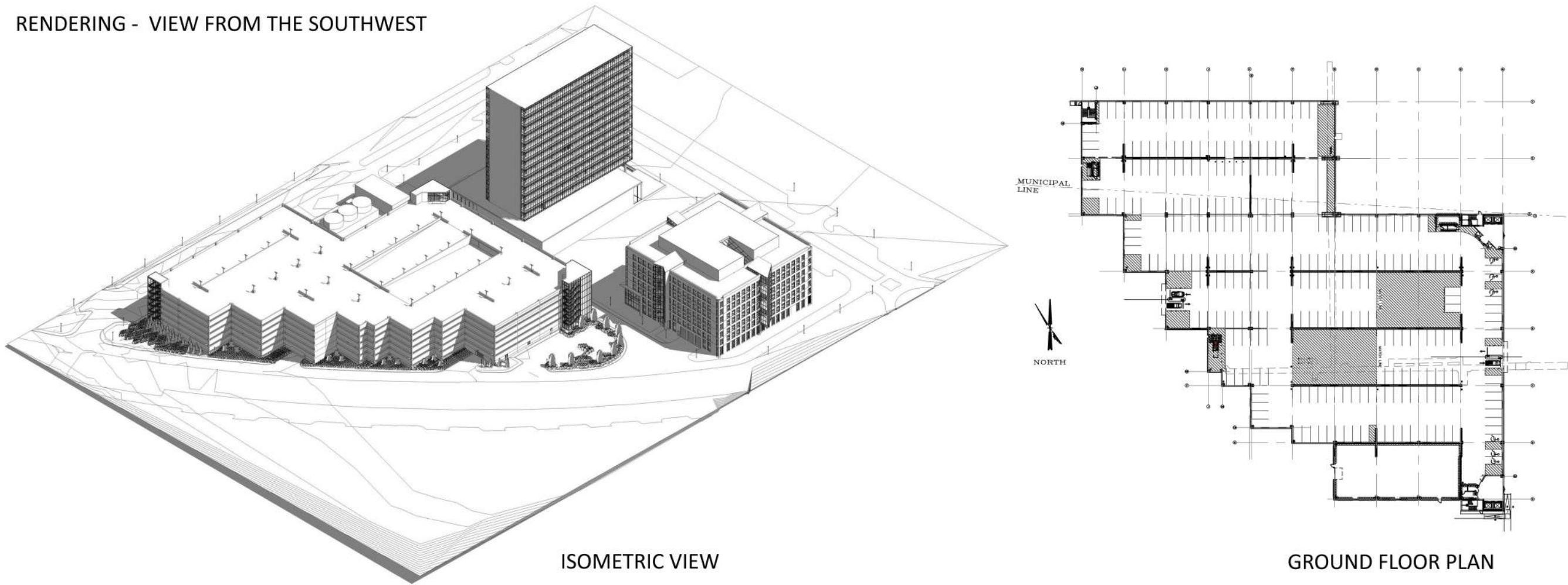
Responsibilities:

Design & build overall schematic design options for overall footprint & layout. Design of precast panel visual pattern. Drafting of 100% of Planning Board Sets & Renderings. Drafting of 100% of drawing set to 95% completion before review. Coordination & review of consultant's drawings. Filing, organizing, review and issuing of construction administration documents.





RENDERING - VIEW FROM THE SOUTHWEST



ISOMETRIC VIEW

GROUND FLOOR PLAN

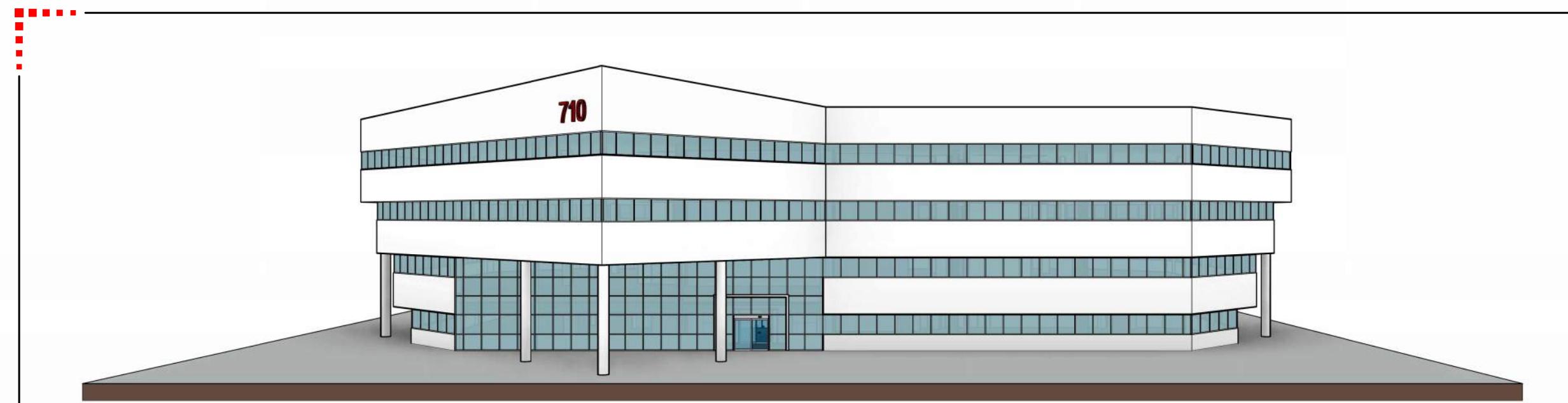
2018-2020
On3: 100-200 Parking Garage





Architect:
Susan Baumann
Designer:
Michael Keating
Programs Used:
Revit

Scope of Work:
Updated Facade and New Interior Lobby
Responsibilities:
Design & build overall schematic design options for Building Exterior & Atrium



3D FRONT ELEVATION

N.T.S.



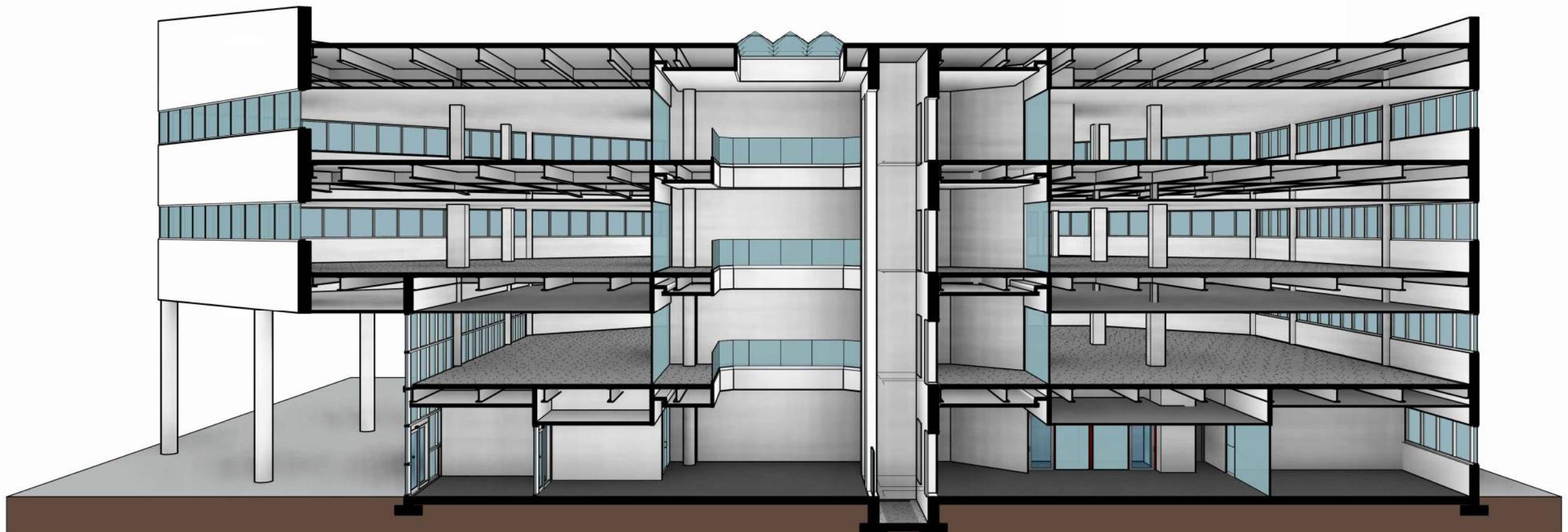
3D REAR ELEVATION

N.T.S.

SHEET: 1.1
PROJECT #: 29490
ISSUE DATE: 02/15/22

COMMON AREA RENOVATIONS
710 ROUTE 46
FAIRFIELD, NEW JERSEY

AZTEC



3D SECTION 2

N.T.S.

SHEET: 4.1
PROJECT #: 29490
ISSUE DATE: 02/15/22

COMMON AREA RENOVATIONS
710 ROUTE 46
FAIRFIELD, NEW JERSEY

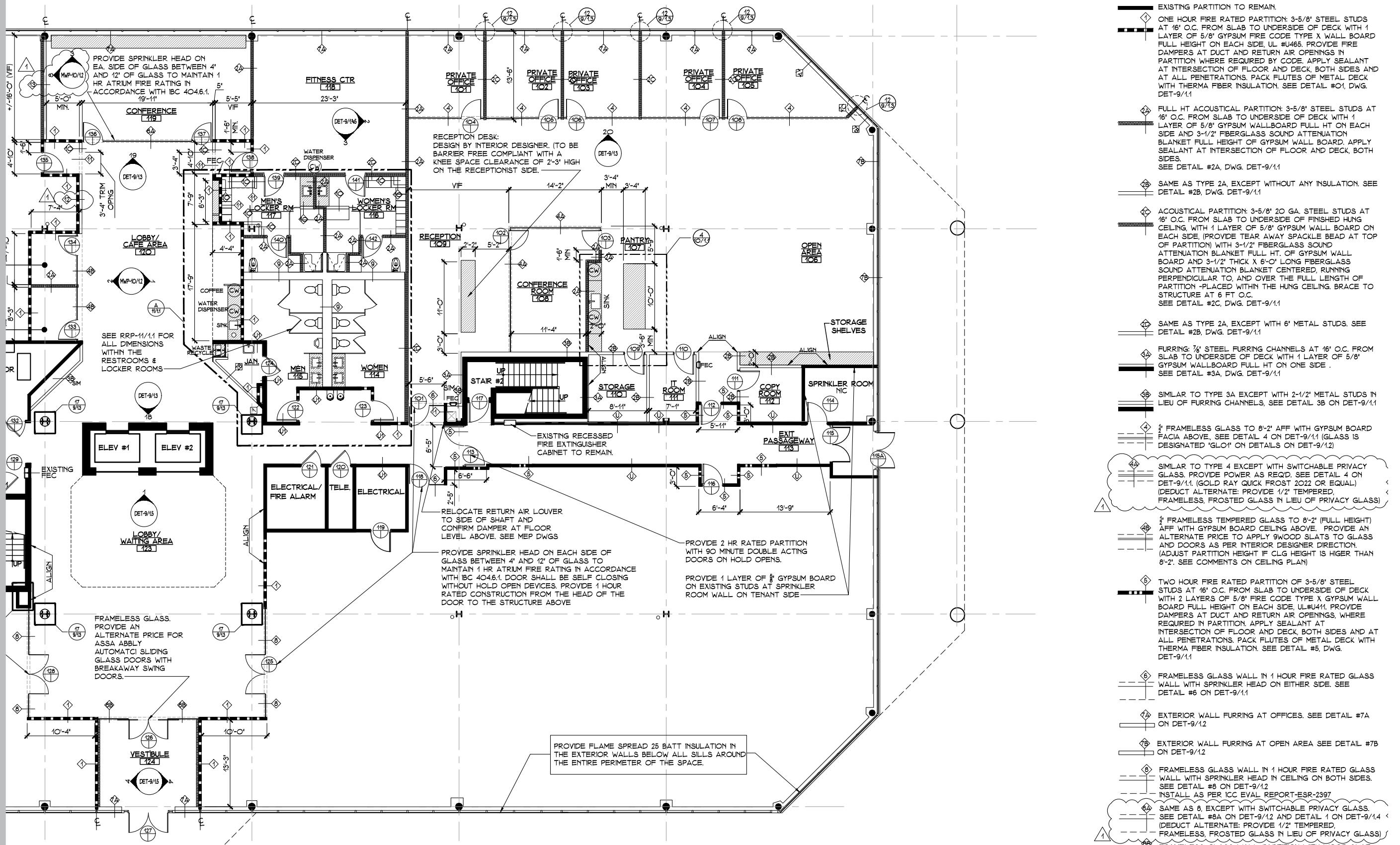
AZTEC

2022
710 Rt. 46 Exterior & Atrium



Architect:
Susan Baumann
Designer:
Michael Keating
Programs Used:
AutoCAD Architecture

Scope of Work:
New Tenant & Improve 1st Floor Common Areas
Responsibilities:
Design & build overall schematic design options for Building Exterior & Atrium



710 Rt. 46 Atrium Ameniteis & Suite
2022

2020

10 Lt. 46 Atrium Amenities & Suite

PROVIDE AN ALTERNATE PRICE TO PROVIDE COLUMN ENCLOSURES TO ALL UPPER FLOOR ATRIUM COLUMNS TO MATCH NEW COLUMN ENCLOSURE ON THE FIRST FLOOR. INCLUDE DEMOLITION OF EXISTING COLUMN ENCLOSURE IN THE PRICE.

NEW OPEN SLAT SCREEN WALL FULL HEIGHT IN FRONT OF ELEVATOR HOISTWAY. (DELEGATED DESIGN) PROVIDE SHOP DRAWINGS INDICATING ALL ATTACHMENTS. ANY ACCESS PANELS REQUIRED TO FOR ELEVATOR MAINTENANCE OR SAFETY AS PER ASME A17.1 SHALL BE PROVIDED AS CONCEALED PANELS. INTERIOR DESIGNER TO PROVIDE ADDITIONAL INFORMATION. COORDINATE WITH ELEVATOR MAINTENANCE CONTRACTOR.

LS90CH

ST103

PT101

EQ

1 ATRIUM SECTION: ELEVATOR MARBLE FEATURE WALL & OPENING SCREEN WALL
SCALE 1/2"=10'

ELEVATION: FITNESS CENTER MIRROR WALL

This architectural floor plan shows a room with a total width of 8'-0" and a depth of 12'-0". The room is divided into four main sections by vertical walls. The leftmost section is 4'-0" wide and contains two windows, each 2'-0" wide. The middle section is 4'-0" wide and contains one window (PT102) at the top and one window (PT103) at the bottom. The rightmost section is 4'-0" wide and contains one window (PT104) at the bottom. There are four doors: a central door (PT101) with a width of 3'-0" and a height of 7'-0", and three side doors (PT105, PT106, and PT107) each with a width of 3'-0" and a height of 7'-0". The side doors are located on the left, middle, and right sections respectively. The room has a baseboard height of 3'-0".

ELEVATION: FITNESS CENTER DRESSING ENTRY

SECTION A:

- EXISTING DECKING** (top)
- FIRE CAULK SEALANT EACH SIDE** (top)
- TOP RUNNER ATTACHED TO UNDERSIDE OF STRUCTURE** (top)
- SEE REFLECTED CEILING PLAN FOR CEILING TYPES AND HEIGHTS (TYP.)** (top)
- WOOD VENEER OVER 5/8" GWB. SEE FINISH PLANS** (top)
- ONE LAYER OF TYPE X 5/8" GWB ON BOTH SIDES OF DEMISING WALL, TAPE & SPACKLED, 3 COATS ON 3 5/8" 20 GA. METAL STUDS AT 16" O.C.** (middle)
- NOTE: PROVIDE BLOCKING FOR TV MOUNT AT 60" AFF.** (middle)
- TYPICAL MAHOGANY VENEERED TV NICHE. (ALL SIDES AND BACK)** (middle)
- 3 1/2" FIBERGLASS SOUND ATTENUATION BLANKET** (middle)
- WOOD VENEER OVER 5/8" GWB. SEE FINISH PLANS** (middle)
- 3 5/8" 20 GA METAL STUDS AT 16" OC** (middle)
- 20 GA STUDS OR AS REQUIRED TO SUPPORT STONE. (6 LBS/SF) PROVIDE BLOCKING AND BRIDGING AS REQUIRED.** (bottom)
- 9 1/2" TOTAL THICKNESS** (bottom)
- ACOUSTICAL SEALANT EACH SIDE AND 4" SCHED. BASE** (bottom)
- SCHEDULED FLOORING** (bottom)

SECTION B:

- EXISTING DECKING** (top)
- SEALANT EACH SIDE** (top)
- TOP RUNNER ATTACHED TO UNDERSIDE OF STRUCTURE** (top)
- SEE REFLECTED CEILING PLAN FOR CEILING TYPES AND HEIGHTS (TYP.)** (top)
- ONE LAYER OF TYPE X 5/8" GWB ON BOTH SIDES OF DEMISING WALL, TAPE & SPACKLED, 3 COATS ON 3 5/8" 20 GA. METAL STUDS AT 16" O.C.** (middle)
- NOTE: PROVIDE BLOCKING FOR TV MOUNT AT 60" AFF.** (middle)
- TYPICAL PAINTED GWB TV NICHE. (ALL SIDES AND BACK)** (middle)
- 3 1/2" FIBERGLASS SOUND ATTENUATION BLANKET** (middle)
- 5/8" GWB. SEE FINISH PLANS** (middle)
- 3 5/8" 20 GA METAL STUDS AT 16" OC** (middle)
- 20 GA STUDS OR AS REQUIRED TO SUPPORT STONE. (6 LBS/SF) PROVIDE BLOCKING AND BRIDGING AS REQUIRED.** (bottom)
- 9 1/2" TOTAL THICKNESS** (bottom)
- ACOUSTICAL SEALANT EACH SIDE AND 4" SCHED. BASE** (bottom)
- SCHEDULED FLOORING** (bottom)

SINGLE SIDED TV SCREEN FEATURE WALL

SINGLE SIDED TV SCREEN FEATURE WALL

Steven Lowey House Renovation 2021



Architect:
Charles Logan
Designer:
Michael Keating
Programs Used:
Revit

Scope of Work:
Whole House Renovations
Responsibilities:
Survey & drafting of existing conditions. Design & build overall schematic design options for full house renovation. Drafting of 100% of drawing set to 95% completion before review.



THE INTENT OF THIS SET OF
PROPERLY FUNCTIONING
GENERAL CONTRACTOR, CON-
TRACTOR(S) SHALL PROV-
EISHED PRODUCT CAPA-
CTRACTOR IS OBLIGATED
TO BE FAMILIAR WITH
Y ALLEGED DISCREPANCY
THE ATTENTION OF
SOLVED PRIOR TO THE
MISSION OF THEIR B
EQUATE DEFINITION OF
EFFICIENCY OF CONSTRUCT

CHARLES OTIS LO
J.J. REGISTRATION
I.Y. REGISTRATION
A. REGISTRATION

KURT M. KALAFSKY
J.J. REGISTRATION
I.Y. REGISTRATION
T.T. REGISTRATION
A. REGISTRATION
CARB CERTIFICATION

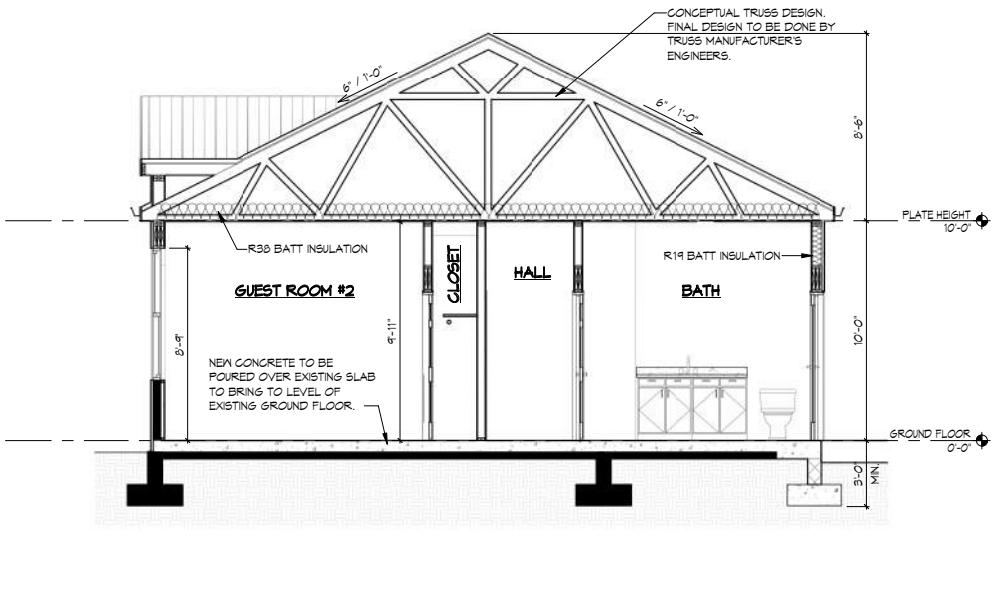
A #21AC0005

Architects:

Project Title
310
FAIR
BL
Building Owner
LC
Tenant/Occupant
HOL
Drawing Title
BUS

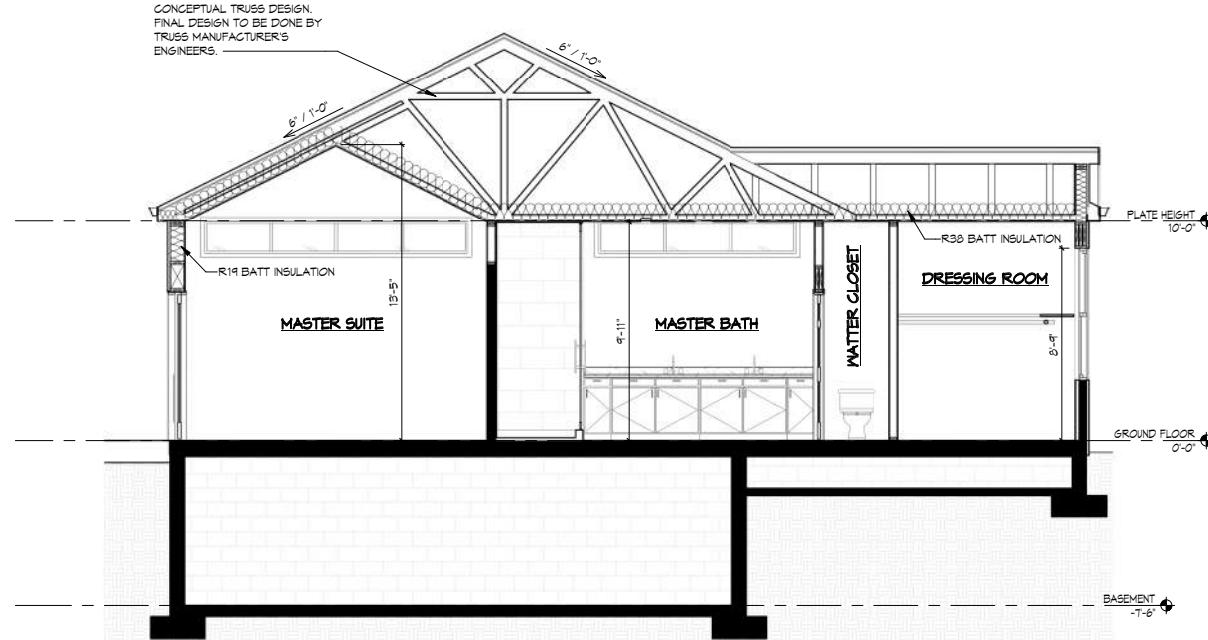
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Initial Dwg. I
OCTOBER 8, 20
Job No.:

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OCTOBER 8, 20
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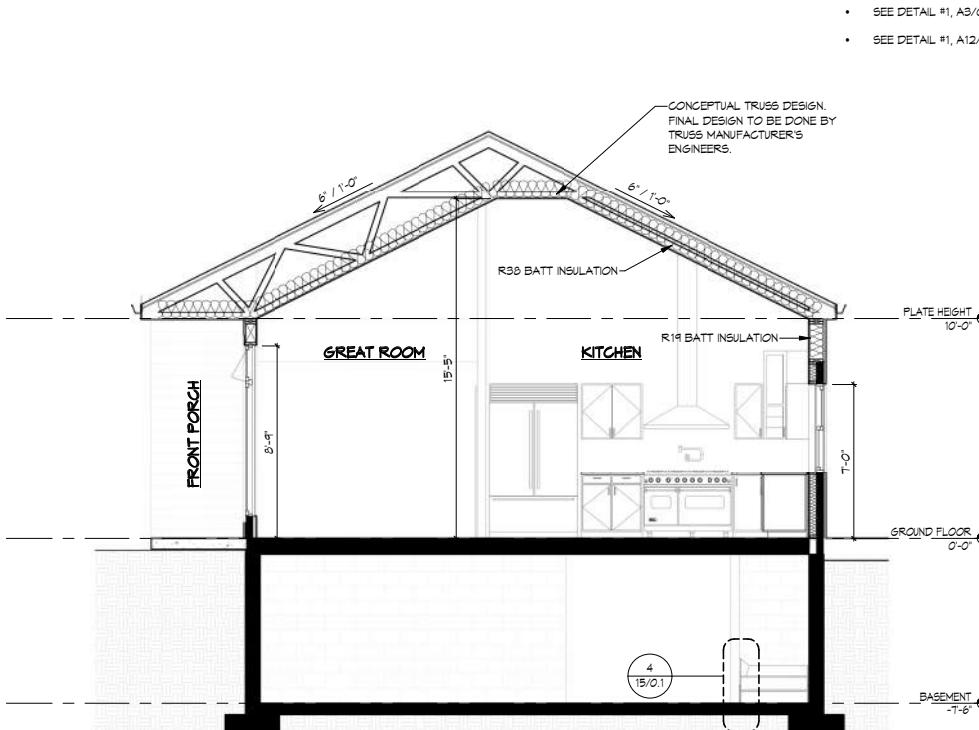
GUEST BED/BATH CROSS SECTION

1 SCALE: $1/4"$ = $1'-0"$



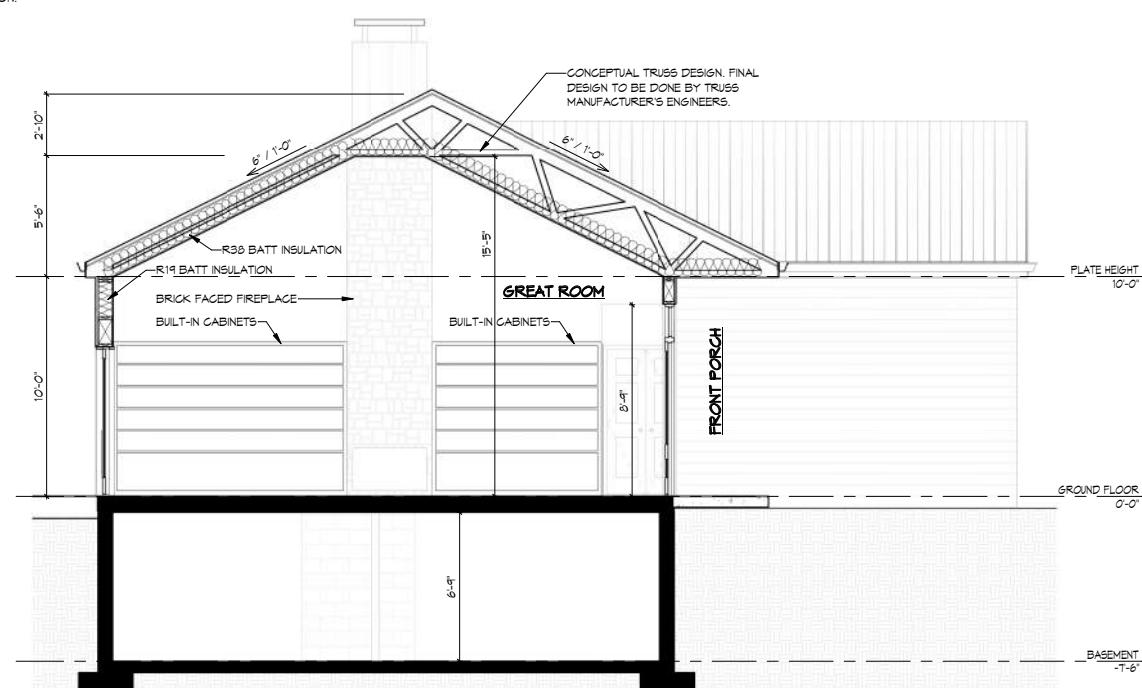
MASTER SUITE CROSS SECTION

3 SCALE: 1/4" = 1'-0"



KITCHEN & DINING ROOM CROSS SECTION

2 SCALE: 1/4" = 1'-0"



GREAT ROOM CROSS SECTION

4 GREAT

On3: Pedestrian Bridge 2018-



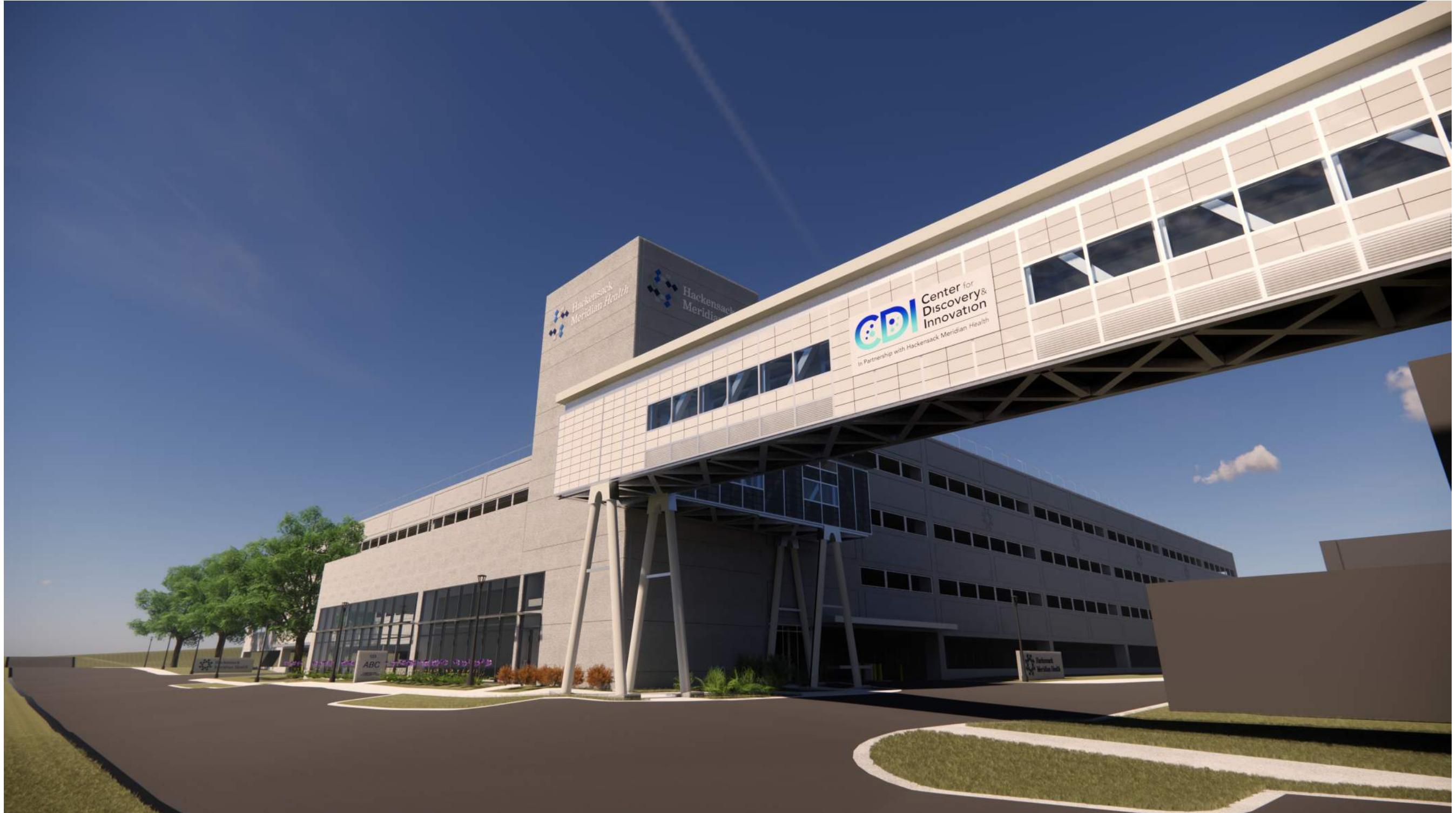
Architect:
Charles Logan
Designer:
Michael Keating
Programs Used:
Revit

Scope of Work:

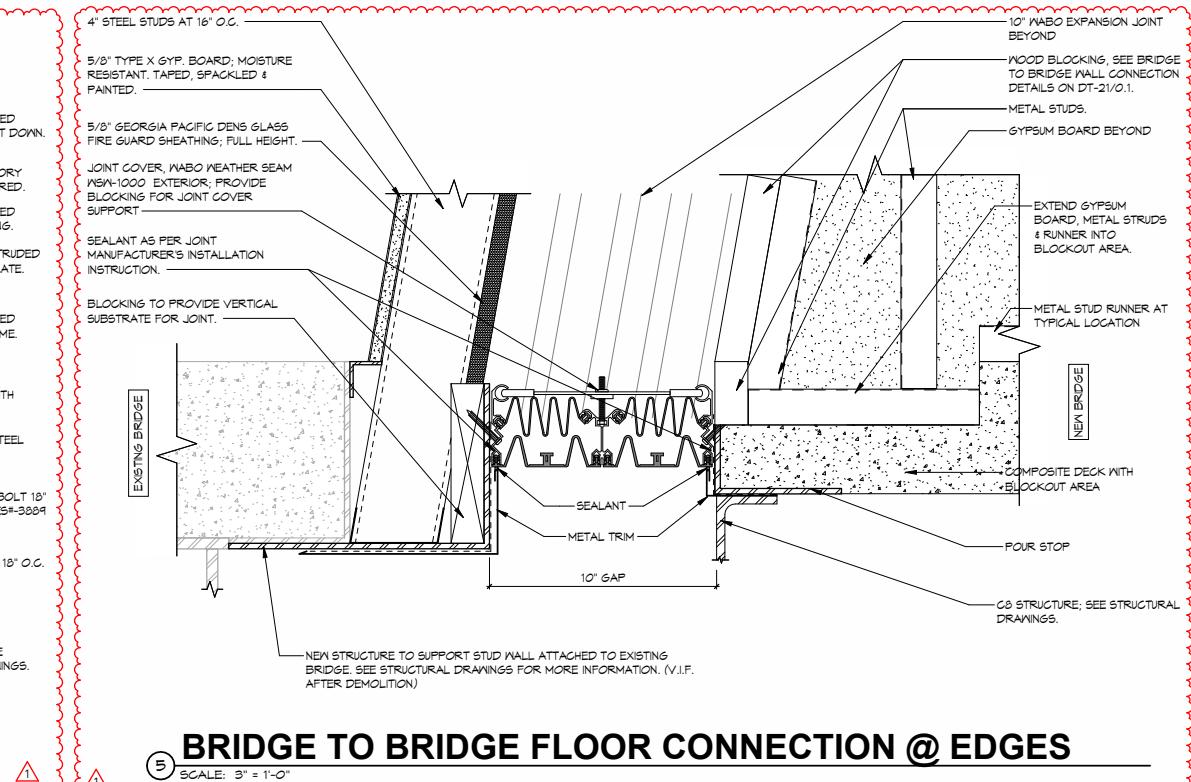
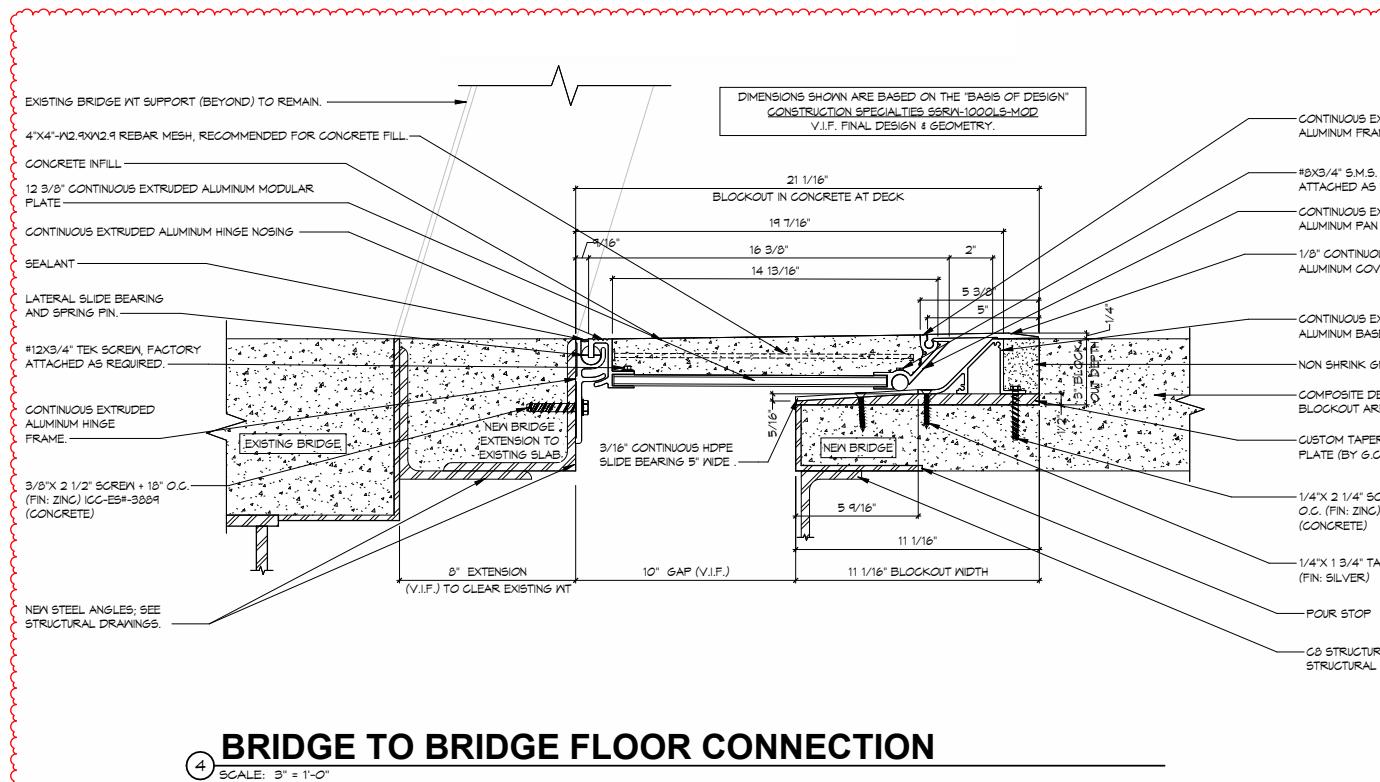
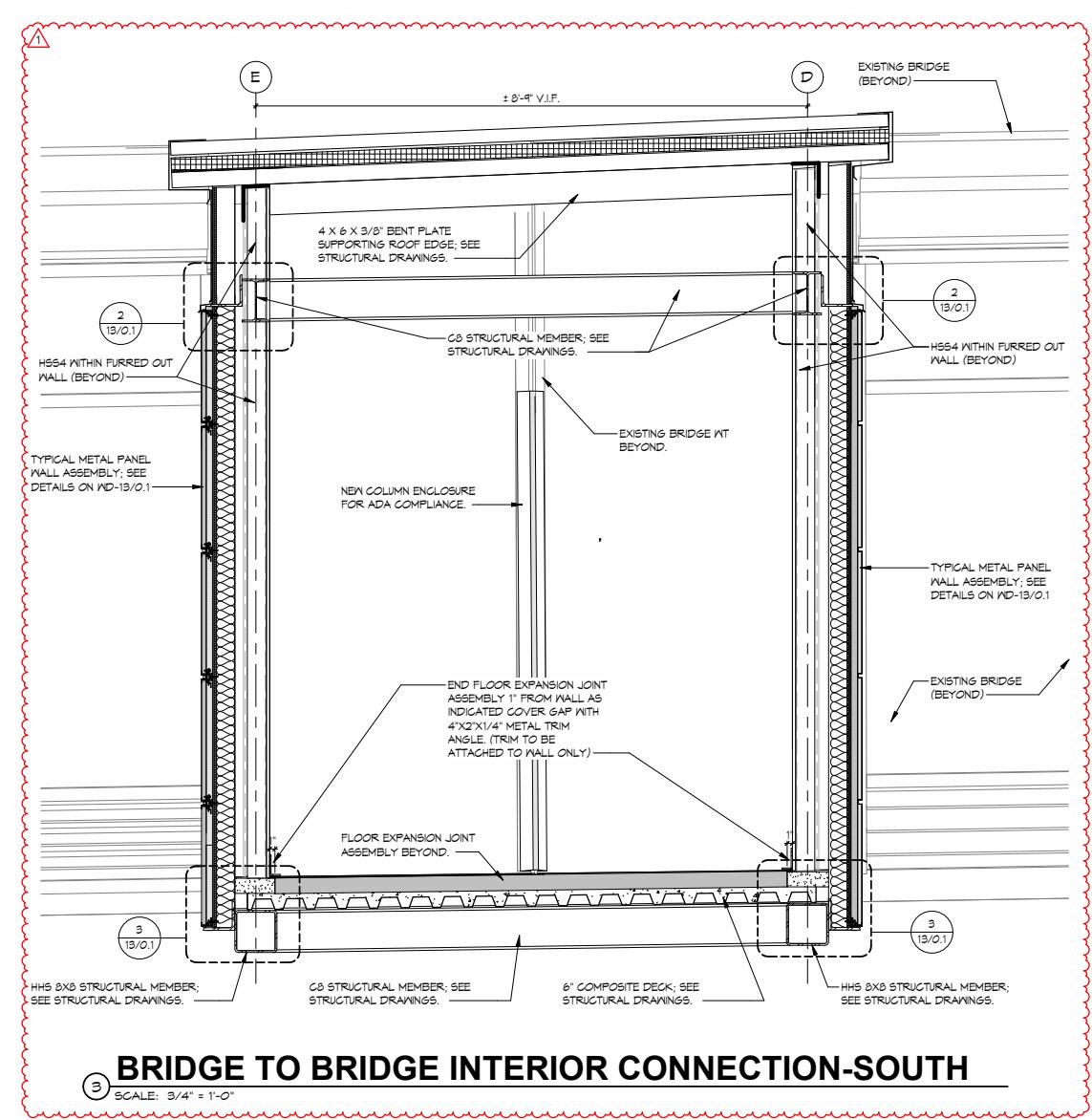
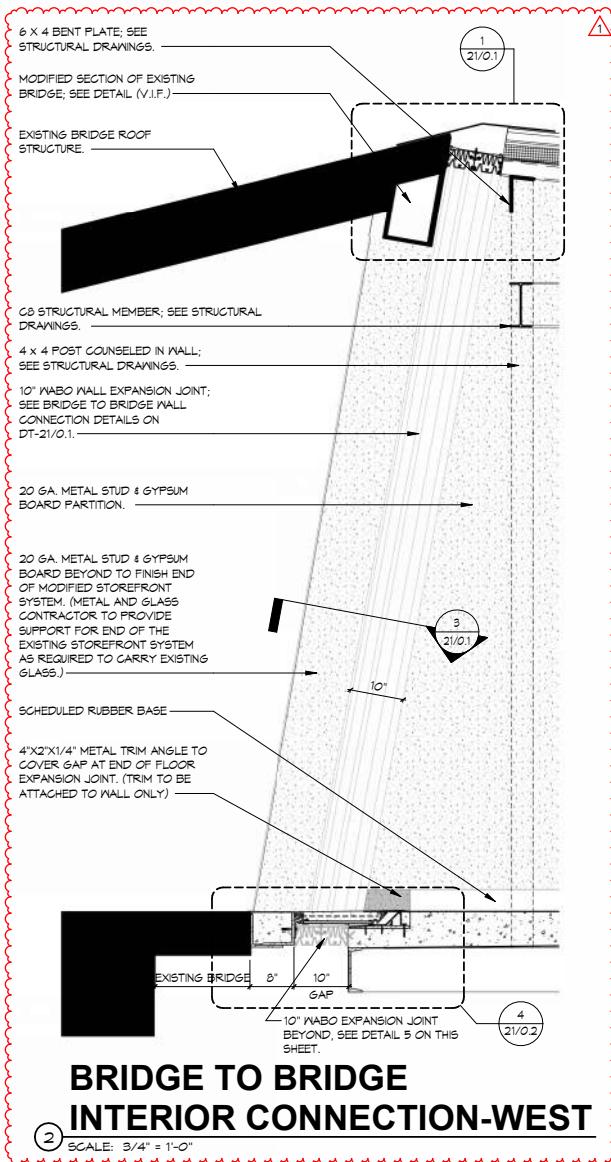
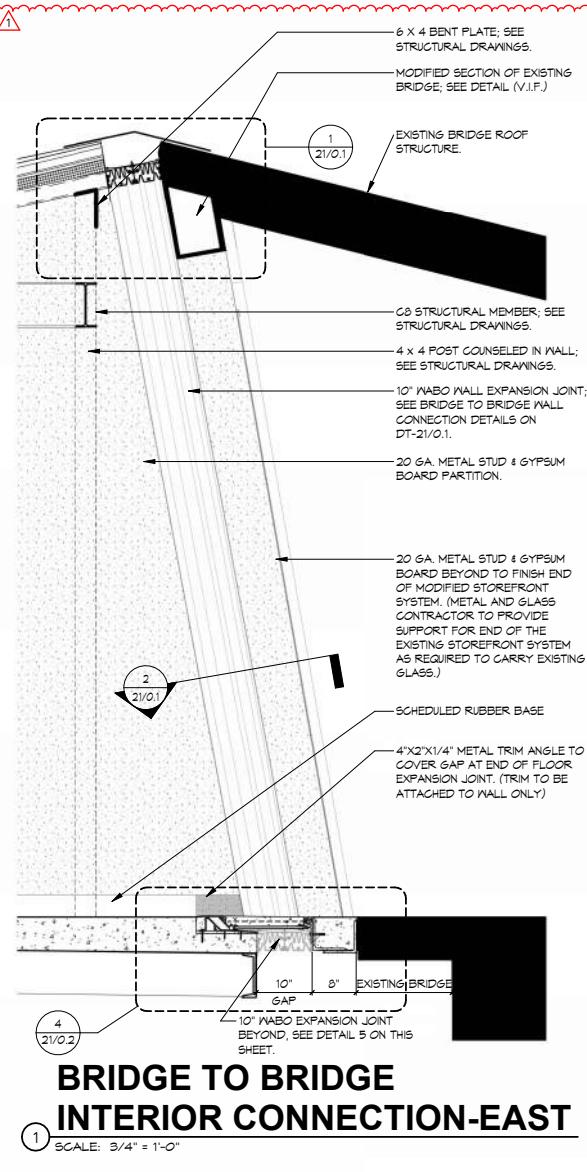
New pedestrian walkway from new parking garage to existing pedestrian bridge at new On3 Campus

Responsibilities:

Design & build overall schematic design options for overall footprint & layout. Design of precast panel visual pattern. Drafting of 100% of Planning Board Sets & Renderings. Drafting of 100% of drawing set to 95% completion before review. Coordination & review of other team member's drawings.



2018-
On3: Pedestrian Bridge



THE INTENT OF THIS DRAWING IS TO COMPLETE AND PROPOSE A DESIGN FOR THE (SUB-CONTRACTOR), LABOR AND MATERIALS NEEDED THEREIN. THE CONTRACTOR IS OBLIGATED TO EXAMINE THIS DRAWING IN CONJUNCTION WITH THE PROJECT. ANY ALLEGED DEFECTS OR PROBLEMS WITH THIS DRAWING SHALL BE IMMEDIATELY CALLED TO THE ATTENTION OF THE CONTRACTOR. EACH CONTRACTOR AGREES THAT THE CONTRACTOR WILL NOT CONSTRUCT DOCUMENTS.

Typical Drawings

FOR REFERENCE ONLY, REFER TO THE FOLLOWING:

INTRO PROJECTS

IC-1/2-0.1 COVER SHEET

ITL-2/2-0.1 TITLE SHEET

INC-1/2-0.1 INDEX

DPL-4/1-1.1 DEMOLITION

CPL-5/1-1.1 CONSTRUCTION

REC-6/1-1.1 RECYCLING

ETD-7/1-1.1 ELECTRICAL

FNP-8/1-1.1 FINISH PLAN

DET-9/1-1.1 DETAILS

MM-10/1-1.1 MECHANICAL

RRP-11/1-1.1 RESTROOM

FPP-12/1-1.1 FURNITURE

FPR-13/1-1.1 FURNITURE

FGP-14/1-1.1 FLOORING

EGP-15/1-1.1 EGRESS PLANS

DWS-16/1-1.1 DOOR & WINDOW

STE-17/1-1.1 STEEL

RFP-18/1-1.1 RAISED FLOOR

CAP-19/1-1.1 CAGE PLAN

RPK-20/1-1.1 RACK & CASE

FZP-21/1-1.1 FLOORING

SEP-22/1-1.1 SECURITY PLANS

SLP-23/1-1.1 SIGNAGE LOCATIONS

PRD-24/1-1.1 PLUMBING

Drawing Type
Section Number
Seal & Sign
CHARLES OTIS LO
N.J. REGISTRATION
N.Y. REGISTRATION
PA. REGISTRATION
KURT M. KALAFSKY
N.J. REGISTRATION
N.Y. REGISTRATION
C.T. REGISTRATION
PA. REGISTRATION
NCArb CERTIFICATION
CA #21AC0005

Architects:
A AZ

Project Title
P

CLIFTON

Building Owner
C/O PR
310 KING

Tenant/Occupant
KINGSLAND
343
EDISON

Drawing Title
BRIDGE D

CITY OF
- BLOCK
- LOT: 4.
TOWNSHIP
- BLOCK
- LOT: 1

IS
CON
2

1 ISSUE FOR COORDINATING
No.

Initial Dwg Date: JUNE 17, 2022

Job No.: 24728-O

Drawn By: Designer

Dwg No.: D

Dwg File: E:\ARCH\CLIFTON\G-030
Pedestrian Walkway.RD

THIS DRAWING AND ITS FEATURES CONSTITUTE THE OFFICIAL DESIGN OF THE ARCHITECTS, LLC. REPRODUCTION OF THIS DRAWING OR ANY PART THEREOF, OTHER THAN SPECIFIED IN THE DRAWING, IS PROHIBITED.



Barber School BoE Conversion 2016

Architect:
William Banister
Manager:
Josh Thompson
Programs Used:
Revit

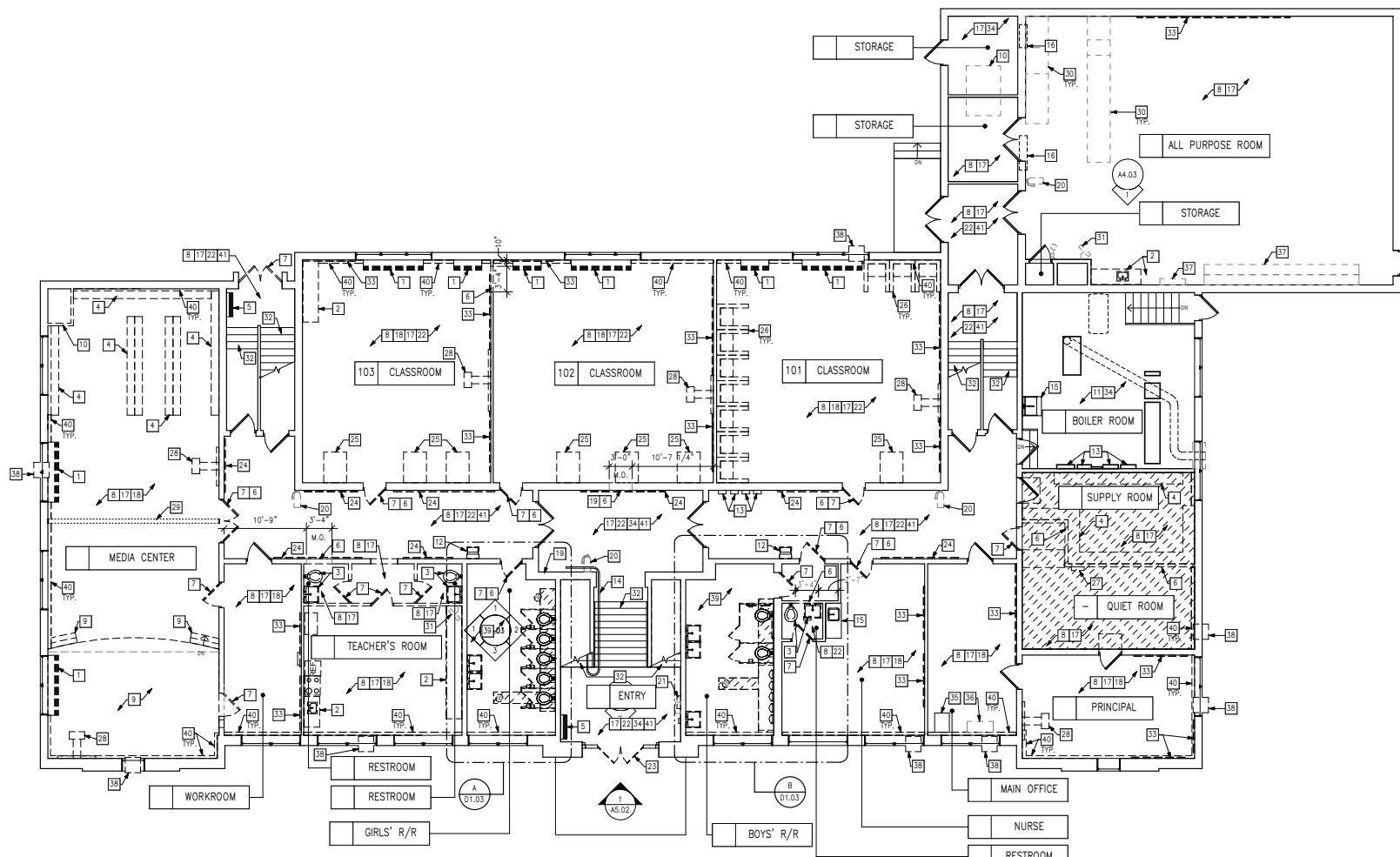
Scope of Work:

The reivation & conversion of the elementary school into Phillipsburg Board of Education Offices.

Responsibilities:

Survey & drafting of existing conditions. Drafting of 100% of drawing set to 95% completion before review. Coordination & review of consultant's drawings. Updating of the project bidding & issuing of addendums. Filing, organizing, review and issuing of construction administration documents. Creation of punchlist for substantial completion.





A LOWER LEVEL DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

DRAWING NOTES:

- 1 DISCONNECT AND REMOVE EXISTING UNIT VENTILATOR, PIPING, HOUSING, WALL BOX CONTROL AND ALL ACCESSORIES IN THEIR ENTIRETY, EXISTING EXTERIOR LOUVER TO REMAIN. MODIFY ALL UTILITIES TO REMAIN AS REQUIRED. UNIT VENTILATORS TO BE SALVAGED AND RETURNED TO THE DISTRICT. PATCH AND REPAIR ADJACENT SURFACES AFFECTED BY DEMOLITION AND PREPARE AS NECESSARY FOR NEW CONSTRUCTION.
- 2 REMOVE EXISTING SINK, COUNTER, MILLWORK, CABINETS AND ALL ASSOCIATED ITEMS IN THEIR ENTIRETY. REMOVE WATER AND DRAINAGE PIPES TO NEAREST CONCEALED LOCATION AND CAP OFF IN A CODE-COMPLIANT MANNER. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 3 REMOVE EXISTING PLUMBING FIXTURE AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY. REMOVE HARDWARE AND DRAINAGE PIPES TO NEAREST CONCEALED LOCATION AND CAP OFF IN A CODE-COMPLIANT MANNER. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 4 REMOVE EXISTING SHELVING, STORAGE UNITS, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. COORDINATE WITH DISTRICT FOR POSSIBLE REUSE PRIOR TO DISPOSAL. PATCH AND REPAIR ADJACENT SURFACES AFFECTED BY DEMOLITION AND PREPARE AS NECESSARY FOR NEW CONSTRUCTION.
- 5 EXISTING FLOOR-MOUNTED CABINET HEATER TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 6 REMOVE PORTION OF EXISTING WALL TO ACCOMMODATE NEW CONSTRUCTION. TEMPORARILY BRACE FLOOR ABOVE. PROVIDE NEW LINTEL AS REQUIRED. PATCH AND REPAIR ADJACENT SURFACES AFFECTED BY DEMOLITION AND PREPARE AS NECESSARY FOR NEW CONSTRUCTION.
- 7 REMOVE EXISTING DOOR, FRAME, HARDWARE AND ALL ASSOCIATED COMPONENT IN THEIR ENTIRETY. PATCH AND REPAIR ADJACENT SURFACES AFFECTED BY DEMOLITION AND PREPARE AS NECESSARY FOR NEW CONSTRUCTION.
- 8 REMOVE EXISTING FLOORING, TRIM AND ALL ACCESSORIES TO SOUND SUBSTRATE. PATCH SUBSTRATE AS REQUIRED TO RECEIVE NEW FLOORING. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION. REFER TO FINISH PLANS FOR MORE INFORMATION.
- 9 REMOVE EXISTING PLATFORM, STAIRS, FRAMING, BLOCKING, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PATCH AND REPAIR ADJACENT SURFACES AFFECTED BY DEMOLITION AND PREPARE AS NECESSARY FOR NEW CONSTRUCTION.
- 10 REMOVE EXISTING CEILING MOUNTED AIR HANDLER, HOUSING, CONTROLS AND ALL ASSOCIATED HARDWARE IN THEIR ENTIRETY. REMOVE PIPES TO NEAREST CONCEALED LOCATION AND CAP OFF IN A CODE-COMPLIANT MANNER. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 11 EXISTING MECHANICAL EQUIPMENT, ELECTRICAL EQUIPMENT, CONCRETE PADS, FLOOR DRAINS AND ALL ASSOCIATED PIPING TO REMAIN U.N.O. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 12 REMOVE EXISTING WATER FOUNTAIN. REMOVE WATER AND DRAINAGE PIPES TO NEAREST CONCEALED LOCATION AND CAP OFF IN A CODE-COMPLIANT MANNER. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 13 EXISTING ELECTRICAL PANELS TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 14 EXISTING CHAIR LIFT AND CONTROLS TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 15 EXISTING SINK, COUNTER, MILLWORK, CABINETS AND ALL ASSOCIATED ITEMS TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 16 REMOVE EXISTING SUPPLY AIR GRILL, DUCTWORK, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PROVIDE TEMPORARY SHORING AS REQUIRED. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 17 REFER TO ELECTRICAL PLANS FOR FIRE PROTECTION AND ELECTRICAL DEMOLITION. REMOVE ALL WIRING BACK TO NEAREST JUNCTION BOX AND SAFE-OFF AS REQUIRED. PATCH AND REPAIR ADJACENT SURFACES AFFECTED BY DEMOLITION AND PREPARE AS NECESSARY FOR NEW CONSTRUCTION.
- 18 REMOVE EXISTING WINDOW SHADES AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. EXISTING WINDOW TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 19 REMOVE EXISTING ABANDONED ELECTRICAL PANEL. PATCH AND REPAIR ADJACENT SURFACES AFFECTED BY DEMOLITION AND PREPARE AS NECESSARY FOR NEW CONSTRUCTION.
- 20 REMOVE EXISTING FIRE EXTINGUISHER, MOUNTING BRACKETS, AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY. DISPOSE AS PER LOCAL CODES. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 21 EXISTING ANNUNCIATOR PANEL AND ALL ASSOCIATED COMPONENTS TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 22 REMOVE EXISTING SUSPENDED CEILING, GRID, LIGHT FIXTURES, PANELS, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. REMOVE WIRING BACK TO NEAREST JUNCTION BOX AND SAFE-OFF AS REQUIRED. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 23 REMOVE EXISTING FRONT ENTRY DOORS, SIDELIGHTS, TRANSOM, GLAZING, FRAME, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. TEMPORARILY DISCONNECT EXISTING SECURITY CAMERA, INTERCOM, ETC. AS REQUIRED. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- 24 REMOVE EXISTING WALL-MOUNTED WOOD RAILS. PATCH AND REPAIR EXISTING SURFACES AS REQUIRED.
- 25 REMOVE EXISTING COAT CLOSET, MOUNTING BRACKET, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PATCH AND REPAIR EXISTING SURFACES AS REQUIRED.
- 26 REMOVE TEMPORARY PARTITIONS AND CASTERS AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PATCH AND REPAIR EXISTING SURFACES AS REQUIRED.
- 27 EXISTING ANNUNCIATOR PANEL AND ALL ASSOCIATED COMPONENTS TO BE RELOCATED. REFER TO FIRE ALARM DRAWINGS FOR MORE INFORMATION.
- 28 REMOVE EXISTING SMARTBOARD AND PROJECTOR AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. EQUIPMENT TO BE SALVAGED AND RETURNED TO THE DISTRICT. PATCH AND REPAIR ADJACENT SURFACES AFFECTED BY DEMOLITION AND PREPARE AS NECESSARY FOR NEW CONSTRUCTION.
- 29 EXISTING PIPES ABOVE TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 30 REMOVE EXISTING CAFETERIA AND FOOD SERVICE EQUIPMENT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. EQUIPMENT TO BE SALVAGED AND RETURNED TO THE DISTRICT. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 31 REMOVE EXISTING WALL MOUNTED FAN, MOUNTING BRACKET, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. EQUIPMENT TO BE SALVAGED AND RETURNED TO THE DISTRICT. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 32 REMOVE EXISTING SLIP RESISTANT FINISH. EXISTING STAIR TREADS TO REMAIN. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 33 REMOVE EXISTING CHALKBOARD, BULLETIN BOARD, MOUNTING BRACKETS, AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY. PATCH AND REPAIR EXISTING SURFACES AS REQUIRED.
- 34 EXISTING FLOOR FINISH AND WALL BASE TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 35 EXISTING I.T. SERVERS AND IMMEDIATE POWER AND PATH RECEPTACLES TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 36 REMOVE EXISTING PUBLIC ADDRESS HEAD END UNIT AND ALL ASSOCIATED EQUIPMENT IN ITS ENTIRETY.
- 37 REMOVE EXISTING GYM/CAFETERIA EQUIPMENT, MOUNTING BRACKETS, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY.
- 38 REMOVE EXISTING WINDOW/WALL MOUNTED A/C UNIT AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. EQUIPMENT TO BE SALVAGED AND RETURNED TO DISTRICT. EXISTING WINDOW TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 39 REFER TO DETAIL DEMOLITION PLAN FOR MORE INFORMATION.
- 40 REMOVE EXISTING FIN TUBE RADIATION, PIPING, HOUSING AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 41 CONTRACTOR SHALL BE RESPONSIBLE FOR FIRESTOPPING ALL CORRIDOR AND/OR STAIRWELL PENETRATIONS WITH (1) HOUR FIRE RATED SEALANT. ALL PENETRATIONS, NEW OR OLD, AND WITHIN THE SPECIFIC SCOPE OF THIS PROJECT OR NOT, SHALL BE REMEDIATED AS PART OF THE BASE BID CONTRACT.

GENERAL DEMOLITION NOTES:

CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED CONDITIONS TO EXISTING BUILDING AND SITE IF DAMAGED DURING CONSTRUCTION TO MATCH EXISTING AT NO ADDITIONAL COST TO OWNER.

CONTRACTOR TO COORDINATE WITH DISTRICT IN REGARDS TO THE POSSIBLE SALVAGE OF ANY EXISTING BUILDING COMPONENTS, UNLESS NOTED OTHERWISE.

THE EXISTENCE & LOCATION OF CONSTRUCTION INDICATED AS EXISTING IN THESE DRAWINGS IS NOT GUARANTEED. ANY & ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.

CONTRACTOR TO PATCH & REPAIR ALL EXISTING SURFACES IN PREPARATION OF NEW FINISH INSTALLATION. PROTECT EXISTING SURFACES TO REMAIN THROUGHOUT DURATION OF DEMOLITION & CONSTRUCTION.

ALL MATERIALS TO BE RECYCLED & DISPOSED OF IN A CODE-COMPLIANT MANNER.

NO SERVICES SHALL BE DISCONNECTED OR INTERRUPTED WITHOUT PRIOR APPROVAL OF THE OWNER.

ALL WIRING MUST TEST FREE OF GROUNDS, SHORTS, CROSSES, & OPENS. ALL ELECTRICAL WORK TO BE DONE IN A CODE-COMPLIANT MANNER.

CONDUIT MAY BE REUSED WHERE APPLICABLE, HOWEVER, ALL WIRING WILL BE NEW. RE-USED CONDUITS TO BE IN GOOD CONDITION.

PATCH & REPAIR ALL HOLES LEFT AFTER REMOVAL OF EXISTING ELECTRICAL WORK & INSTALLATION OF NEW WORK. FINISH TO MATCH ADJACENT EXISTING SURFACES.

REMOVE ALL NON-WORKING WIRING AND CABLES AND DISPOSE OF IN A CODE COMPLIANT MANNER.

CONTRACTOR IS RESPONSIBLE TO VERIFY STRUCTURAL INTEGRITY OF WALLS AND FLOORS/CEILINGS PRIOR TO DEMOLITION. ANY CONCERN/DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE OWNER/ARCHITECT IN WRITING.

ALL UTILITY PIPING, AND CONDUITS ABANDONED AS PART OF THIS PROJECT WILL BE REMOVED AND SURFACES PAINTED AND PATCHED AS REQUIRED.

CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EACH ITEM IDENTIFIED IN THE DRAWINGS. EACH TRADE IS RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DOCUMENTS FOR SCOPE. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF ITEMS REQUIRED TO INSTALL NEW WORK.

SYMBOL LEGEND

	EXISTING WALL TO REMAIN		EXISTING FIRE EXTINGUISHER TO BE REMOVED
	EXISTING WALL TO BE REMOVED		EXISTING STOVETOP TO BE REMOVED
	EXISTING DOOR AND DOOR FRAME TO REMAIN		EXISTING UNIT VENTILATOR TO BE REMOVED
	EXISTING DOOR AND DOOR FRAME TO BE REMOVED		INDICATES OVERHEAD EQUIPMENT TO REMAIN.
	EXISTING CONCRETE SLAB TO BE SCARIFIED OR SAW-CUT. REFER TO SPECIFIC NOTES FOR MORE INFORMATION.		
	INDICATES CONSTRUCTION TO BE DEMOLISHED		



Lakewood District HVAC Upgrades 2015

Architect:
William Banister
Manager:
Kenneth Mieles
Programs Used:
AutoCAD

Scope of Work:

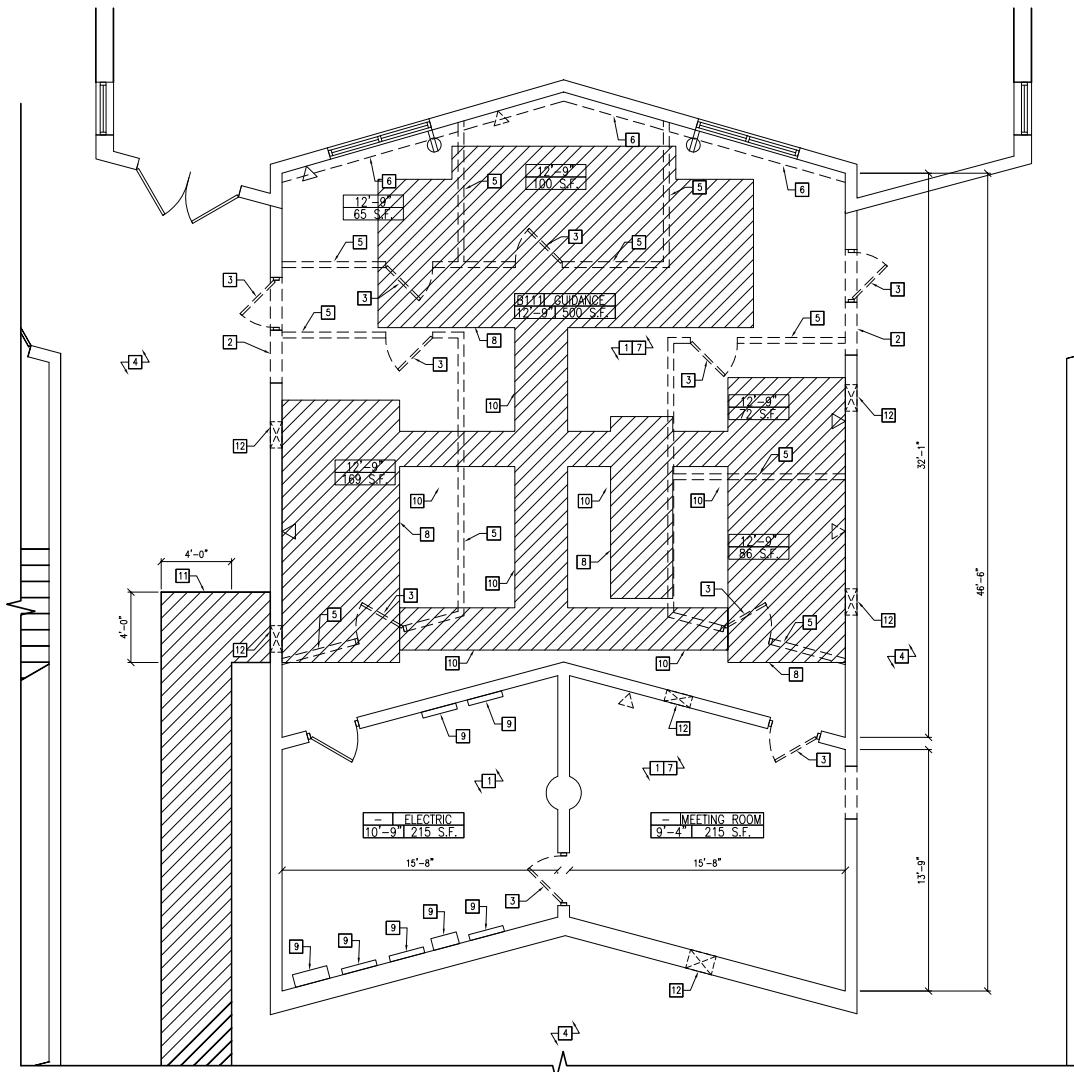
Installation of a chiller system & corresponding equipment, new boiler plant & replacement of all unit ventilators in the Lakewood School District.

Responsibilities:

Survey & drafting of existing conditions. Drafting of 50% of drawing set to 85% completion before review. Coordination & review of consultant's drawings. Updating of the project bidding & issuing of addendums. Filing & organizing of construction administration documents. Creation of punchlist for substantial completion.



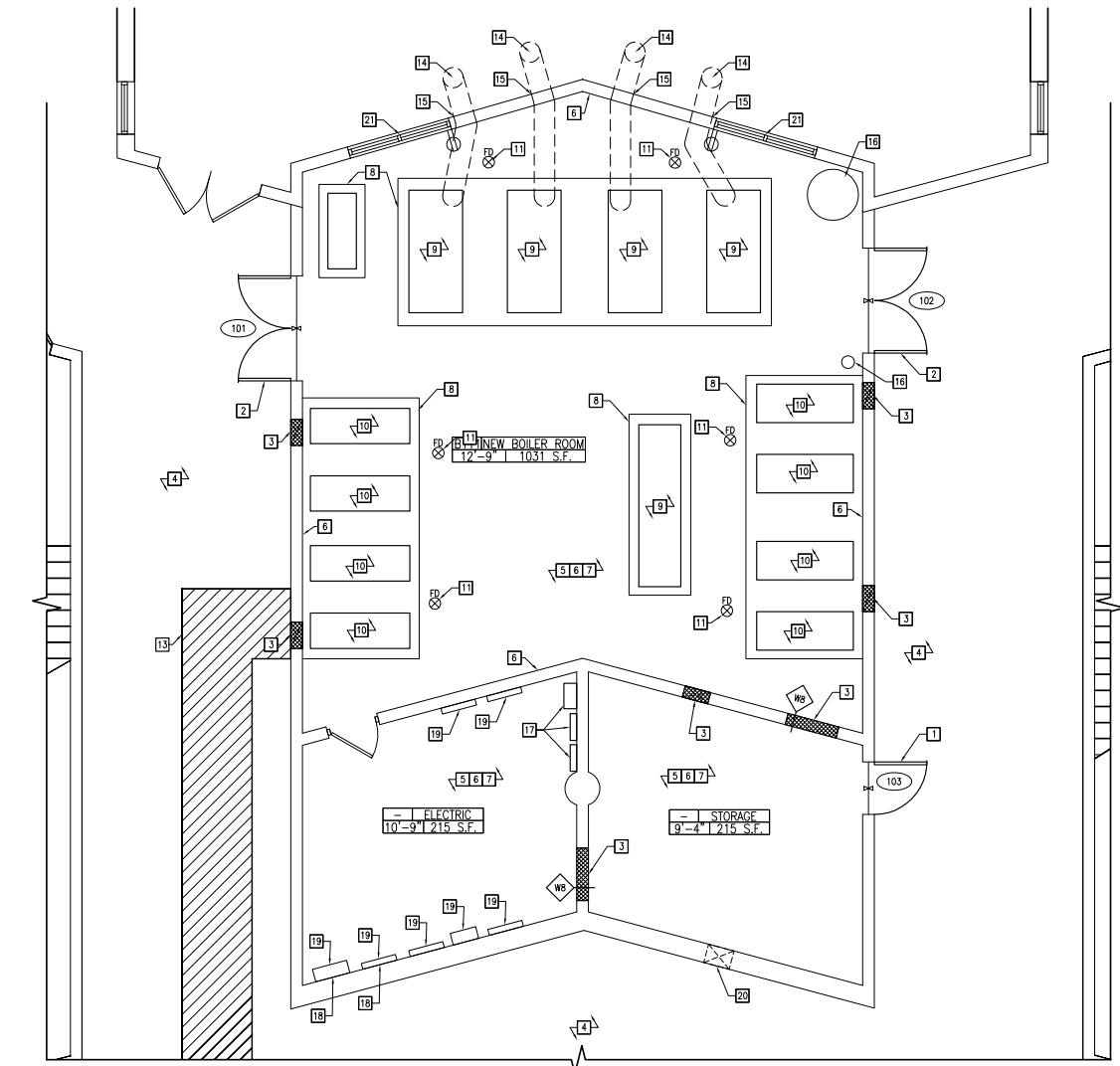
2015



1 BOILER ROOM DEMOLITION PLAN

PLAN NORTH

SCALE: 1/4" = 1'-0"



2 BOILER ROOM CONSTRUCTION PLAN

PLAN NORTH

SCALE: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES:

EXISTING ELECTRICAL WIRING IN WALL OR ON WALL SURFACE CONSTRUCTION TO BE DEMOLISHED SHALL BE REMOVED BACK TO NEAREST JUNCTION BOX, TYPICAL.

CONTRACTOR TO REMOVE, IN ITS ENTIRETY, ANY EXISTING CEILING FINISH AND SCRAPE/REMOVE ANY EXISTING PEELING PAINT OR OTHER SURFACE.

CONTRACTOR IS RESPONSIBLE TO VERIFY THE STRUCTURAL INTEGRITY OF CMU WALLS PRIOR TO & DURING DEMOLITION. ANY CONCERN'S / CONCERN'S MUST BE BROUGHT TO THE ATTENTION OF THE OWNER / ARCHITECT IN WRITING.

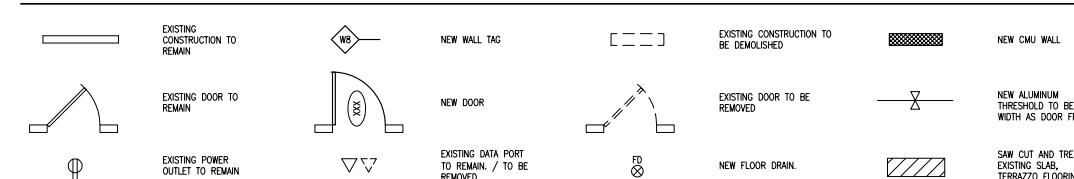
TRACE EXISTING SANITARY PIPE, SUPPLY PIPES, AND VENT LOCATIONS FOR NEW TIE-IN LOCATIONS.

EXISTING ELECTRICAL WIRING IS TO BE ALTERED AS PER ELECTRICAL DRAWINGS AND REFLECTED CEILING PLANS. CONTRACTOR IS TO SAFE OFF POWER DURING CONSTRUCTION/DEMOLITION.

DEMOLITION DRAWING NOTES:

- ① ALTERNATE 1: REMOVE EXISTING NON-FRAME ASBESTOS VCT THROUGHOUT OFFICE SUITE, ELECTRICAL ROOM & MEETING ROOM. PROPERLY DISPOSE OF IN A LEGAL MANNER. REFER TO THE PROJECT MANUAL FOR ADDITIONAL INFORMATION. REFER TO DISTRICT ASBESTOS MANAGEMENT PLAN FOR MORE INFORMATION.
- ② CONTRACTOR TO SAW CUT EXISTING OPENING AS REQUIRED TO ACCOMMODATE THE INSTALLATION OF A NEW DOOR. COORDINATE WITH 2/46.01 FOR SIZING. REMOVE CMU ABOVE DOOR HEAD FOR NEW STEEL LINTEL. PATCH AND REPAIR ADJACENT SURFACES AS NECESSARY TO RECREATE NEW FINISHES. CAREFULLY REMOVE CERAMIC TILE, CORRIDOR SIDE, FOR RE-USE.
- ③ REMOVE EXISTING DOOR, DOOR FRAME, HARDWARE, TRIM, THRESHOLD AND ALL ASSOCIATED ITEMS. PREPARE NEW OPENING FOR NEW FRAME AND DOOR. CONTRACTOR TO PROTECT FINISHES THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- ④ EXISTING CORRIDOR FLOOR AND WALL FINISHES TO REMAIN. PROTECT DURING COURSE OF CONSTRUCTION.
- ⑤ REMOVE EXISTING WALL IN ITS ENTIRETY. PATCH FLOOR WHERE NECESSARY.
- ⑥ REMOVE EXISTING FIN TUBES AND ALL ASSOCIATED ENCLOSURE, HARDWARE AND PIPING BACK TO SOURCE, PREPARE ALL AREAS AND SURFACES FOR INSTALLATION OF NEW 4-PIPE SYSTEM. PATCH AND REPAIR EXPOSED AREAS TO MATCH ADJACENT EXISTING. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- ⑦ EXISTING ACOUSTICAL CEILING TILES, GRAY LIGHT FIXTURES, ETC. TO BE REMOVED TO ACCOMMODATE NEW CONSTRUCTION. SEE NEW BOILER ROOM REFLECTED CEILING PLANS FOR MORE INFORMATION.
- ⑧ SAW CUT EXISTING SLAB AND REMOVE SUBGRADE DOWN TO DEPTH REQUIRED FOR NEW HOUSE KEEPING PADS. SEE DETAIL 1/47.02H.
- ⑨ EXISTING ELECTRICAL PANELS ARE TO REMAIN. PROTECT THROUGHOUT THE ENTIRE PROJECT.
- ⑩ SAW CUT AND TRENCH EXISTING SLAB AND REMOVE SUBGRADE TO A DEPTH REQUIRED TO INSTALL NEW FLOOR DRAINS AND UNDERGROUND SANITARY PIPING.
- ⑪ SAW CUT AND TRENCH UP TO 500 S.F. OF FLOORING AT NEAREST METAL JOINT. TRENCH SLAB TO ACCOMMODATE NEW SANITARY UNDERGROUND. SEE DRAWING M2.02HS FOR MORE INFORMATION.
- ⑫ REMOVE TRANSFER GRILL AND STORE IN A SAFE LOCATION.

SYMBOL LEGEND



GENERAL CONSTRUCTION NOTES:

WHERE REQUIRED BY NEW CONSTRUCTION, CONTRACTOR SHALL PATCH, REPAIR AND/OR REPLACE EXISTING CONSTRUCTION (TO PROVIDE "AS NEW SURFACES" TO MATCH NEW CONSTRUCTION).

CONSTRUCTION SHALL BE NON COMBUSTIBLE. ANY LUMBER MUST BE FIRE RETARDANT AS PER IBC 2009 NJ EDITION SECTION 2303.2, AS PER NEW JERSEY UNIFORM CONSTRUCTION CODE NJAC 5.23-6.6(G).

CONTRACTOR TO COORDINATE ALL FINISHES w/ ARCHITECT & OWNER. SUBMIT ALL FINISHES TO ARCHITECT.

CONTRACTOR IS TO SAFE OFF POWER DURING CONSTRUCTION/DEMOLITION AS REQUIRED WITH EXISTING ELECTRICAL WIRING.

CONTRACTOR WILL BE RESPONSIBLE FOR THE COORDINATION OF THE REMOVAL AND DISPOSAL OF ANY ASBESTOS-RELATED MATERIALS. COST OF REMOVAL AND DISPOSAL IS TO BE BORNE BY CONTRACTOR. ALL PERMITS TO BE THE CONTRACTOR'S RESPONSIBILITY. REFER TO THE PROJECT MANUAL FOR MORE INFORMATION.

WHERE REQUIRED BY NEW CONSTRUCTION, THE CONTRACTOR SHALL PATCH, REPAIR, AND/OR REPLACE EXISTING CONSTRUCTION TO PROVIDE "AS NEW SURFACES" TO MATCH ADJACENT CONSTRUCTION.

CONTRACTOR TO PATCH AND REPAIR ALL FLOOR SLABS IN PREPARATION OF NEW FINISH INSTALLATIONS.

INFILL ALL VOIDS IN EXISTING CMU WALLS W/ CEMENTITIOUS PATCHING COMPOUND AS REQUIRED TO ACCEPT NEW FINISH.

PROVIDE SHOP DRAWINGS AND/OR SUBMITTALS FOR ARCHITECT'S REVIEW PRIOR TO INSTALLATION OF ALL FIXTURES, ACCESSORIES, HODOWARE, MILLWORK AND FINISHES. PROVIDE ADDITIONAL SHOP DRAWINGS/SUBMITTALS AS REQUIRED BY SPECIFICATIONS.

NEW DOOR FRAMES ARE TO BE INSTALLED PLUMB AGAINST ADJACENT WALLS UNLESS DIMENSIONED OTHERWISE.

CONTRACTOR TO PATCH AND REPAIR EXISTING MASONRY WALLS & CONCRETE FLOOR THAT HAVE BEEN DAMAGED DURING DEMOLITION. CONTRACTOR TO FILL ALL VOIDS IN CONCRETE SUB-FLOOR LEVEL W/ CONCRETE & VOIDS IN WALLS W/ CMU & GROUT. PREP ALL FLOORS & WALLS FOR NEW FINISHES AS REQUIRED.

CONTRACTOR TO CONFIRM PRIOR TO SAW-CUTTING AND CORING OF SLAB & WALLS THAT NO UNDERSLAB ELEC. CONDUIT, OTHER UTILITY, & DATA LINES EXIST IN AREAS OF NEW WORK. CONTRACTOR TO AVOID CUTTING REINFORCED STEEL IN WALLS OR FLOOR SLABS.

CONSTRUCTION DRAWING NOTES:

- ① NEW 20 MINUTE FIRE RATED ADA COMPLIANT DOOR, FRAME, & HARDWARE. 3'-0" X 7'-0" SOLID CORE, APPEARANCE & FINISH TO MATCH DISTRICT STANDARD. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. COORDINATE LOCKSET W/ OWNER PRIOR TO PROJECT COMPLETION. PAINT NEW DOOR FRAMES, (1) COAT PRIMER, (2) COATS FINISH, TYP. COLOR TO BE SELECTED BY OWNER. SEE ADA SADLE DETAIL.
- ② NEW 20 MINUTE FIRE RATED ADA COMPLIANT DOOR, FRAME, & HARDWARE. 3'-0" X 7'-0" SOLID CORE, APPEARANCE & FINISH TO MATCH DISTRICT STANDARD. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. COORDINATE LOCKSET W/ OWNER PRIOR TO PROJECT COMPLETION. PAINT NEW DOOR FRAMES, (1) COAT PRIMER, (2) COATS FINISH, TYP. COLOR TO BE SELECTED BY OWNER. SEE ADA SADLE DETAIL.
- ③ NEW CMU TO BE KEYED INTO EXISTING ADJACENT AT OPENINGS AND TRANSFER GRILLES. PAINTED WHITE, MANUFACTURER: SHERWIN WILLIAMS OR APPROVED EQUAL.
- ④ EXISTING CORRIDOR FLOOR AND WALL FINISHES TO REMAIN. PROTECT DURING COURSE OF CONSTRUCTING.
- ⑤ NEW LIGHT FIXTURES TO BE MOUNTED TO THE BOTTOM OF THE JOISTS / STRUCTURE ABOVE. SEE NEW BOILER ROOM REFLECTED CEILING PLANS FOR MORE INFORMATION.
- ⑥ PAINT ENTIRE BOILER ROOM, ELECTRICAL ROOM AND STOREROOM WALLS WHITE, MANUFACTURE: SHERWIN WILLIAMS OR APPROVED EQUAL, WITH (1) COAT PRIMER AND (2) COATS FINISH.
- ⑦ PAINT ENTIRE BOILER ROOM, ELECTRICAL ROOM AND STORAGE ROOM FLOORS BATTLESHIP GRAY EPOXY FLOORING, MANUFACTURER: SHERWIN WILLIAMS OR APPROVED EQUAL, WITH (1) COAT PRIMER AND (2) COATS FINISH.
- ⑧ NEW HOUSEKEEPING PADS. SEE DETAIL 1/47.02HS FOR MORE INFORMATION.
- ⑨ INSTALL NEW BOILER AND ALL ASSOCIATED COMPONENTS REQUIRED FOR COMPLETE OPERATION. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- ⑩ INSTALL NEW HMP AND ALL ASSOCIATED COMPONENTS REQUIRED FOR COMPLETE OPERATION. SEE MECHANICAL DRAWINGS FOR INFORMATION.
- ⑪ INSTALL NEW FLOOR DRAIN ASSEMBLY INCLUDING ALL UNDERGROUND SANITARY PIPING AND RUNS AND CONNECTIONS TO BUILDING'S SANITARY SYSTEM. SEE DRAWING M3.01HS FOR MORE INFORMATION.
- ⑫ CONTRACTOR IS TO FIELD VERIFY LOCATION OF EXISTING SANITARY UNDERGROUND FOR CONNECTION WITH NEW.
- ⑬ PROVIDE NEW CONCRETE SLAB AND TERRAZZO TILE. CONTRACTOR IS TO SUBMIT TILE SAMPLES TO BEST MATCH EXISTING TERRAZZO TO REMAIN. EXISTING TERRAZZO TO REMAIN SHALL BE PROTECTED THROUGHOUT ENTIRE PROJECT.
- ⑭ NEW 14" AIR INTAKE. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- ⑮ CONTRACTOR TO FIRE CALK ALL ANNUAL SPACES WITH A 3 HOUR RATED FIRE CALK.
- ⑯ NEW EXPANSION TANK. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
- ⑰ PROVIDE NEW TRANSFORMER AND ELECTRICAL PANELS. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- ⑱ REPLACE BREAKER IN EXISTING SPACE IN THE EXISTING PANEL. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- ⑲ EXISTING PANELS TO REMAIN. PROTECT THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION.
- ⑳ PROVIDE NEW FIRE DAMPER AND REINSTALL TRANSFER GRILLE.
- ㉑ EXISTING WINDOWS ARE TO BE TINTED.

NOTE: THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COORDINATION AND SCHEDULING OF THE REMOVAL AND DISPOSAL OF ANY ASBESTOS-RELATED MATERIALS. COST OF REMOVAL AND DISPOSAL IS TO BE BORNE BY CONTRACTOR. ALL PERMITS TO BE THE CONTRACTOR'S RESPONSIBILITY. REFER TO THE PROJECT MANUAL FOR MORE INFORMATION.

NOTE: THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND DISTRIBUTION OF THE CONTRACT DOCUMENTS, IN ITS ENTIRETY, TO ALL RESPECTIVE TRADES.

PARETTE
SOM JEN



ARCHITECTS
A LIMITED LIABILITY CORPORATION

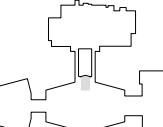
439 Route 46 East
Rockaway, NJ 07866
Tel: 973.586.2400
Fax: 973.586.2401
www.planetPSA.com

PROPOSED IMPROVEMENTS
THE LAKEWOOD TOWNSHIP I

HVAC UPDATES
- PHASE 2
AT LAKEWOOD
HIGH SCHOOL
855 SOMERSET AVENUE
LAKEWOOD, NJ 08701
BLOCK: 200 LOT: 1.01

STATE PROJ. #: 29-2520-050-14

KEY PLAN



05/27/15 ADDENDUM #

REV DATE REMARK

- Marc R. Parette, A.I.A.
NCARB Registration 44264
New Jersey Architect 10476
New York Architect 024321
Pennsylvania Architect 0147988
Maryland Architect 0147945
New Jersey Master 4993
Alabama Architect 5996
Louisiana Architect AR 03131
Michigan Architect 130103563
Nevada Architect 6311
- G. Michael Bannister, A.I.A.
NCARB Registration 47178
New Jersey Architect 13349
Massachusetts Architect 9629
Delaware Architect 6016
Virginia Architect 040101210
Connecticut Architect 8622
New York Architect 0324551
Alabama Architect 6380
District of Columbia Architect 011294
- William H. Bannister, A.I.A.
New Jersey Architect 19142

SIGNATURE

NEW BOILER ROOM
PLANS

THE SCALE REPRESENTED ON THESE DRAWINGS IS ONLY
THE ACTUAL SIZE. THE DRAWINGS ARE NOT TO SCALE
AND ARE NOT DRAWN TO A SPECIFIED SHEET SIZE.

WB PROJECT MANAGER

MK, RD, KM DRAWING

5642HS HVAC PH2

PROJECT NUMBER

8 MAY 2015 RELEASE DATE

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A6.01E



Millburn Restroom Renovations 2017

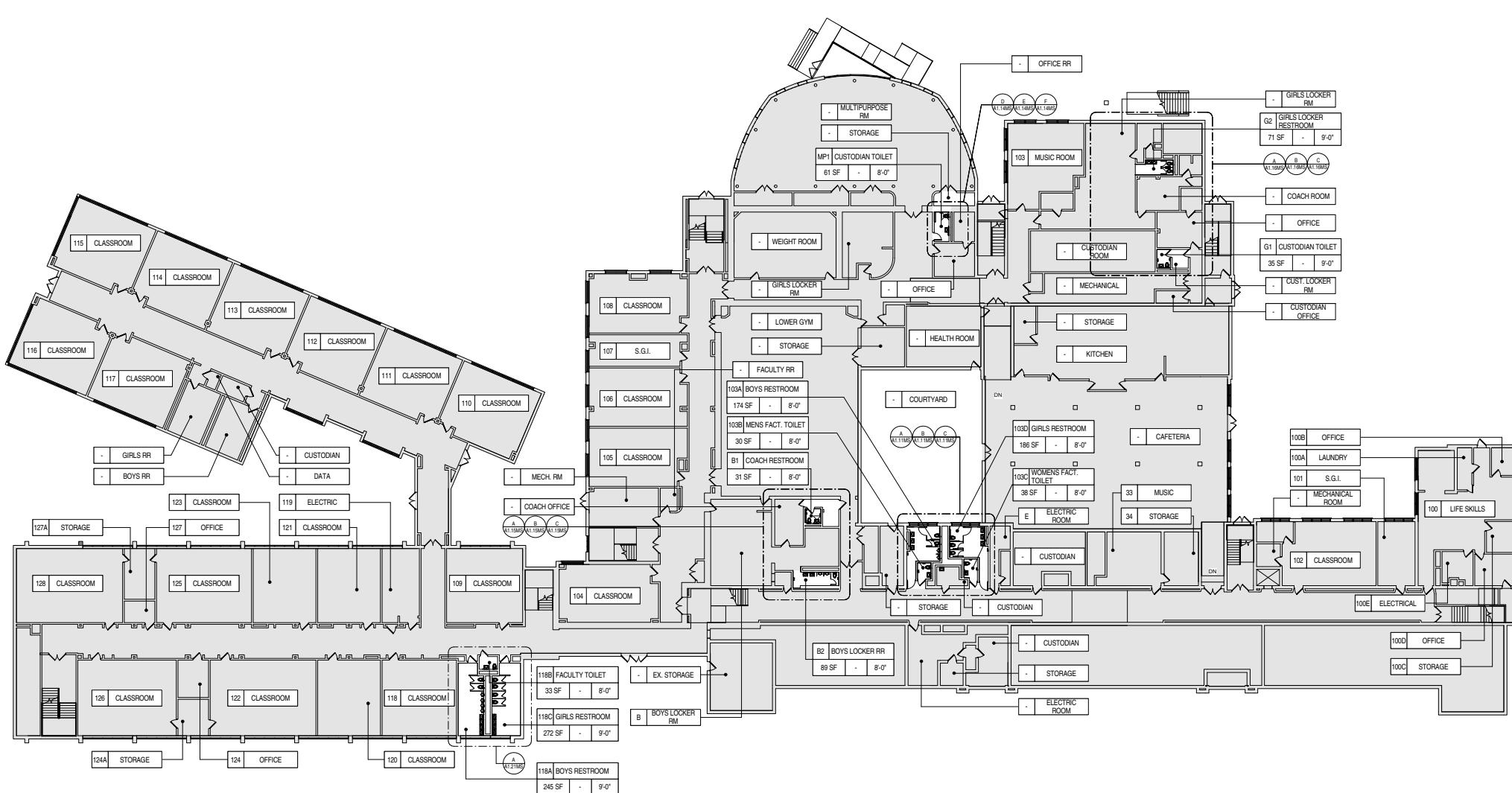
Architect:
John Carton
Manager:
Rachel Tieddmann
Programs Used:
Revit

Scope of Wor

District wide bathroom renovations throughout all schools

Responsibilities

Survey & drafting of existing conditions. Drafting of 100% of drawing set to 95% completion before review. Coordination & review of consultant's drawings. Updating of the project bidding & issuing of addendums. Filing, organizing, reviewing & issuing of construction administration documents. Surveying & documenting of field observation reports. Attending construction meetings & drafting minutes.



A LOWER LEVEL PL/

SCALE: 1/16" = 1'-0"

This architectural floor plan shows a section of a school building with the following room assignments:

- 131 PREP ROOM
- 130 SCIENCE ROOM
- 129 SCIENCE ROOM
- 130A BOYS TOILET
- 29 SF -
- A 1114SF B 1114SF
- 129A GIRLS TOILET
- 29 SF -
- 132 LOCKER
- STORAGE

B) BASEMENT PLAN

GENERAL CONSTRUCTION NOTES:

REFER TO DRAWING A1.02MS FOR GENERAL NOTES.

WALL

2' BUL (COLD)

FIELD

ACCEPT

ACCEPT

FIELD

CONE (CIV)

SEE ELEVATIONS FOR MORE INFO.

1'-0" 8"

1 WALL TILE FINISH SC: 1/2" =

The diagram illustrates a floor tile pattern. It features a large area of standard floor tiles (represented by grey squares) and a smaller area of accent floor tiles (represented by larger, light-grey squares). The accent tiles are arranged in a 2x2 grid pattern within the field of standard tiles. Arrows point to the 'FIELD FLOOR TILE' and 'ACCENT FLOOR TILE' areas.

FINISHES	WALL TILE (T)	WALL PAINT (P)	FLOOR TILE (FT)
	T-1: STYLE: 6"x6" COLOR: TBD	P-1: TYPE: PAINT TYPE 1 COLOR: TBD	FT-1: STYLE: 12"x12" COLOR: TBD
	T-2: STYLE: 6"x6" COLOR: TBD	P-2: TYPE: PAINT TYPE 2 COLOR: TBD	FT-2: STYLE: 6"x6" COLOR: TBD
	T-3: STYLE: 6"x6" COLOR: TBD		
CEILING TYPES (C)		NOTES	
C-1: 2x4 CEILING PANELS WITH NEW GRID		1. ALTERNATE #1(MS) ALL WALLS AND TRIM TO RECEIVE (1) COAT PRIMER AND (2) COATS FINISH. SEE SPECIFICATIONS FOR FURTHER INFORMATION. 2. SEE PLANS, ELEVATIONS, AND SPECIFICATIONS FOR MORE INFORMATION. 3. SEE SHEET #A100B FOR WALL AND FLOOR TILE PATTERN.	
C-2: 2x2 CEILING PANELS WITH NEW GRID			

**OVERALL LOWER
LEVEL PLAN**

THE SCALE REPRESENTED ON THESE DRAWINGS IS ONLY VALID IF THE DRAWING IS 42" x 28". DRAWINGS WHICH ARE NOT PLOTTED AT THE SPECIFIED SHEET SIZE ARE NOT TO SCALE.		
JC PROJECT MANAGER	SHEET NUMBER	
	A1.01MS	
ME DRAWN BY		
490563 PROJECT NUMBER		

Millburn Restroom Renovations

2017



GENERAL NOTES:

REFER TO DRAWING A1.02MS FOR GENERAL NOTES.

SCOPE OF WORK:

REFER TO DRAWING A1.01MS FOR SCOPE OF WORK.

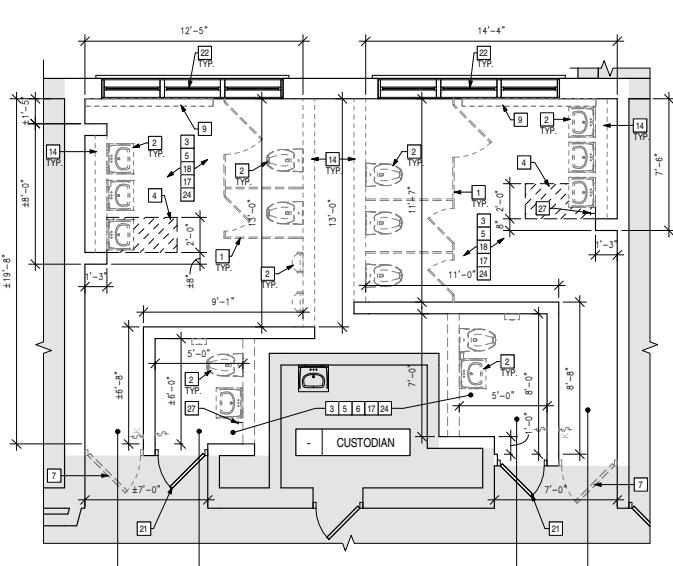
SYMBOL LEGEND:

REFER TO DRAWING A1.03MS FOR SYMBOL LEGEND.

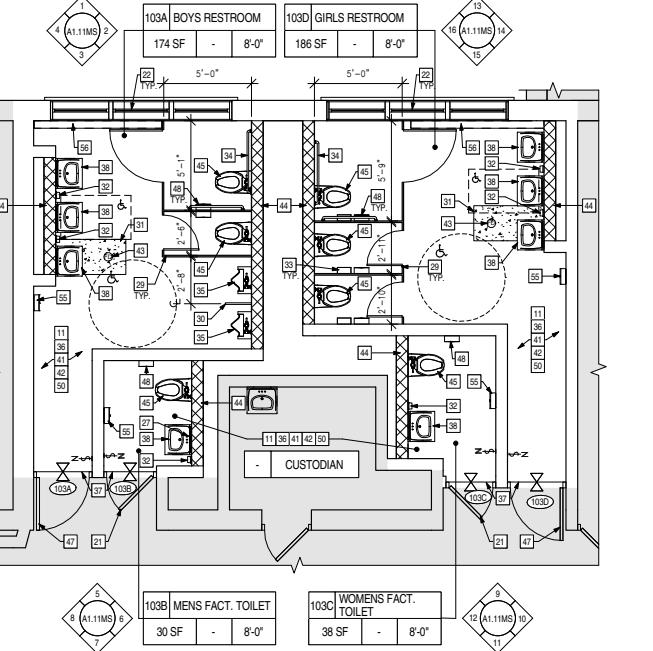
DRAWING NOTES:

"THESE NOTES APPLY TO THIS DRAWING ONLY"

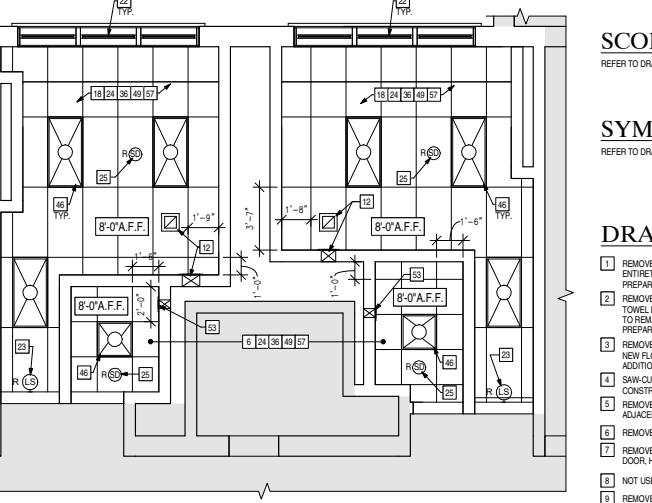
- 1 REMOVE EXISTING TOILET PARTITIONS, ALL ASSOCIATED HARDWARE, AND ASSOCIATED TOILET ACCESSORIES IN THEIR ENTIRETY INCLUDING, BUT NOT LIMITED TO, TOILET TISSUE DISPENSERS, SANITARY NAPKIN DISPOSALS, AND GRAB BARS. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 2 REMOVE EXISTING PLUMBING FIXTURES & ACCESSORIES INCLUDING, BUT NOT LIMITED TO, TRASH RECEPTECLES, PAPER TOWEL DISPENSERS, TOILET TISSUE DISPENSERS, SANITARY NAPKIN DISPOSALS, URINALS, MIRRORS, ETC. MODIFY EXISTING PIPING TO REMAIN TO ACCOMMODATE NEW FIXTURE LAYOUT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 3 REMOVE EXISTING FLOORING TO SOUND SUBSTRATE. REMOVE ALL BASE TRIM, PATCH SUBSTRATE AS REQUIRED TO RECEIVE NEW FINISHES. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 4 SAW-CUT AND REMOVE EXISTING CONCRETE SLAB. EXISTING EARTH TO BE RE-COMPACTED PRIOR TO NEW SLAB CONSTRUCTION.
- 5 REMOVE EXISTING WALL FINISHES IN THEIR ENTIRETY. PATCH WALL AS REQUIRED TO RECEIVE NEW FINISHES. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION. REFER TO FINISH PLANS FOR ADDITIONAL INFORMATION.
- 6 REMOVE EXISTING CEILING GRID, TILES, LIGHT FIXTURES, AND ALL ASSOCIATED COMPONENTS IN THEIR ENTIRETY.
- 7 REMOVE EXISTING DOOR, HARDWARE & THRESHOLD. PREPARE EXISTING FRAME TO RECEIVE NEW DOOR, HARDWARE & THRESHOLD. PREPARE ADJACENT SURFACES AS NECESSARY FOR NEW CONSTRUCTION.
- 8 NOT USED
- 9 REMOVE EXISTING RADIATOR/FIN-TUBE ENCLOSURE IN ITS ENTIRETY. PATCH AND PREPARE ADJACENT SURFACES TO RECEIVE NEW FINISHES.
- 10 NOT USED
- 11 SCARF EXISTING SLAB AS REQUIRED TO INSTALL NEW FLOORING SYSTEM. PROVIDE SKIM COAT PRIOR TO INSTALLATION OF NEW FLOOR TILE. FILL ALL VOIDS IN FLOOR.
- 12 FABRICATE DUCT TO ROUTE EXISTING EXHAUST WALL REGISTER TO NEW CEILING MOUNTED EXHAUST REGISTER. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 13 NOT USED
- 14 REMOVE EXISTING WALL CONSTRUCTION AS NECESSARY TO ACCOMMODATE NEW AND ALTERED PIPING FOR NEW FIXTURE LAYOUT. PATCH AND REPAIR ADJACENT SURFACES AND PREPARE FOR NEW CONSTRUCTION. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.
- 15 NOT USED
- 16 NOT USED
- 17 PATCH AND REPAIR ALL EXISTING SURFACES; PREPARE TO RECEIVE NEW FINISHES.
- 18 EXISTING PLASTER CEILING TO REMAIN. ALL EXISTING CEILING MOUNTED ACCESSORIES TO BE REMOVED IN THEIR ENTIRETY AND DISCARDED UNLESS OTHERWISE NOTED.
- 19 NOT USED
- 20 NOT USED
- 21 EXISTING DOOR, FRAME, HARDWARE, THRESHOLD, AND ALL ASSOCIATED COMPONENTS TO REMAIN. MODIFY IF NECESSARY TO ACCOMMODATE NEW/MOVED EXHAUST SYSTEM. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION. REFER TO DOOR SCHEDULE FOR MORE INFORMATION. PAINT WITH (1) COAT PRIMER, (2) COATS FINISH PAINT. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
- 22 EXISTING WINDOW, FRAME, HARDWARE, AND ALL ASSOCIATED COMPONENTS TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION.
- 23 EXISTING LOUD SPEAKER TO REMAIN. PROTECT THROUGHOUT DURATION OF DEMOLITION AND CONSTRUCTION. RELOCATE AS NECESSARY TO ACCOMMODATE FOR NEW CEILING.
- 24 MODIFY EXISTING EXHAUST SYSTEM. REMOVE ALL EXISTING EXHAUST REGISTERS/DIFUSERS. PATCH AND REPAIR ANY DAMAGED SURFACES; PREPARE TO RECEIVE NEW FINISH. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 25 CAREFULLY REMOVE EXISTING SMOKE DETECTOR AND RELOCATE INTO NEW CEILING. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 26 REMOVE EXISTING CLEANOUT AND REPLACE WITH NEW.
- 27 REMOVE EXISTING HOSE BIB AND REPLACE WITH NEW IN PREVIOUS LOCATION. RELOCATE AS NECESSARY TO ACCOMMODATE NEW ADJACENT FIXTURE LOCATION.
- 28 SAW-CUT AND REMOVE EXISTING WALL TO EXTENT INDICATED FOR INSTALLATION OF NEW DOOR. REMOVE AND RELOCATE ANY ELECTRICAL COMPONENTS IN WALL TO ACCOMMODATE NEW CONSTRUCTION.
- 29 PROVIDE AND INSTALL NEW TOILET PARTITION. REFER TO ACCESSORY SCHEDULE FOR ADDITIONAL INFORMATION.
- 30 PROVIDE AND INSTALL NEW 10" x 42" (H) x 34" URINAL SCREEN INSTALLED 10' A.F. PROVIDE (3) BRACKETS FOR SCREEN.
- 31 PROVIDE AND INSTALL NEW 4200 PSI CERAMIC TILE AT AREA OF TRIMMING. PROVIDE DECOUPLED FILL AND 6' OF 3/4" CLEAN CUTBED STONE. INFLILL AFTER INSTALLATION OF PRIMING. FLOAT NEW SLAB TO HEIGHT OF ADJACENT FLOORING. PREPARE SURFACE TO RECEIVE NEW FINISH. REFER TO FINISH PLANS FOR ADDITIONAL INFORMATION.
- 32 INSTALL NEW SOAP DISPENSER, PROVIDED BY CLIENT. CENTER BETWEEN MIRRORS WHEN APPLICABLE. MOUNT PER APPLICABLE CODES.
- 33 PROVIDED BY CONTRACTOR. NEW SANITARY NAPKIN DISPOSAL. MOUNT PER APPLICABLE CODES. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
- 34 PROVIDED AND INSTALLED NEW GRAB BARS; PROVIDED BLOCKING AS REQUIRED. MOUNT PER APPLICABLE CODES.
- 35 PROVIDED AND INSTALLED NEW WALL-MOUNTED URINAL. PROVIDE NEW SUPPLY, WASTE, AND VENT LINES TIED TO EXISTING AS REQUIRED TO ACCOMMODATE NEW LAYOUT. MODIFY EXISTING CHASE WALL AS NECESSARY TO ACCOMMODATE NEW FIXTURE REFER TO PLUMBING FIXTURE SCHEDULE FOR ADDITIONAL INFORMATION.
- 36 PROVIDED AND INSTALLED NEW SUSPENDED ACoustiC CEILING GRID, TILES, WIRING, AND ASSOCIATED HARDWARE. SECURE TO TRIMMING. PROVIDE NEW LAY-IN LIGHT FIXTURES AS NECESSARY. REFER TO FINISH SCHEDULE, DETAILS AND SPECIFICATIONS FOR MORE INFORMATION.
- 37 PROVIDED AND INSTALLED NEW ACCESSIBLE MARBLE SADDLE. WIDTH PER DOOR OPENING. REFER TO DETAIL DRAWINGS FOR MORE INFORMATION.
- 38 PROVIDED AND INSTALLED NEW WALL-MOUNTED LAVATORY WITH METRED FAUCET AND WALL CARRIER. PROVIDE NEW SUPPLY, WASTE, AND VENT LINES TIED TO EXISTING AS REQUIRED TO ACCOMMODATE NEW LAYOUT. INSULATE ALL PIPES, TYPICAL. REFER TO PLUMBING FIXTURE SCHEDULE, DETAILS AND PLUMBING DRAWINGS FOR MORE INFORMATION.
- 39 NOT USED
- 40 NOT USED
- 41 PROVIDED AND INSTALLED NEW WALL TILE. REFER TO ELEVATIONS AND PROJECT FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- 42 PROVIDED AND INSTALLED NEW FLOOR TILE. REFER TO PROJECT FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- 43 PROVIDED AND INSTALLED NEW FLOOR DRAIN. PROVIDE DEPRESSED SLAB AROUND NEW FLOOR DRAIN MINIMUM 12" RADIUS. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 44 PROVIDED AND INSTALLED NEW CMU IN AREAS WHERE EXISTING WALL WAS REMOVED. PREPARE WALL TO RECEIVE NEW FINISHES.
- 45 PROVIDED AND INSTALLED NEW WALL-MOUNTED WATER CLOSET. PROVIDE NEW SUPPLY, WASTE, AND VENT LINES TIED TO EXISTING AS REQUIRED TO ACCOMMODATE NEW LAYOUT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- 46 PROVIDED AND INSTALLED NEW LAY-IN LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS AND SCOPE SCHEDULE FOR MORE INFORMATION.
- 47 PROVIDED AND INSTALLED NEW DOOR, HARDWARE AND ALL ASSOCIATED COMPONENTS INTO EXISTING FRAME. EXISTING FRAME TO BE PAINTED. REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- 48 INSTALLED NEW TOILET PAPER DISPENSER, PROVIDED BY CLIENT. MOUNT PER APPLICABLE CODES.
- 49 NEW HEAT DETECTOR LOCATED ABOVE NEW CEILING. NOT IN CONTRACT; TO BE COORDINATED AND INSTALLED BY OTHERS.
- 50 PAINT NEW AND EXISTING WALL CONSTRUCTION NOT COVERED BY WALL TILE WITH (1) COAT PRIMER, (2) COATS FINISH PAINT. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
- 51 NOT USED
- 52 PROVIDED AND INSTALLED NEW EXHAUST REGISTER/GRILLE INTO CEILING AND CONNECTED TO MECHANICAL SYSTEM ABOVE. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 53 PROVIDED AND INSTALLED NEW REGISTER INTO WALL IN PREVIOUS EQUIPMENT LOCATION. MODIFY EXISTING WALL CONSTRUCTION AS NECESSARY TO ACCOMMODATE NEW EQUIPMENT. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 54 NOT USED
- 55 INSTALLED NEW PAPER TOWEL DISPENSER. PROVIDED BY CLIENT. MOUNT PER APPLICABLE CODES.
- 56 PROVIDED AND INSTALLED NEW RADIATOR/FIN-TUBE COVERS OVER EXISTING EQUIPMENT. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
- 57 NEW HORN AND STROBE; NOT IN CONTRACT; TO BE COORDINATED AND INSTALLED BY OTHERS.
- 58 NOT USED
- 59 PROVIDED AND INSTALLED NEW 18" x 30" MIRROR. MOUNT PER APPLICABLE CODES; CENTER ON LAVATORY. REFER TO SPECIFICATIONS FOR MORE INFORMATION.



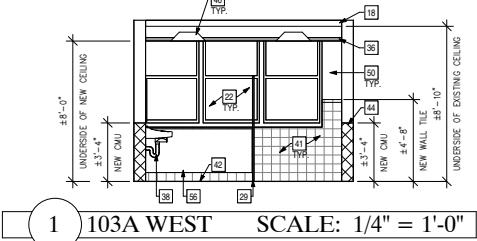
A 103A, B, C, D DEMO. PLAN SCALE: 1/4" = 1'-0"



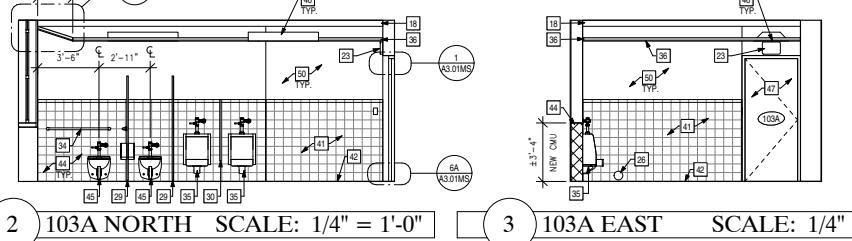
B 103A, B, C, D CONST. PLAN SCALE: 1/4" = 1'-0"



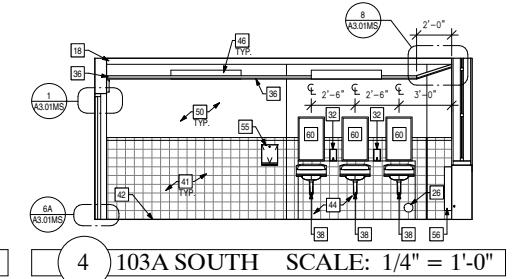
C 103A, B, C, D R.C.P. SCALE: 1/4" = 1'-0"



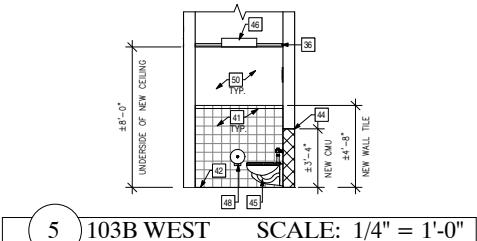
1 103A WEST SCALE: 1/4" = 1'-0"



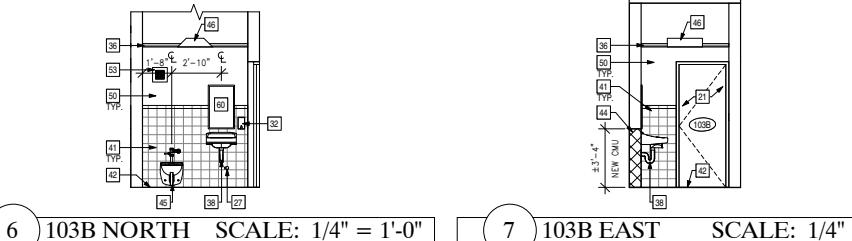
2 103A NORTH SCALE: 1/4" = 1'-0"



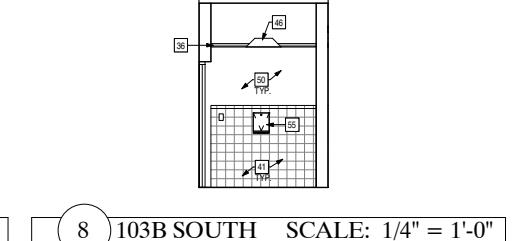
3 103A EAST SCALE: 1/4" = 1'-0"



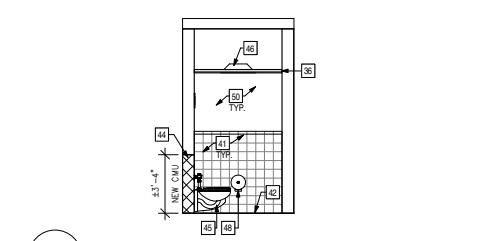
4 103A SOUTH SCALE: 1/4" = 1'-0"



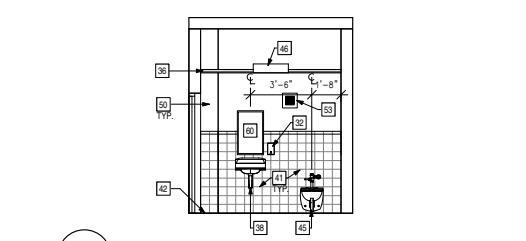
5 103B WEST SCALE: 1/4" = 1'-0"



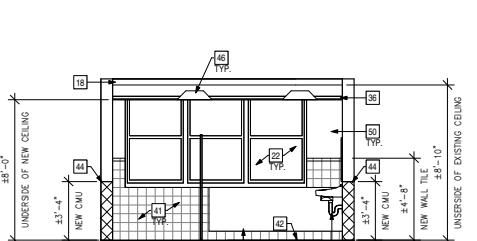
6 103B NORTH SCALE: 1/4" = 1'-0"



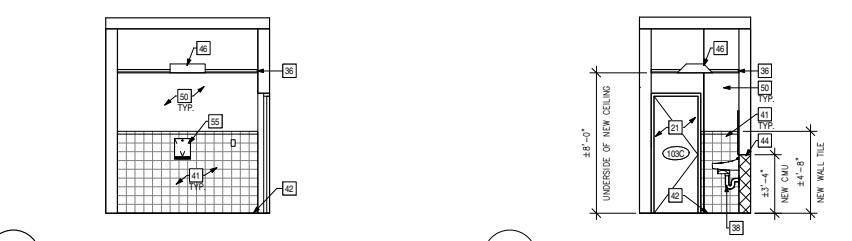
7 103B EAST SCALE: 1/4" = 1'-0"



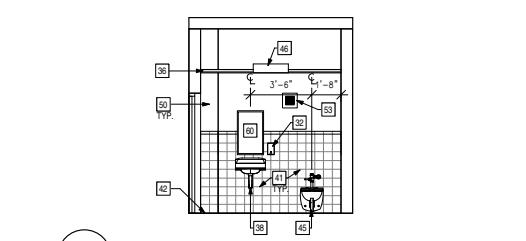
8 103B SOUTH SCALE: 1/4" = 1'-0"



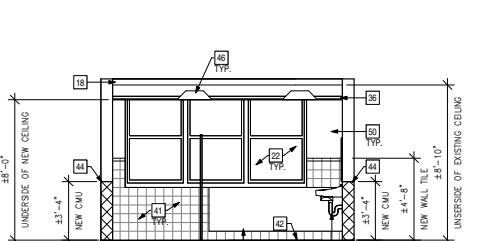
9 103C WEST SCALE: 1/4" = 1'-0"



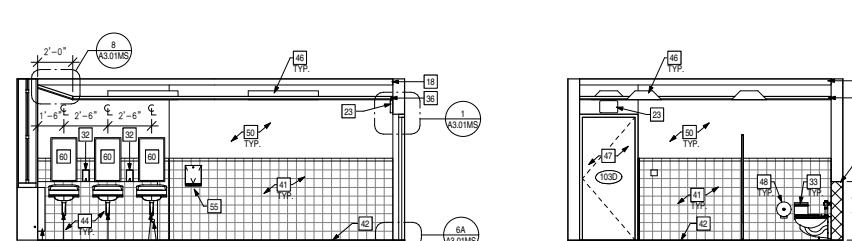
10 103C NORTH SCALE: 1/4" = 1'-0"



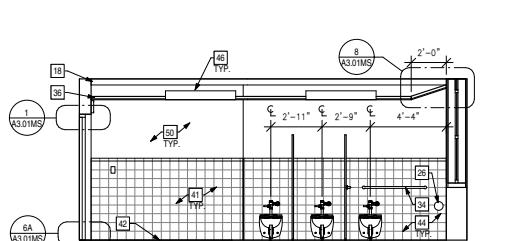
11 103C EAST SCALE: 1/4" = 1'-0"



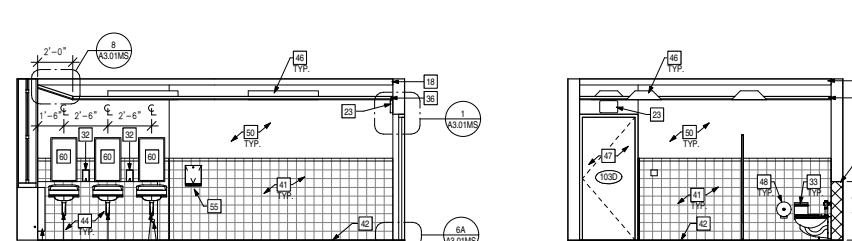
12 103C SOUTH SCALE: 1/4" = 1'-0"



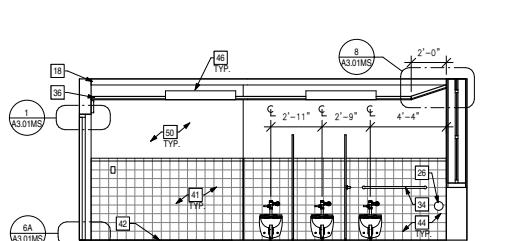
13 103D WEST SCALE: 1/4" = 1'-0"



14 103D NORTH SCALE: 1/4" = 1'-0"



15 103D EAST SCALE: 1/4" = 1'-0"



16 103D SOUTH SCALE: 1/4" = 1'-0"



Stony Brook Window Replacement 2014



Architect:
William Banister
Manager:
Kenneth Mieles
Programs Used:
AutoCAD

Scope of Work:
The removal and replacement of existing windows throughout school.
Responsibilities:
Survey & drafting of existing conditions. Drafting of 100% of drawing set to 75% completion before review. Coordination & review of consultant's drawings. Updating of the project bidding & issuing of addendums. Filing & organizing of construction administration documents. Creation of punchlist for substantial completion.





Architect:
Robert Algarin

Programs Used:
DataCAD

Scope of Work:

Demolition of existing house to foundation & construction of new house on existing foundation.

Responsibilities:

Drafting of construction documents. Design to roof slopes. Building of physical model.



FRONT ELEVATION

1/4" = 1'-0"

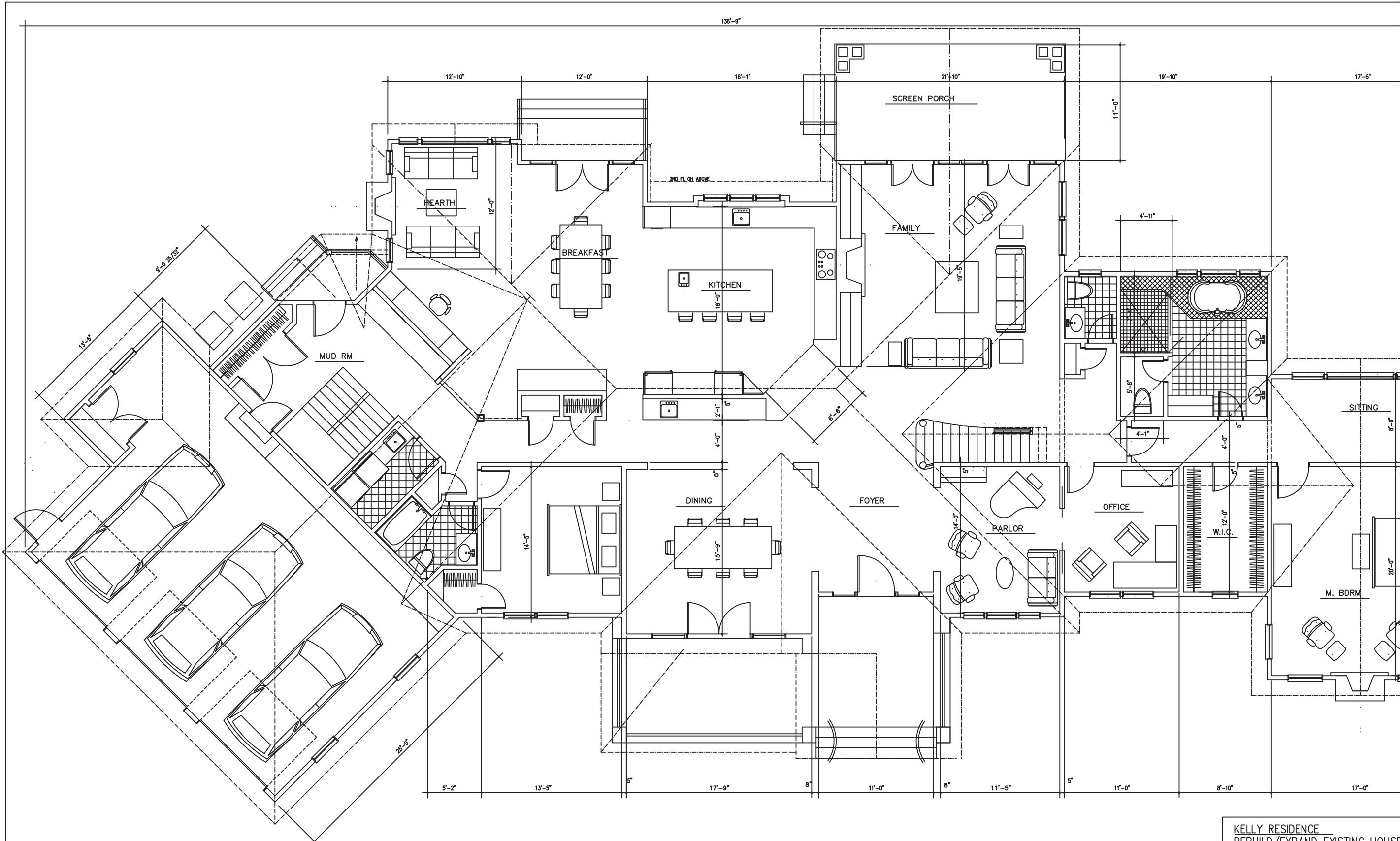
PRELIMINARY
5 - 08 - 11
5 - 21 - 11
6 - 07 - 11

KELLY RESIDENCE
REBUILD/EXPAND EXISTING HOUSE
1249 PROSPECT STREET
WESTFIELD, NJ

ROBERT ALGARIN
ARCHITECT
225 LEE AVENUE
WESTFIELD, NJ 07090
PHONE: 908 232 2225
FAX: 908 753 0235
www.robertalgarinarchitect.com

SEAL:
NJ UC. NO. 09949

DRAWN BY: x DRAWING NO.
DATE: x 1 OF 1 A-1



FIRST FLOOR PLAN



1/4" = 1'-0"

5/21/11 4,010 SF
F TO F 16R@73/4=10-4
15T@9.5=11-10 1/2

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2011
Kelly Residence

